

BULLETIN 9



DATE: 3/7/22

TO: Piazza Inc.
J&M Heating and A/C, Inc.
Lombardo P&H, Inc.
Talt Electric, Inc.

FROM: Brian Mangan
KG+D Architects

PROJECT: Yonkers Community School 35 – Justice Sotomayor

RE: Coordination Drawings – Architectural Floor Plans
Academic Building

The attached information was sent to all Prime Contractors via Email on February 13, 2023. This bulletin is being submitted for posting to Submittal Exchange purposes.

See the attached floor plans and written descriptions with information on modifications to architectural elements to accommodate items that have arisen during the ongoing coordination drawing process.

Please review and provide pricing for the additional work for review and approval by the Design Team, CM, and Owner. Please also include information on schedule impact, if any, for this work.

cc: Posted to Submittal Exchange
Sent via Email 2/13/23

Project Name: Yonkers Community School 35 – Justice Sotomayor
 Summary of Adjustments – MEP Coordination – Academic Building



Date: February 13, 2023

Attachments: Drawings A200, A201, A202, A203, A204

Note: This list is not to be considered a complete list of all the modifications required for coordination of MEP items. Contractors shall still be responsible for coordination and field verification as required per the Contract Documents.

Academic Building

Basement Floor Level

Wall Adjustments

COPY B03	North Furring wall shifted South to accommodate underground conduit and electrical boxes. Reduce length of casework along West wall. Chase wall in SW corner shifted South for clearance of piping above, final location to be determined in field.	See REVISED SHEET A200
EMR B05 (STOR. / EQUIP B05)	West M8 wall shifted West 4". East M8 wall shifted West 8". EMR name changed since it is no longer a formal elevator machine room due to the elevator substitution. Final layout of electrical equipment in this space still to be determined. Work may require a closet to enclose certain electrical panels, and final layout of electrical equipment will determine whether sprinkler is required in this space.	See REVISED SHEET A200
STORAGE B10	Chase wall in NE corner shifted 4" each direction for clearance of piping above.	See REVISED SHEET A200
FREEZER	Reduced height of freezer for clearances of equipment above.	See REVISED SHEET A200

Ceiling Adjustments

STAIR D	Lowered ceiling in lower landing area to 9'-0"	
CORR CB01	Ceiling to be lowered in portion of corridor to 7'-4". Balance of corridor TBD.	
CORR CB02	Ceiling to be lowered to 7'-6"	

First Floor Level

Wall Adjustments

LOBBY C101	Two walls changed from 3-5/8" stud to 6" stud. Doors 101 and 102 shifted south accordingly.	See REVISED SHEET A201
CORR C102	Add F2 chase wall in SE corner	See REVISED SHEET A201
TOIL 101b	West wall shift 2" East, South wall shift 3" South.	See REVISED SHEET A201
MAIN OFFICE 102	Add F3 chase in SW Corner	See REVISED SHEET A201
PRE-K CLASS 103	Shift wall adj. to sink 6" West. Reduce size of sink counter accordingly. Shift chase wall south 2".	See REVISED SHEET A201
TOIL 103a	Swap location of toilet and sink. Modify East wall to create a chase so that plumbing is not located in a shaft wall. Shift furring around column and shift West wall 3". Change South wall from 3-5/8" stud to 6" stud.	See REVISED SHEET A201
PRE-K CLASS 104	Shift chase walls along West side of classroom in each corner. Modify / reduce length of casework along South window wall accordingly.	See REVISED SHEET A201
CONF 105	Add F3 chase wall at South end of room.	See REVISED SHEET A201
HEALTH SUITE 106	Revised layout of future Health Suite.	See Bulletin 8
FACULTY 107	Add chase in North East corner.	See REVISED SHEET A201
CAFEERIA 108	East Chase wall to be continuous in lieu of wrapping columns J-19 and K-19. Shift chase walls in SE Corner West and North.	See REVISED SHEET A201
SERVERY 109	Shift chase wall in SW corner 8" to the North	See REVISED SHEET A201

KITCHEN 110	Add chase wall(s) in SW corner for Mop Cabinet. Change East wall from type '1' to a type '2' 2-HR	See REVISED SHEET A201
TOIL 111a	Shift North wall 3" South.	See REVISED SHEET A201
TOIL 112a	Modify chase wall for plumbing behind sink. Change portion of West wall from a 6"stud to 3-5/8" stud.	See REVISED SHEET A201
PRE-K CLASS 113	Change corridor walls from 3-5/8" to 8" as noted. Modify Casework and adj. chase wall accordingly. Shift F2 chase wall south to align with sink. Shift F2 wall West 2" to enlarge counter for installation of sink.	See REVISED SHEET A201
TOIL 113a	Swap location of toilet and sink. Modify West wall to create chase so that plumbing is not located in a shaft wall. Change South wall from 3-5/8" stud to 6" stud. Shift East wall East 8" for ADA clearances.	See REVISED SHEET A201

Ceiling Adjustments

PRINCIPAL 101a	Lower ceiling from 10'-0" to 9'-6" AFF in Principal Office	
SECURITY 102a	Lower ceiling from 10'-6" to 10'-0" AFF this area. Adjust bulkhead between Security and Main Office accordingly.	
FACULTY 107	Lower ceiling from 9'-0" to 8'-8" in Faculty Room	
RECEIVING 111	Ceiling may need to be lowered to 14'-2" AFF – Coordinate with ductwork shops.	
CORR C104	Lower soffit along East side of corridor to 8'-0" AFF	

Miscellaneous Adjustments

Exterior Wall Col Line J	Exterior L3 louvers will get lower 2-4" to avoid steel beam. Should have no impact on ceiling heights	
Exterior Wall Col Line E	Exterior L3 louvers may need to get lower to avoid steel beam. Confirm with final duct shops	
LOBBY C101	Clear width of chases on each side 2'-1". Confirm with final duct shops.	

RECEIVING 111	Modifications to the shaft wall to get ductwork from the hood and the supply/return from cafeteria to the Second Floor. Two large ducts in this area that overlap walls above the ceiling, will need to investigate ways to support tops of walls in these areas or adjust duct work.	Further information to follow
PRE-K CLASS 103	Beam shift to provide clearance in chase adj. to Door 103. Adjustment to beam was shown on the reviewed shop drawings.	See REVISED SHEET A201
PRE-K CLASS 113	Beam shift to provide clearance in chase adj. to Door 113. Adjustment to beam was shown on the reviewed shop drawings.	See REVISED SHEET A201

Second Floor Level

Wall Adjustments

CLASS 201	Shift NE chase wall 6" West and 2" South. Adjust / reduce length of counter accordingly.	See REVISED SHEET A202
CLASS 202	Shift NW chase wall 16" South.	See REVISED SHEET A202
CLASS 204 & 205	North chase wall shifted South 3".	See REVISED SHEET A202
CLASS 206	NW chase wall shifted South 2".	See REVISED SHEET A202
DATA 207a	Add chase wall for conduit.	See REVISED SHEET A202
CLASS 210	Shift Western chase wall 3" East	See REVISED SHEET A202
CLASS 211	Shift chase wall(s) 4" East in NE corner.	See REVISED SHEET A202
OFFICE 212	Shift shaft wall East 4".	See REVISED SHEET A202
OFFICE 213	Shift chase wall 3" South	See REVISED SHEET A202
LIBRARY 215	Shift NW chase wall 6" West	See REVISED SHEET A202
TOILET 217a	Toilet shall be 16" off wall to fit piping between structural steel. Modify chase wall for plumbing behind sink. Change portion of West wall from a 6" stud to 3-5/8" stud.	See REVISED SHEET A202
TOILET 220a	East chase wall shifted West 4" to avoid beam for floor mounted toilet.	See REVISED SHEET A202

Ceiling Adjustments

LIBRARY 215	Lower ceiling in Library/Learning Commons from 10'-0" to 9'-4"	
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Third Floor Level

Wall Adjustments

CLASS 301	Adjust NE chase and counter.	See REVISED SHEET A203
JAN 303a	Create F3 chase wall at South end of Janitor Closet	See REVISED SHEET A203
CLASS 304 & 305	North chase wall shifted South 3".	See REVISED SHEET A203
CLASS 306	NW chase wall shifted South 2".	See REVISED SHEET A203
DATA 307a	Add chase wall for conduit.	See REVISED SHEET A203
CLASS 310	Shift Western chase wall 3" East	See REVISED SHEET A203
CLASS 311	Shift chase wall(s) 4" East in NW corner.	See REVISED SHEET A203
OFFICE 312	Shift shaft wall East 4".	See REVISED SHEET A203
SIG 313	Shift chase wall 4" South	See REVISED SHEET A203
TOIL 321	Create F2 chase wall in NE corner of toilet room.	See REVISED SHEET A203

Miscellaneous Adjustments

CLASS 318	Beam shift to provide clearance in chase adj. to Door 318. Adjustment to beam was shown on the reviewed shop drawings.	See REVISED SHEET A203
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Fourth Floor Level

Wall Adjustments

CLASS 401	Shift SE chase wall 3" West and 1" North.	See REVISED SHEET A204
CLASS 401 & 402	Shift South chase wall 1" North	See REVISED SHEET A204
CLASS 402	SW chase wall shifted North 1"	See REVISED SHEET A204

SGI 403	NW chase wall shifted South 5".	See REVISED SHEET A204
CLASS 404 & 405	North chase wall shifted South 3".	See REVISED SHEET A204
CLASS 406	NW chase wall shifted 4.5" West and 2.5" South.	See REVISED SHEET A204
DATA 407a	Add chase wall for conduit.	See REVISED SHEET A204
CLASS 410	Shift Western chase wall 3" East.	See REVISED SHEET A204
CLASS 411	Shift NW chase wall 3" East and 12" South.	See REVISED SHEET A204
OFFICE 412	Shift shaft wall East 4".	See REVISED SHEET A204
OT/PT 413	NW chase wall shifted 3" South.	See REVISED SHEET A204
SCIENCE 414	Shift NW chase wall 4" South.	See REVISED SHEET A204
CLASS 417 & 418	Shift South chase wall 1" North.	See REVISED SHEET A204
JAN 422	Adjust walls to create chase in NE corner.	See REVISED SHEET A204
NOOK 450	Shift chase wall West to align with wall on opposite side of corridor.	See REVISED SHEET A204

Miscellaneous Adjustments

CLASS 401, 404, 410, 417	Coordinate elevation of roof drain at roof of bump-outs to ensure pipe is above classroom ceiling. Roof drain in these areas will run above ceiling in lieu of soffit in order for roof drain to get around column. See detail E/A806 for reference purposes.	
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NEW COMMUNITY SCHOOL 35 AT ST DENIS SITE

YONKERS JOINT SCHOOLS
CONSTRUCTION BOARD
121 McLean Avenue
Yonkers, NY 10705

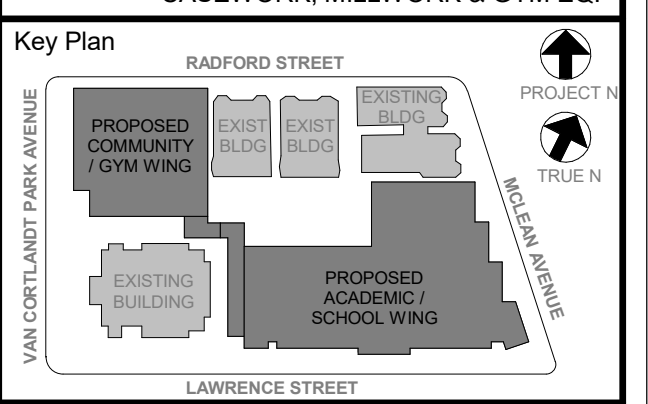
KG+D listen imagine build
ARCHITECTS, PC
285 MAIN STREET • MOUNT KISCO, NEW YORK 10549
P:914.666.5900 KGARCHITECTS.COM

NY SED PROJECT CONTROL NO.
66-23-00-01-0-346-001

CONSTRUCTION DOCUMENTS

GENERAL NOTES

- SEE A801 FOR ALL INTERIOR WALL TYPES. SEE SPECS FOR OTHER WALL INFO
- MOST OTHER INTERIOR WALLS SHALL BE: WALL TYPE 2 - (NON-FIRE-RATED) UNLESS OTHERWISE TAGGED
- STAIR ENCLOSURE WALLS SHALL BE: WALL TYPE M8 - (2H FIRE-RATED) UNLESS OTHERWISE TAGGED
- FURRING AROUND COLUMNS SHALL BE: WALL TYPE F3 - U.N.O. OR TAGGED
- DENOTES TYPE 1 WALL (TAG) & FIRE-RATING - WHERE INDICATED - WALL FIRE-RATING (IN HOURS)
- DENOTES 2Hr FIRE-RATED WALL TYPE
- DENOTES TYPE 2 WALL FIRE-RATED FOR 2 HOURS
- DENOTES NON-FIRE-RATED OR 1Hr FIRE-RATED WALL TYPE
- DENOTES TYPE 1 WALL NON-FIRE-RATED
- DENOTES DOOR NUMBER. SEE A802 FOR DOOR SCHEDULE. SEE A803 FOR OTHER DOOR INFO. SEE SPEC FOR HARDWARE SETS
- DENOTES HOLLOW METAL FRAME - SEE A804, A805 & SPECS FOR MORE INFO
- DENOTES "RESCUE WINDOW" SEE SPECS FOR MORE INFO. SEE A804 FOR WINDOWS
- DIMENSIONS SHOWN FOR INTERIOR WALLS ARE EITHER "FACE OF SHEETROCK" OR "FACE OF CMU"
- FACE OF ADJACENT WALL TO EDGE OF DOOR FRAME IS 4" (TYP) U.N.O. (SEE DETAILS A, B & C ON A803)
- MASONRY WALLS - ALL EXPOSED EDGES & ALL WALL OUTSIDE CORNERS SHALL BE BULLNOSE (e.g. C/A803)
- SEE A806 & A807 FOR FINISH SCHEDULES
- HATCH INDICATES ADD ALTERNATE CASEWORK, MILLWORK & GYM EQ.



NOTE: ALL LOCAL DESIGN REQUIREMENTS ARE INDICATED OR REPRESENTED BY THIS DRAWING AND ARE THE PROPERTY OF THE CLIENT. YONKERS JOINT SCHOOLS ARCHITECTS, PC HAS BEEN CREATED FOR USE ON THIS PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF JG&D.

WRITE UP DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER DIMENSIONS CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY DEVIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT, SHALL BE UNLAWFUL. SEE THE PROFESSIONAL SEAL AND THE ARCHITECT'S REGISTRATION NO. AS A REQUIREMENT OF THE PROFESSIONAL SEAL. YONKERS JOINT SCHOOLS ARCHITECTS, PC IS AN EQUAL OPPORTUNITY EMPLOYER.

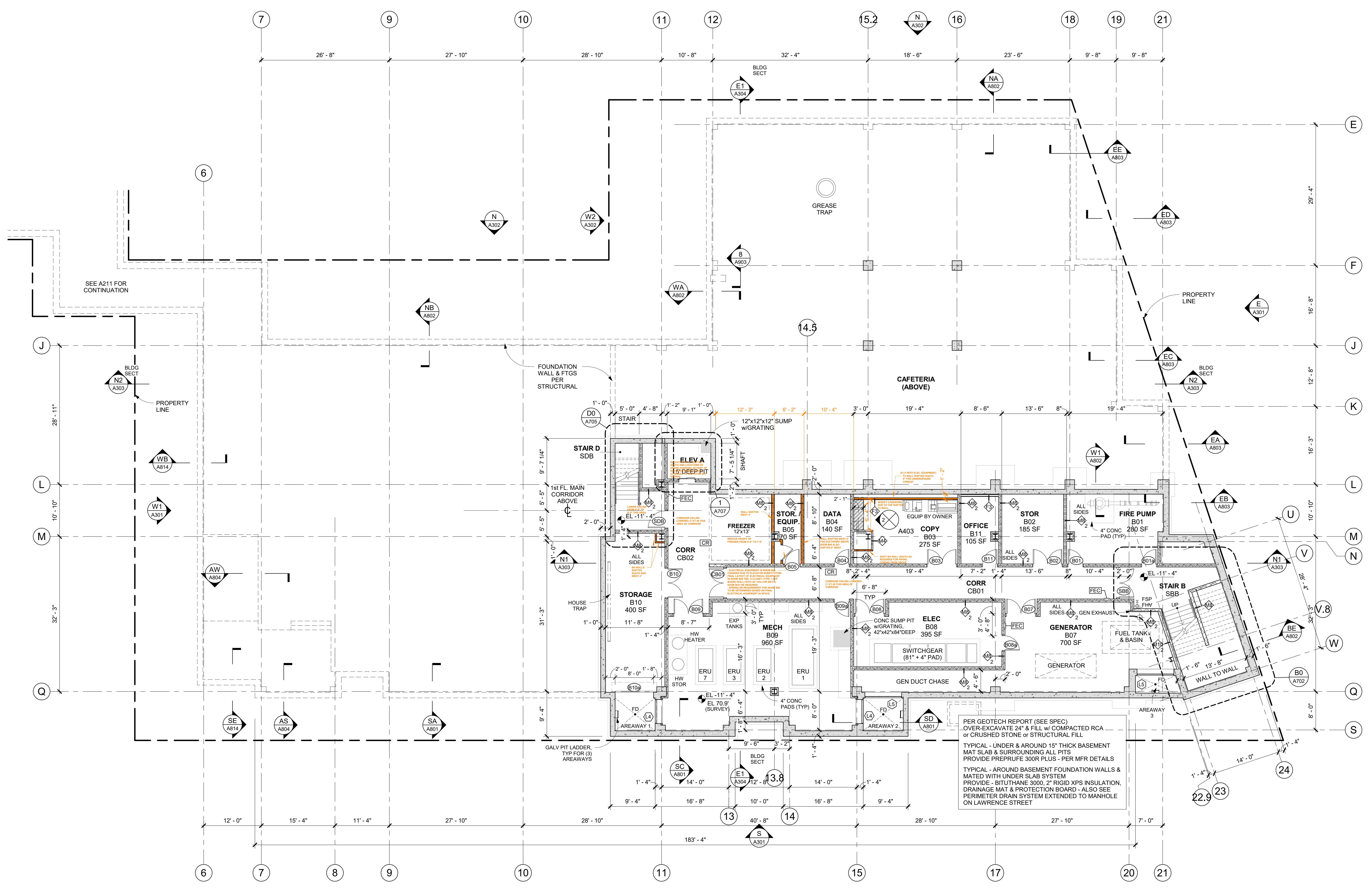
Professional Seal

No.	Date	Issue
5	11/01/2021	ISSUE FOR BID
3	07/14/2021	CONSTRUCTION DOCS - NYSED
2	12/15/2020	DESIGN DEVELOPMENT
1	08/31/2020	SCHEMATIC DESIGN

BASEMENT PLAN

Job No. 2019-1026 Date 08/31/2020
Scale AS NOTED Drawn / Checked --
Sheet Number

A200

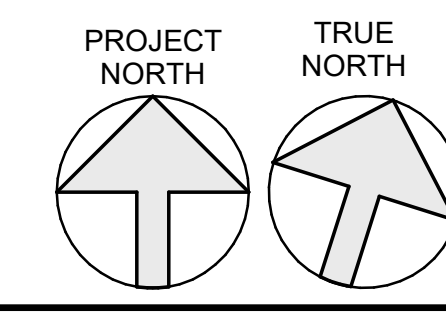


PER GEOTECH REPORT (SEE SPEC)
OVER-EXCAVATE 24" & FILL W/ COMPACTED RCA OR CRUSHED STONE OR STRUCTURAL FILL

TYPICAL - UNDER & AROUND 15" THICK BASEMENT MAT SLAB & SURROUNDING ALL PITS PROVIDE PREPREF 300R PLUS - PER MFR DETAILS

TYPICAL - AROUND BASEMENT FOUNDATION WALLS & MATED WITH UNDER SLAB SYSTEM PROVIDE - BITUTHANE 3000, 2" RIGID XPS INSULATION, DRAINAGE MAT & PROTECTION BOARD - ALSO SEE PERIMETER DRAIN SYSTEM EXTENDED TO MANHOLE ON LAWRENCE STREET

B BASEMENT PLAN
1/8" = 1'-0"



NEW COMMUNITY SCHOOL 35 AT ST DENIS SITE

YONKERS JOINT SCHOOLS
CONSTRUCTION BOARD
121 McLean Avenue
Yonkers, NY 10705

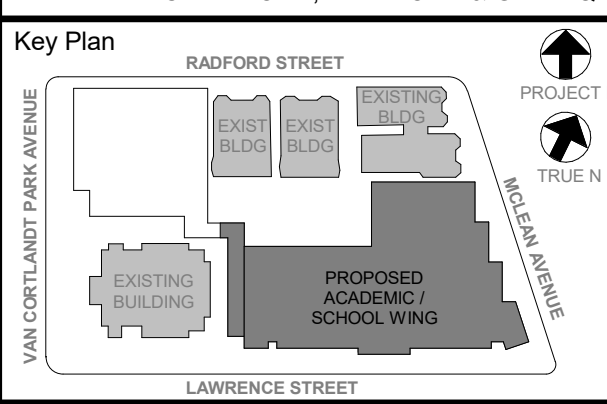


NY SED PROJECT CONTROL NO.
66-23-00-01-0-346-001

CONSTRUCTION DOCUMENTS

GENERAL NOTES

- SEE A801 FOR ALL INTERIOR WALL TYPES. SEE SPECS FOR OTHER WALL INFO.
 - CORRIDOR, CLASSROOM & ALL TEACHING SPACE WALLS SHALL BE: WALL TYPE 2 - (NON-FIRE-RATED) UNLESS OTHERWISE TAGGED
 - STAIR ENCLOSURE WALLS SHALL BE: WALL TYPE M3 - (2hr FIRE-RATED) UNLESS OTHERWISE TAGGED
 - FURRING AROUND COLUMNS SHALL BE: WALL TYPE F3 - U.N.O. OR TAGGED
- 1 DENOTES WALL TYPE (TAG) & FIRE-RATING - WHERE INDICATED - WALL FIRE-RATING (IN HOURS)
 - 2 DENOTES 2hr FIRE-RATED WALL TYPE
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 - 5 DENOTES TYPE 1 WALL NON-FIRE-RATED
 - 6 DENOTES DOOR NUMBER. SEE A802 FOR DOOR SCHEDULES & SPECIFICATIONS FOR HARDWARE SETS
 - 7 DENOTES HOLLOW METAL FRAME - SEE A804, A805 & SPECIFICATIONS FOR MORE INFO
 - 8 DENOTES "RESCUE WINDOW" SEE SPECS FOR MORE INFO SEE A804 FOR WINDOWS
 - 9 DIMENSIONS SHOWN FOR INTERIOR WALLS ARE EITHER "FACE OF SHEETROCK" OR "FACE OF CMU"
 - 10 FACE OF ADJACENT WALL TO EDGE OF DOOR FRAME IS 4" TYP (U.N.O. (SEE DETAILS A, B & C ON A803))
 - 11 MASONRY WALLS - ALL EXPOSED EDGES & ALL WALL OUTSIDE CORNERS SHALL BE BULLNOSE (e.g. C/A903)
 - 12 SEE A806 & A807 FOR FINISH SCHEDULES
 - 13 HATCH INDICATES ADD ALTERNATE CASEWORK, MILLWORK & GYM EQ.



NOTE: ALL LOCAL CODES, REGULATIONS AND ORDINANCES ARE INDICATED OR REPRESENTED BY THIS DRAWING AND ARE THE PROPERTY OF THE ARCHITECT. ANY CHANGES TO THESE CONDITIONS OR ANY OTHER CONDITIONS ON THIS PROJECT SHALL BE THE ARCHITECT'S RESPONSIBILITY. ANY CHANGES TO THESE CONDITIONS OR ANY OTHER CONDITIONS ON THIS PROJECT SHALL BE THE ARCHITECT'S RESPONSIBILITY. ANY CHANGES TO THESE CONDITIONS OR ANY OTHER CONDITIONS ON THIS PROJECT SHALL BE THE ARCHITECT'S RESPONSIBILITY.

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3	07/14/2021	CONSTRUCTION DOCS - NYSED
5	11/01/2021	ISSUE FOR BID
6	01/13/2022	CONFORMED SET

ADD ALTERNATE CASEWORK/MILLWORK IS IDENTIFIED WITH A HATCH OR NOTE ON THE CONTRACT DOCUMENTS, AND IS DESCRIBED IN SPECIFICATION SECTION 012300. ITEMS NOT HATCHED OR NOTED AS PART OF THE ADD ALTERNATE, SHALL BE INCLUDED IN BASE BID.

1st FLOOR PLAN

Job No. 2019-1026 Date 08/31/2020
Scale AS NOTED Drawn / Checked -
Sheet Number

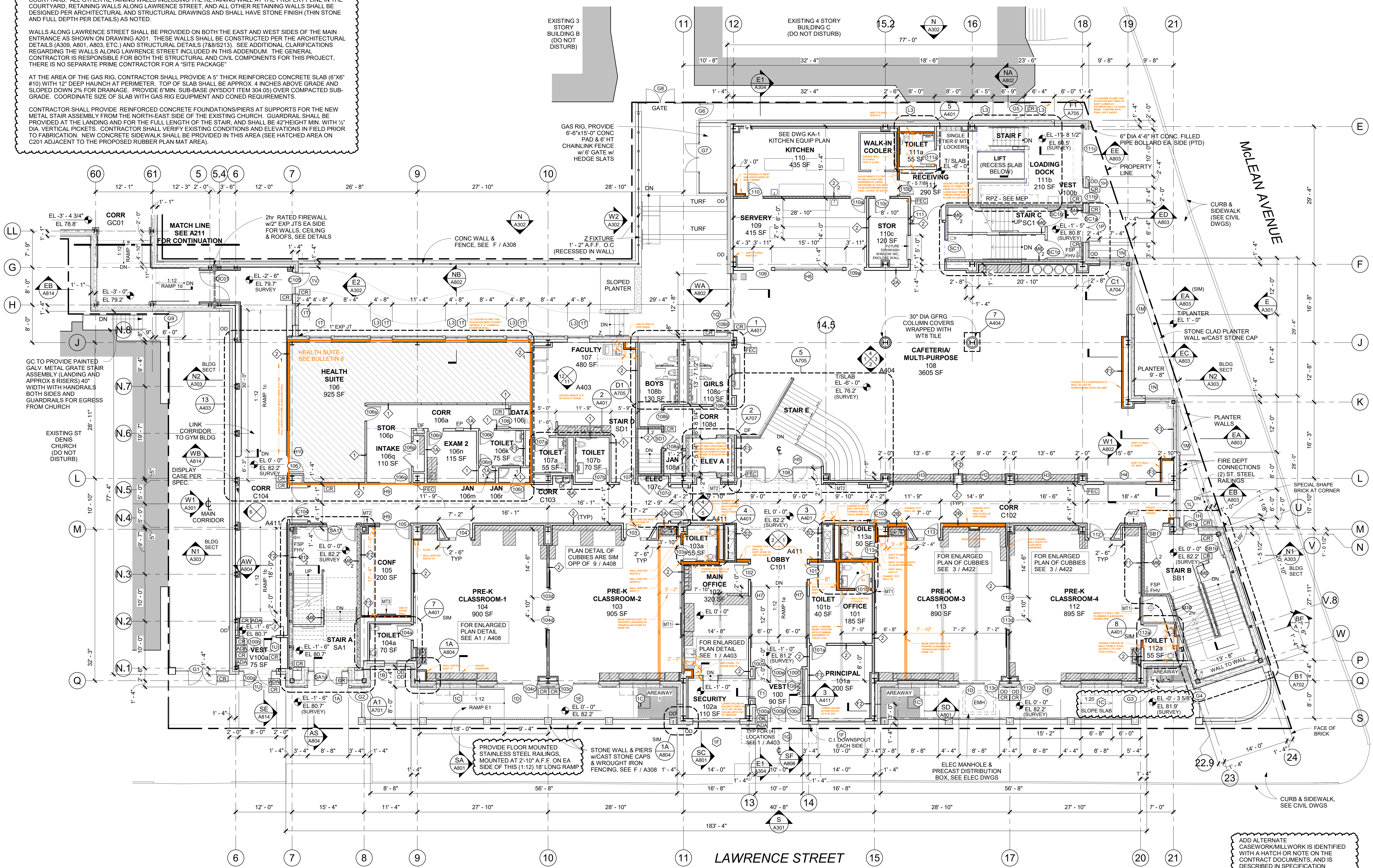
A201

THE LAYOUT OF THE SITE WALLS IN THE REAR/NORTH COURTYARD SHALL MATCH THE DESIGN SHOWN ON ARCHITECTURAL DRAWING A201. THERE SHALL BE TWO "SEATING RETAINING WALLS" ON THE NORTH SIDE OF THE COURTYARD, AND ONE "SEATING RETAINING WALL" ON THE WEST SIDE OF THE COURTYARD AS INDICATED ON A201. THESE THREE COURTYARD RETAINING/SEATING WALLS AND ASSOCIATED RETURN WALLS AT STAIRS SHALL HAVE THE FORM LINER FINISH, AND SHALL BE STRUCTURALLY DESIGNED PER DETAIL 8/S212 INCLUDING REINFORCEMENT AND FOOTINGS (STEPS AS REQUIRED). THE SEAT WALL FINISH DETAIL ON DRAWING C400 SHALL ONLY APPLY TO THESE THREE RETAINING/SEATING WALLS IN THE REAR/NORTH COURTYARD. ALL OTHER RETAINING WALLS INCLUDING THE RETAINING WALL AT THE PROPERTY LINE IN THE COURTYARD, RETAINING WALLS ALONG LAWRENCE STREET, AND ALL OTHER RETAINING WALLS SHALL BE DESIGNED PER ARCHITECTURAL AND STRUCTURAL DRAWINGS AND SHALL HAVE STONE FINISH (THIN STONE AND FULL DEPTH PER DETAILS) AS NOTED.

WALLS ALONG LAWRENCE STREET SHALL BE PROVIDED ON BOTH THE EAST AND WEST SIDES OF THE MAIN ENTRANCE AS SHOWN ON DRAWING A201. THESE WALLS SHALL BE CONSTRUCTED PER THE ARCHITECTURAL DETAILS (A309, A801, A803, ETC.) AND STRUCTURAL DETAILS (788/S213). SEE ADDITIONAL CLARIFICATIONS REGARDING THE WALLS ALONG LAWRENCE STREET INCLUDED IN THIS ADDENDUM. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR BOTH THE STRUCTURAL AND CIVIL COMPONENTS FOR THIS PROJECT. THERE IS NO SEPARATE PRIME CONTRACTOR FOR A "SITE PACKAGE".

AT THE AREA OF THE GAS RIG, CONTRACTOR SHALL PROVIDE A 5" THICK REINFORCED CONCRETE SLAB (6'x6' #10) WITH 12" DEEP HAUNCH AT PERIMETER. TOP OF SLAB SHALL BE APPROX. 4 INCHES ABOVE GRADE AND SLOPED DOWN 2% FOR DRAINAGE. PROVIDE 6" MIN. SUB-BASE (NYS DOT ITEM 304.05) OVER COMPACTED SUB-GRADE. COORDINATE SIZE OF SLAB WITH GAS RIG EQUIPMENT AND CONED REQUIREMENTS.

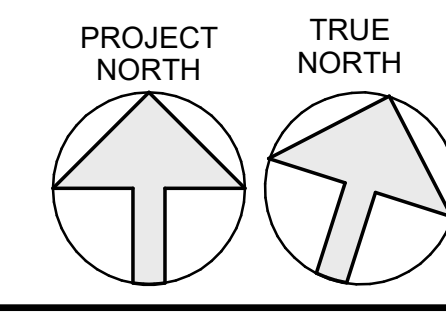
CONTRACTOR SHALL PROVIDE REINFORCED CONCRETE FOUNDATIONS/PIERS AT SUPPORTS FOR THE NEW METAL STAIR ASSEMBLY FROM THE NORTH-EAST SIDE OF THE EXISTING CHURCH. GUARDRAIL SHALL BE PROVIDED AT THE LANDING AND FOR THE FULL LENGTH OF THE STAIR, AND SHALL BE 42" HEIGHT MIN. WITH 1/2" DIA. VERTICAL PICKETS. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND ELEVATIONS IN FIELD PRIOR TO FABRICATION. NEW CONCRETE SIDEWALK SHALL BE PROVIDED IN THIS AREA (SEE HATCHED AREA ON C201 ADJACENT TO THE PROPOSED RUBBER PLAN MAT AREA).



1st FLOOR PLAN
1/8" = 1'-0"

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NOTE: ALL INTERIOR RAMPS SHALL HAVE STAINLESS-STEEL HANDRAILS ON EACH SIDE, SHALL EXTEND 12" MIN PAST EACH END OF THE RAMP AND SHALL RETURN TO THE WALL.



NEW COMMUNITY SCHOOL 35 AT ST DENIS SITE

YONKERS JOINT SCHOOLS
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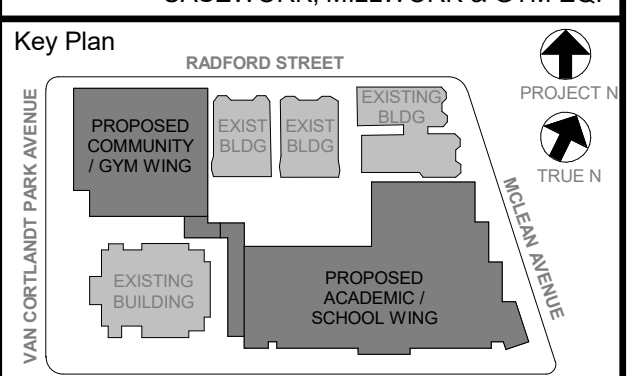


NY SED PROJECT CONTROL NO.
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- SEE A806 & A807 FOR FINISH SCHEDULES
- HATCH INDICATES ADD ALTERNATE CASEWORK, MILLWORK & CVM E.G.



NOTE: ALL LOCAL LEGISLATION, ORDINANCES, RULES AND REGULATIONS OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF AND ARE HEREBY GRANTED TO ARCHITECTS, PC AND ARE HEREBY GRANTED FOR USE ON THIS PROJECT. NONE OF SUCH LEGISLATION, ORDINANCES OR REGULATIONS SHALL BE USED BY OR DECISIONS TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF ARCHITECTS, PC.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER UNLabeled DIMENSIONS CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY DISCREPANCIES FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

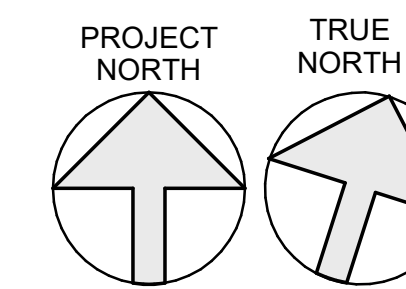
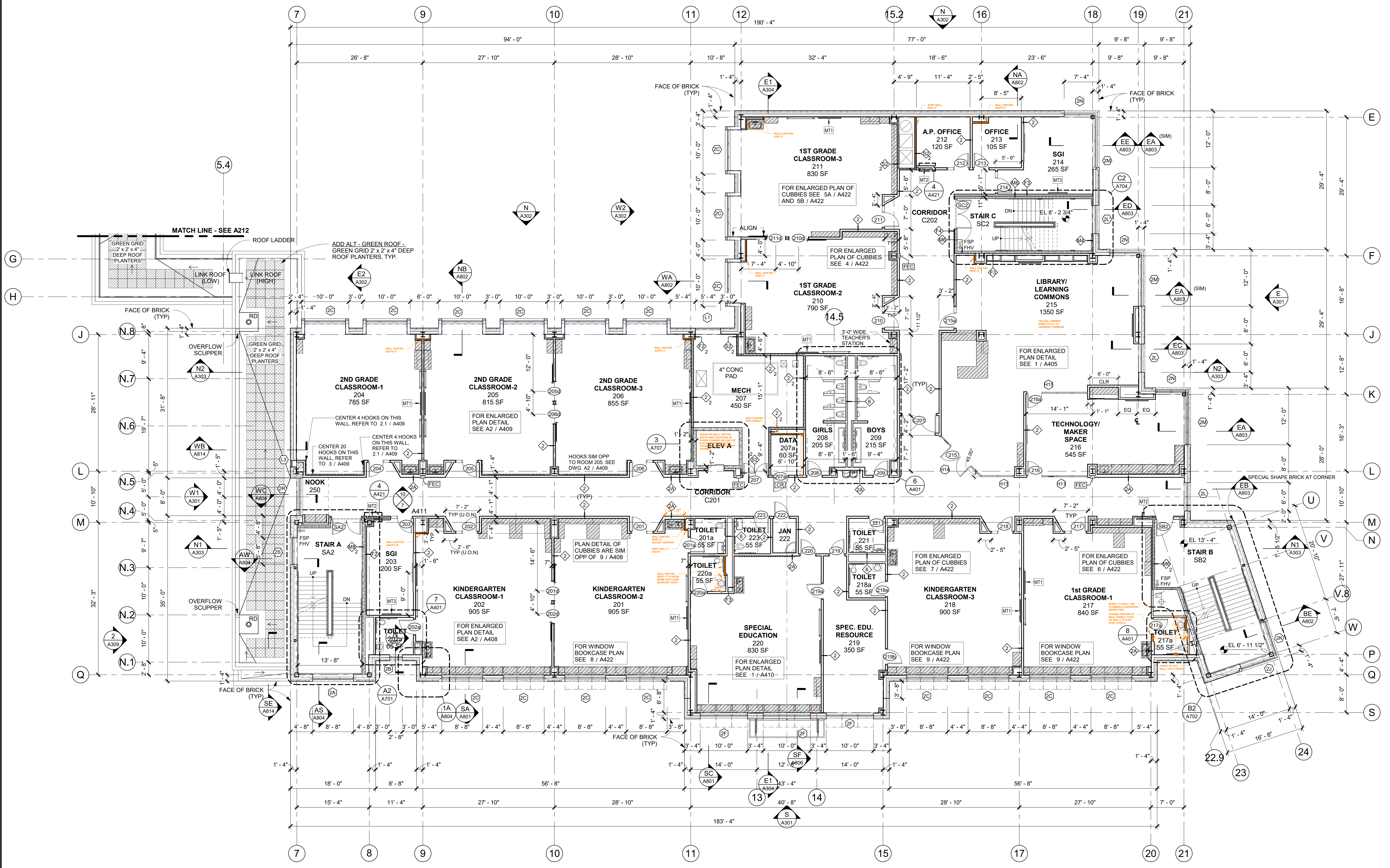
ALTERATIONS BY ANY PERSON IN ANY WAY OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT, UNLESS PROFESSIONAL SEAL, IS HEREBY PROHIBITED. AS A REGULATORY TITLE V.S. SECT. 88-B OF NEW YORK STATE LAW, ARCHITECTS, PC IS NOT PROVIDING CONTRACT ADMINISTRATION SERVICES.

Professional Seal

5	11/01/2021	ISSUE FOR BID
3	07/14/2021	CONSTRUCTION DOCS - NYSED
2	12/15/2020	DESIGN DEVELOPMENT
1	08/31/2020	SCHEMATIC DESIGN
No.	Date	Issue

2nd FLOOR PLAN

Job No.	2019-1026	Date	08/31/2020
Scale	AS NOTED	Drawn / Checked	-/-
Sheet Number	A202		



NEW COMMUNITY SCHOOL 35 AT ST DENIS SITE

YONKERS JOINT SCHOOLS
CONSTRUCTION BOARD
121 McLean Avenue
Yonkers, NY 10705

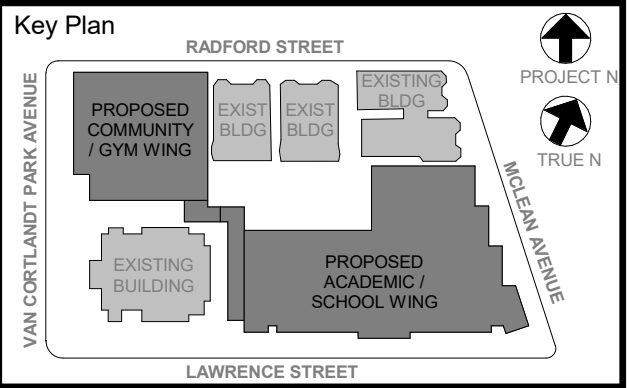
KG+D listen imagine build
ARCHITECTS, PC
285 MAIN STREET - MOUNT KISCO, NEW YORK 10549
P:914.666.5900 KG+DARCHITECTS.COM

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GENERAL NOTES

- SEE A801 FOR ALL INTERIOR WALL TYPES. SEE SPECS FOR OTHER WALL INFO.
- CORRIDOR, CLASSROOM & ALL TEACHING SPACE WALLS SHALL BE: WALL TYPE 2 - (NON-FIRE-RATED)
- MOST OTHER INTERIOR WALLS SHALL BE: WALL TYPE 2 - (NON-FIRE-RATED) UNLESS OTHERWISE TAGGED
- STAIR ENCLOSURE WALLS SHALL BE: WALL TYPE M8 - (2hr FIRE-RATED) UNLESS OTHERWISE TAGGED
- FURRING AROUND COLUMNS SHALL BE: WALL TYPE F3 - U.N.O. OR TAGGED
- 2 DENOTES WALL TYPE (TAG) & FIRE-RATING - WHERE INDICATED - WALL FIRE-RATING (IN HOURS)
- 3 DENOTES 2hr FIRE-RATED WALL TYPE
- 4 DENOTES TYPE 2 WALL FIRE-RATED FOR 2 HOURS
- 5 DENOTES NON-FIRE-RATED OR 1hr FIRE-RATED WALL TYPE
- 6 DENOTES TYPE 1 WALL NON-FIRE-RATED
- 101 DENOTES DOOR NUMBER. SEE A802 FOR DOOR SCHEDULE. SEE A803 FOR OTHER DOOR INFO. SEE SPEC FOR HARDWARE SETS
- X DENOTES HOLLOW METAL FRAME - SEE A804, A805 & SPECS FOR MORE INFO
- RW DENOTES "RESCUE WINDOW" SEE SPECS FOR MORE INFO. SEE A804 FOR WINDOWS
- DIMENSIONS SHOWN FOR INTERIOR WALLS ARE EITHER "FACE OF SHEETROCK" OR "FACE OF CMU"
- FACE OF ADJACENT WALL TO EDGE OF DOOR FRAME IS 4" TYP. U.O. (SEE DETAILS A & B & C ON A803)
- MASONRY WALLS - ALL EXPOSED EDGES & ALL WALL OUTSIDE CORNERS SHALL BE BULLNOSE (e.g. C/A803)
- SEE A806 & A807 FOR FINISH SCHEDULES
- HATCH INDICATES ADD ALTERNATE CASEWORK, MILLWORK & GYM EQ.



NOTE: ALL LOCAL LEGAL REQUIREMENTS AND ALL APPLICABLE CODES AND REGULATIONS ARE INCORPORATED INTO THIS DRAWING AND ARE THE PROPERTY OF THE ARCHITECT. ANY CHANGES TO THESE REQUIREMENTS SHALL BE NOTICED BY THE ARCHITECT AND THE ARCHITECT MUST BE NOTICED OF ANY CHANGES FROM THE ORIGINAL DRAWING AND CONDITIONS SHOWN. ANY DETAILS MUST BE SUBMITTED TO THE OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

ALTERATIONS BY ANY PERSON IN ANY WAY OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT, IS PROHIBITED. ANY SUCH ALTERATIONS SHALL BE THE RESPONSIBILITY OF THE PERSON MAKING SUCH ALTERATIONS AND SHALL BE SUBJECT TO THE PENALTIES OF THE PROFESSIONAL SEAL AND THE ARCHITECT'S LIABILITY INSURANCE. ANY SUCH ALTERATIONS SHALL BE SUBJECT TO THE PENALTIES OF THE PROFESSIONAL SEAL AND THE ARCHITECT'S LIABILITY INSURANCE.

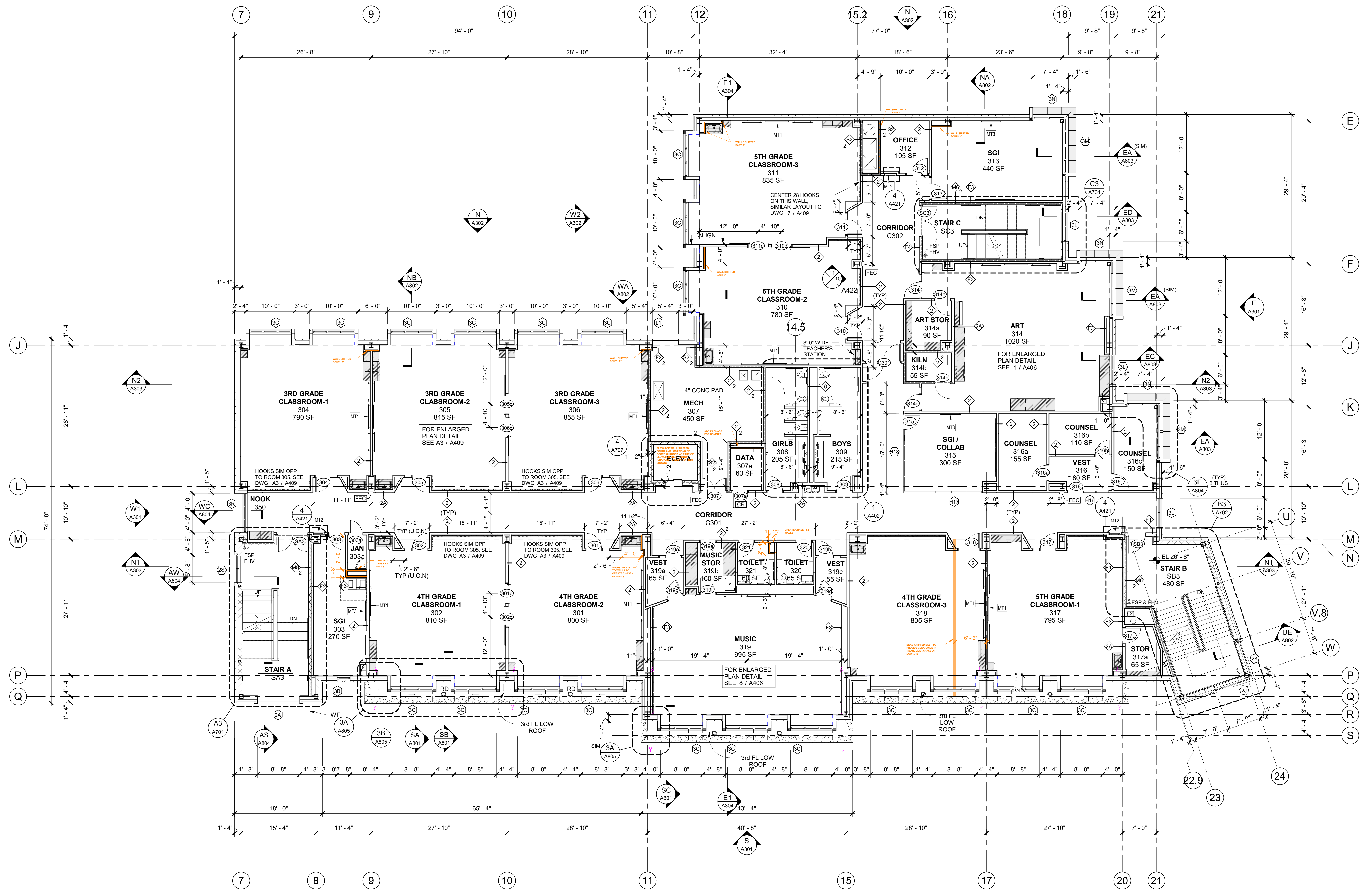
Professional Seal

No.	Date	Issue
5	11/01/2021	ISSUE FOR BID
3	07/14/2021	CONSTRUCTION DOCS - NYSED
2	12/15/2020	DESIGN DEVELOPMENT
1	08/31/2020	SCHEMATIC DESIGN

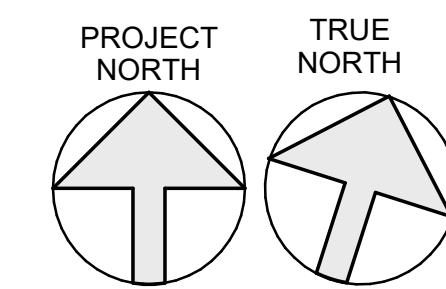
3rd FLOOR PLAN

Job No. 2019-1026 Date 08/31/2020
Scale AS NOTED Drawn / Checked

Sheet Number
A203



3 3rd FLOOR PLAN
1/8" = 1'-0"



NEW COMMUNITY SCHOOL 35 AT ST DENIS SITE

YONKERS JOINT SCHOOLS
CONSTRUCTION BOARD

121 McLean Avenue
Yonkers, NY 10705



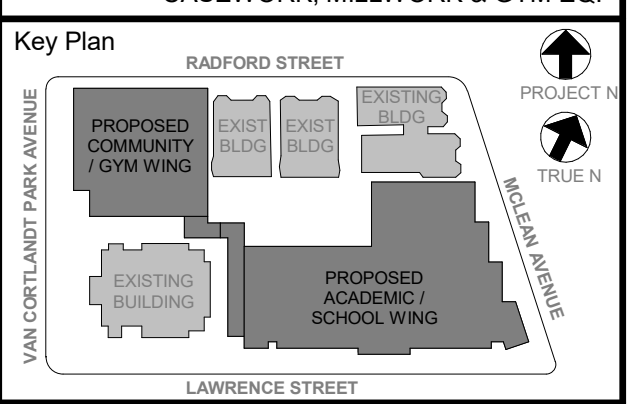
KG+D ARCHITECTS, PC
285 MAIN STREET - MOUNT KISCO, NEW YORK 10549
P:914.666.5900 KGDARCHITECTS.COM

NY SED PROJECT CONTROL NO.
66-23-00-01-0-346-001

CONSTRUCTION DOCUMENTS

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- 11 SEE A806 & A807 FOR FINISH SCHEDULES
- 12 HATCH INDICATES ADD ALTERNATE CASEWORK, MILLWORK & CYM EQ.



NOTE: ALL LOCAL DESIGN REQUIREMENTS ARE PLANNED AND INDICATED OR REPRESENTED BY THIS DRAWING AND ARE THE PROPERTY OF THE CLIENT. THE ARCHITECT HAS CONDUCTED VISUAL VERIFICATION OF THE EXISTING CONDITIONS AND HAS NOT CONDUCTED A FIELD SURVEY. THE ARCHITECT HAS CONDUCTED VISUAL VERIFICATION OF THE EXISTING CONDITIONS AND HAS NOT CONDUCTED A FIELD SURVEY. THE ARCHITECT HAS CONDUCTED VISUAL VERIFICATION OF THE EXISTING CONDITIONS AND HAS NOT CONDUCTED A FIELD SURVEY.

Professional Seal

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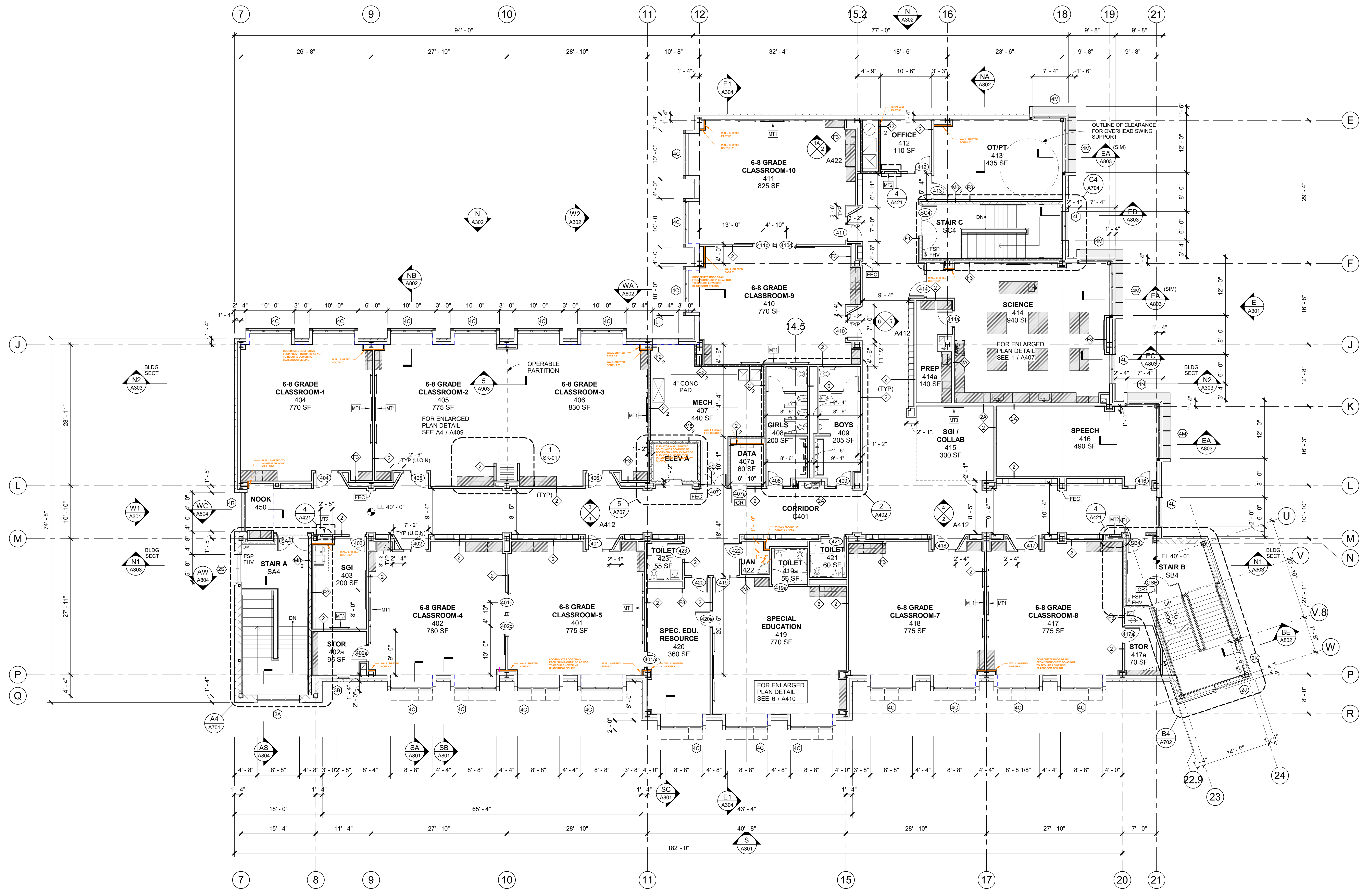
Sheet Title

4th FLOOR PLAN

Job No. 2019-1026 Date 08/31/2020
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Sheet Number

A204



4 4th FLOOR PLAN
1/8" = 1'-0"

