

# 500 COMMERCE STREET REDEVELOPMENT

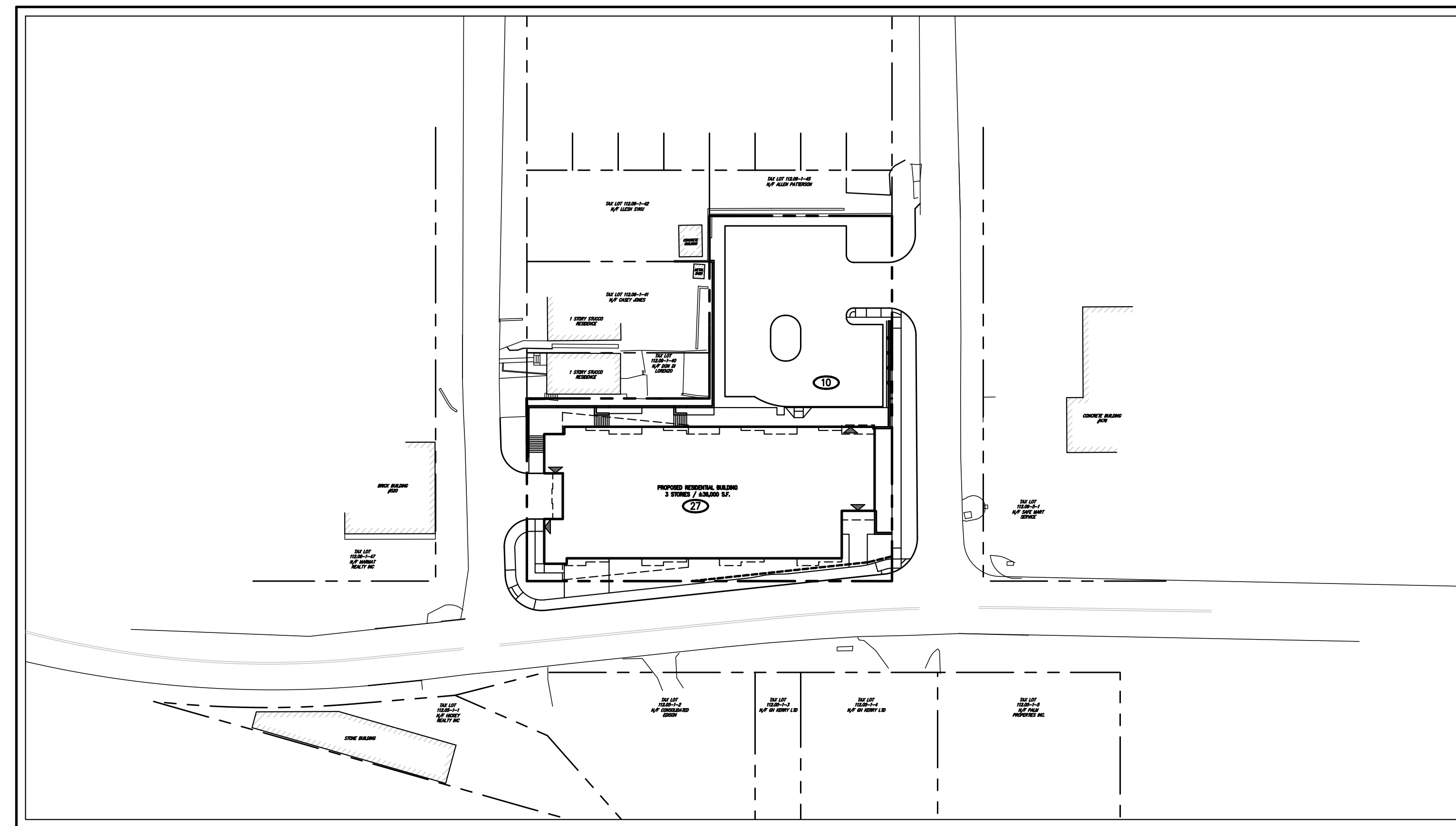
TAX MAP SECTION 112.06 | BLOCK 1 | LOT 46  
 TOWN OF MOUNT PLEASANT  
 500 COMMERCE STREET  
 HAWTHORNE, NY 10532

**JMC** Site Planner, Civil & Traffic Engineer,  
 Surveyor and Landscape Architect:  
 120 BEDFORD ROAD  
 ARMONK, NY 10504  
 (914) 273-5225

**Applicant:**  
 500 COMMERCE LLC  
 3 WEST STEVENS AVENUE  
 HAWTHORNE, NY 10532  
 APPLICANT PHONE

**Surveyor:**  
 TC MERRITS LAND SURVEYORS  
 394 BEDFORD ROAD  
 PLEASANTVILLE, NY 10570  
 (914) 769-8003

**Architect:**  
 DIMOVSKI ARCHITECTURE PLLC  
 59 KENSICO ROAD  
 THORNWOOD, NY 10594  
 (914) 747-3500



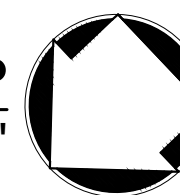
**JMC Site Plans Drawing List:**

- C-000 COVER SHEET
- C-010 EXISTING CONDITIONS
- C-100 LAYOUT PLAN
- C-200 GRADING PLAN
- C-300 UTILITIES PLAN
- C-400 EROSION AND SEDIMENT CONTROL PLAN
- C-900 CONSTRUCTION DETAILS
- C-901 CONSTRUCTION DETAILS
- C-902 CONSTRUCTION DETAILS
- C-903 CONSTRUCTION DETAILS
- C-904 CONSTRUCTION DETAILS
- C-905 CONSTRUCTION DETAILS
- C-906 CONSTRUCTION DETAILS
- L-100 LANDSCAPING PLAN
- L-200 LIGHTING PLAN
- DA-1 EXISTING DRAINAGE AREA MAP
- DA-2 PROPOSED DRAINAGE AREA MAP

**JMC Highway Plan Drawing List:**

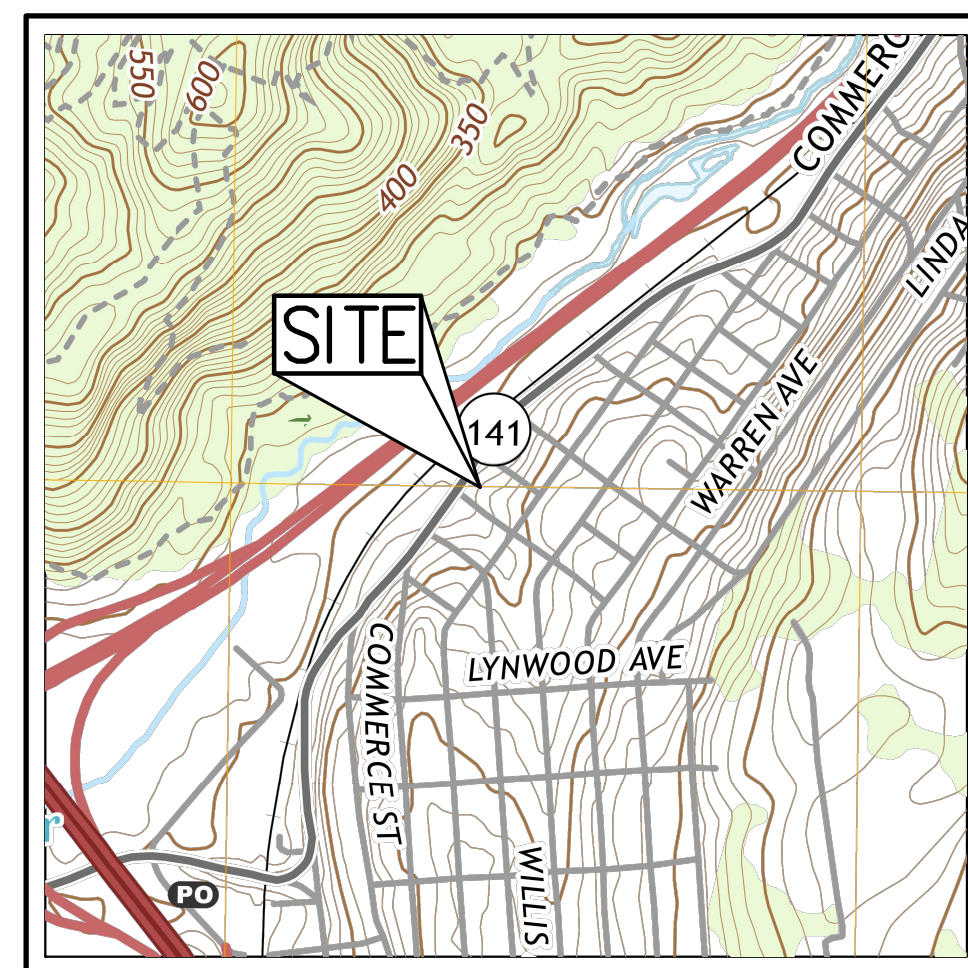
- HP-1 COVER SHEET
- HP-2 LAYOUT PLAN PHASE 1
- HP-2A LAYOUT PLAN PHASE 2
- HP-3 SIGNING, STRIPING, & LANDSCAPING PLAN
- HP-4 GRADING & UTILITIES PLAN
- HP-5 EROSION AND SEDIMENT CONTROL PLAN
- HP-6 WORK ZONE TRAFFIC CONTROL PLAN
- HP-7 CONSTRUCTION DETAILS
- HP-8 CONSTRUCTION DETAILS
- HP-9 CONSTRUCTION DETAILS
- HP-10 CONSTRUCTION DETAILS

AREA MAP  
 SCALE: 1" = 50'



**GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:**

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7862) TO HAVE UNDERGROUND UTILITIES LOCATED INCLUDING ARRANGING FOR A PRIVATE MARKOUT ON-SITE WHERE APPLICABLE. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES; AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDE INTERRUPTION OF UTILITY SERVICE.
2. CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC, PLLC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC, PLLC.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
4. ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES, APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THEREO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA); AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISIONS OF SECTION 107-06 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYS DOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
5. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. RAMPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
6. CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.



ZONING / VICINITY MAP  
 SCALE: 1" = 1,000'  
 SOURCE: USGS / 2019



SUBSURFACE UTILITY LOCATIONS ARE BASED ON A COMPILATION OF FIELD EVIDENCE, AVAILABLE RECORD PLANS AND/OR UTILITY MARK-OUTS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.



No.	Revision	Date	By
1.	ISSUED FOR SITE PLAN APPLICATION	01/14/2019	JJ
2.	REVISED PER TOWN ENGINEER COMMENTS	09/30/2019	TK
3.	TOWN HIGHWAY DEPARTMENT SUBMISSION	12/15/2020	JJ
4.	ISSUED FOR BUILDING PERMIT	03/12/2021	JJ
5.	ISSUE FOR PRICING	03/16/2021	JJ
6.	STORMWATER PERMIT SUBMISSION	05/25/2021	JJ
7.	ISSUE FOR UPDATED PRICING	06/11/2021	JJ

*Previous Editions Obsolete*

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn: JJ Approved: RA  
 Scale: AS NOTED  
 Date: 01/16/2019  
 Project No: 18158  
 18158-SITE C-000 COVER.sxd  
 Drawing No: C-000



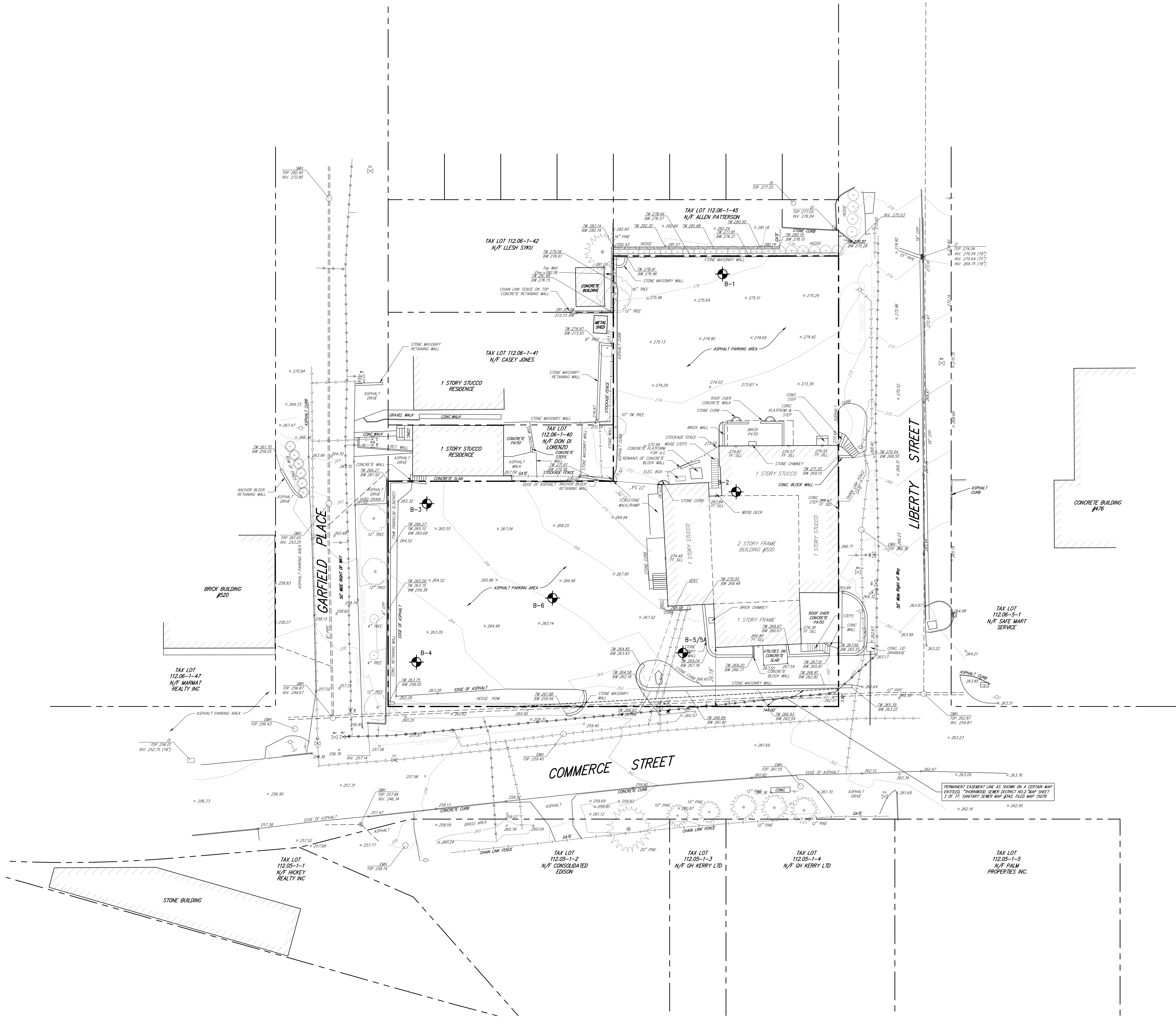
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**LEGEND**

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING BUILDING OVERHANG
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING FENCE
- EXISTING TREE AND DESIGNATION
- EXISTING TREE LINE
- ↑ EXISTING DIRECTIONAL ARROWS
- EXISTING PAINT
- EXISTING PARKING WITH NUMBER OF SPACES
- EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
- EXISTING PEDESTRIAN CROSSING
- EXISTING STORM DRAIN LINE AND SIZE
- EXISTING SANITARY LINE AND SIZE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD WIRES
- EXISTING DRAIN INLET
- EXISTING MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN

**NOTES:**

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHY OF PROPERTY PREPARED FOR 500 COMMERCE LLC," PREPARED BY TC MERRITS LAND SURVEYORS, DATED 11/10/2017.

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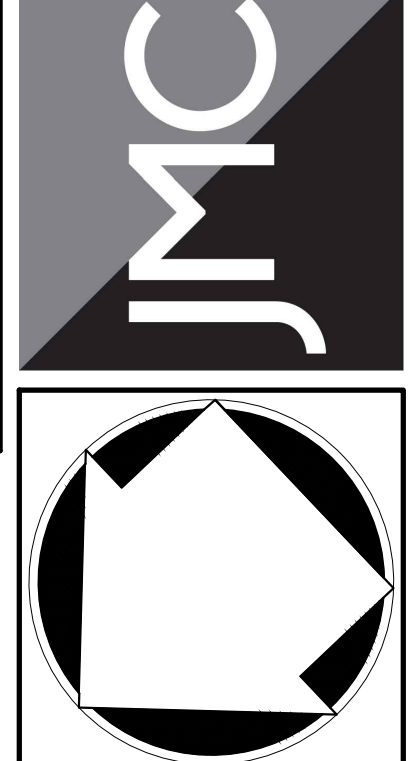
No.	Revision	Date	By
4.	WCDOH SUBMISSION	08/03/2020	JJ
5.	RESPONSE TO WCDOH COMMENTS	10/06/2020	JR
6.	TOWN HIGHWAY DEPARTMENT SUBMISSION	12/15/2020	JJ
7.	ISSUED FOR BUILDING PERMIT	03/12/2021	JJ
8.	ISSUE FOR PRICING	03/16/2021	JJ
9.	STORMWATER PERMIT SUBMISSION	05/25/2021	JJ
10.	ISSUE FOR UPDATED PRICING	06/11/2021	JJ

*Previous Editions Obsolete*

APPLICANT/OWNER:  
**500 COMMERCE LLC**  
 3 WEST STEVENS AVENUE  
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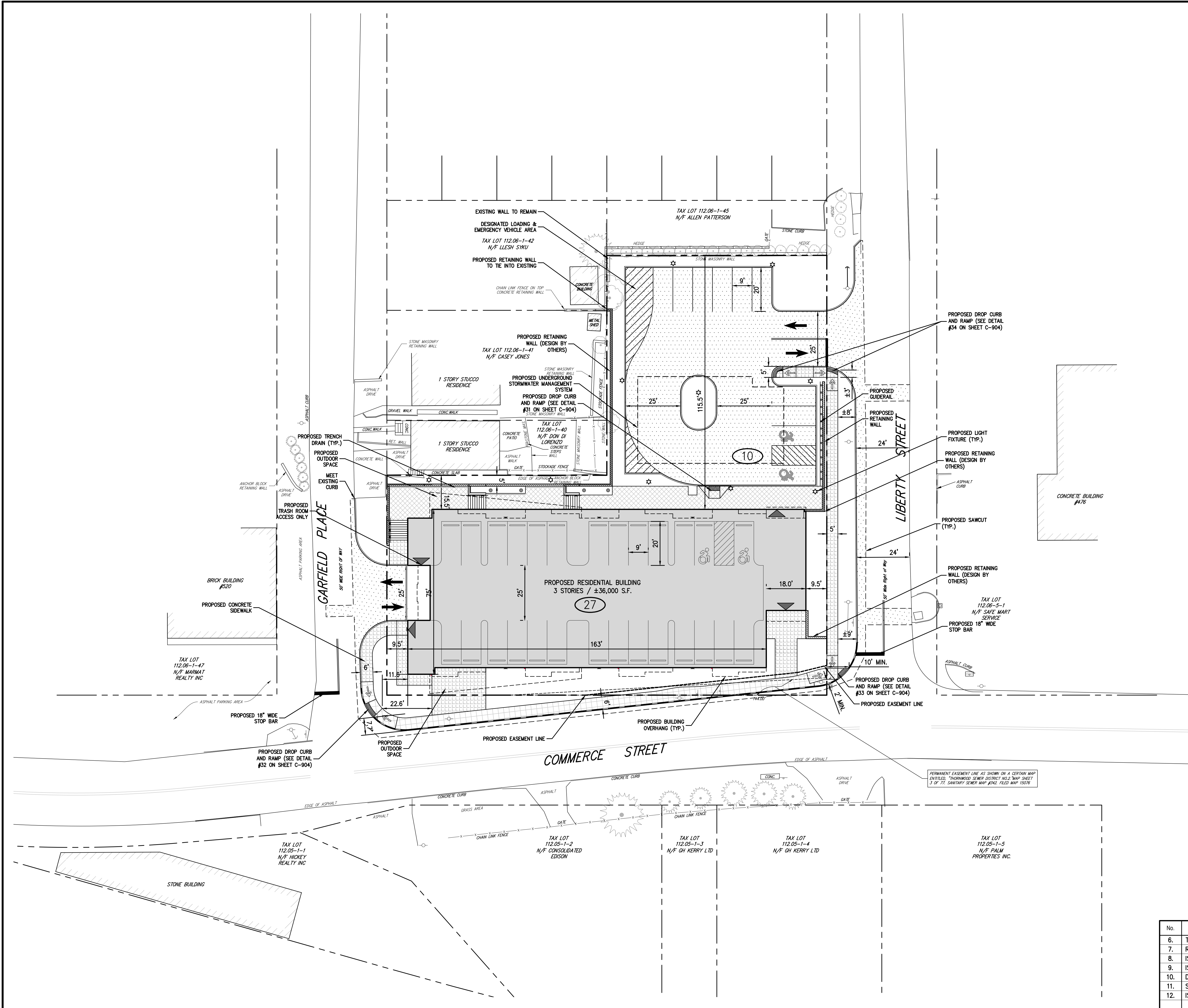


**EXISTING PLAN**  
**CONDITIONS PLAN**  
 500 COMMERCE STREET REDEVELOPMENT  
 500 COMMERCE STREET  
 HAWTHORNE, NY 10532

Drawn: JJ Approved: RA  
 Scale: 1" = 20'  
 Date: 01/16/2019  
 Project No: 18158  
 1819-01 C-010 EXIST.scr  
 Drawing No: **C-010**

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### LEGEND

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- ADJACENT PROPERTY LINE
- EXISTING SETBACK LINE
- EXISTING BUILDING OVERHANG
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING FENCE
- EXISTING TREE AND DESIGNATION
- EXISTING TREE LINE
- EXISTING DIRECTIONAL ARROWS
- EXISTING PAINT
- EXISTING PARKING WITH NUMBER OF SPACES
- EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
- EXISTING PEDESTRIAN CROSSING
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED BUILDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED ACCESSIBLE PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
- PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
- PROPOSED PARKING GARAGE SPACES
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE SIDEWALK
- PROPOSED PAVEMENT
- PROPOSED CONCRETE APRON
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- PROPOSED GUIDE RAIL
- PROPOSED FENCE
- PROPOSED DIRECTIONAL ARROWS
- TRAFFIC SIGN LOCATION & DESIGNATION
- PEDESTRIAN CROSSING

- ### NOTES:
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHY OF PROPERTY PREPARED FOR 500 COMMERCE LLC," PREPARED BY TC MERRITS LAND SURVEYORS, DATED 11/20/2017, REVISED 05/13/2019 TO SHOW ADDITIONAL TOPOGRAPHY AND UTILITIES.
  - UNLESS REQUIRED BY NYS DOT OR WCDPW, HANDICAP RAMPS SHALL NOT BE INSTALLED UNLESS RECEIVING SIDEWALK IS IN PLACE ON OPPOSING SIDE OF CROSSING.
  - THE OUTDOOR SPACE OUTSIDE OF THE SIDEWALK AREA AND WITHIN THE RIGHT OF WAY SHALL BE MAINTAINED BY THE PROPERTY OWNER.

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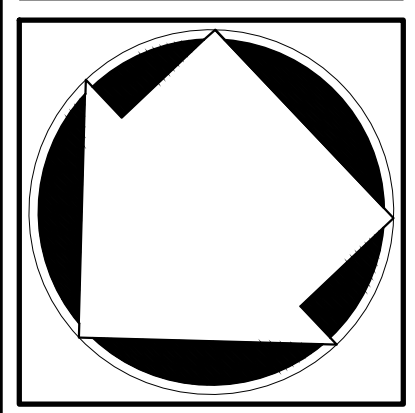
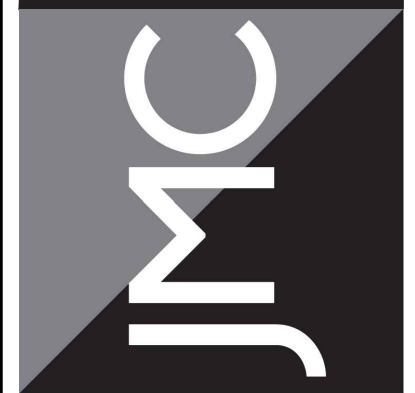
No.	Revision	Date	By
6.	TOWN HIGHWAY DEPARTMENT SUBMISSION	12/15/2019	JJ
7.	REVISED PER TOWN ENGINEER COMMENTS	12/30/2019	JJ
8.	ISSUED FOR BUILDING PERMIT	03/12/2021	JJ
9.	ISSUE FOR PRICING	03/16/2021	JJ
10.	D.O.B. COMMENTS	04/26/2021	JJ
11.	STORMWATER PERMIT SUBMISSION	05/25/2021	JJ
12.	ISSUE FOR UPDATED PRICING	06/11/2021	JJ

Scale: 1" = 20'  
 Date: 01/16/2019  
 Project No: 18158  
 18158-01E C-100 LAY-PH1.sxd  
 Drawing No: C-100  
 Previous Editions Obsolete

APPLICANT/OWNER:  
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 3 WEST STEVENS AVENUE  
 HAWTHORNE, NY 10532

ARCHITECT:  
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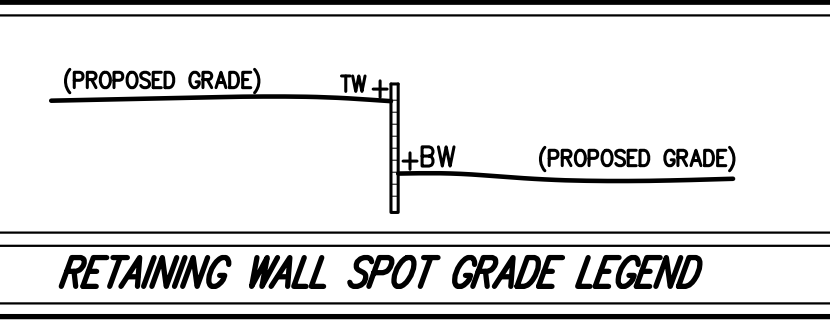
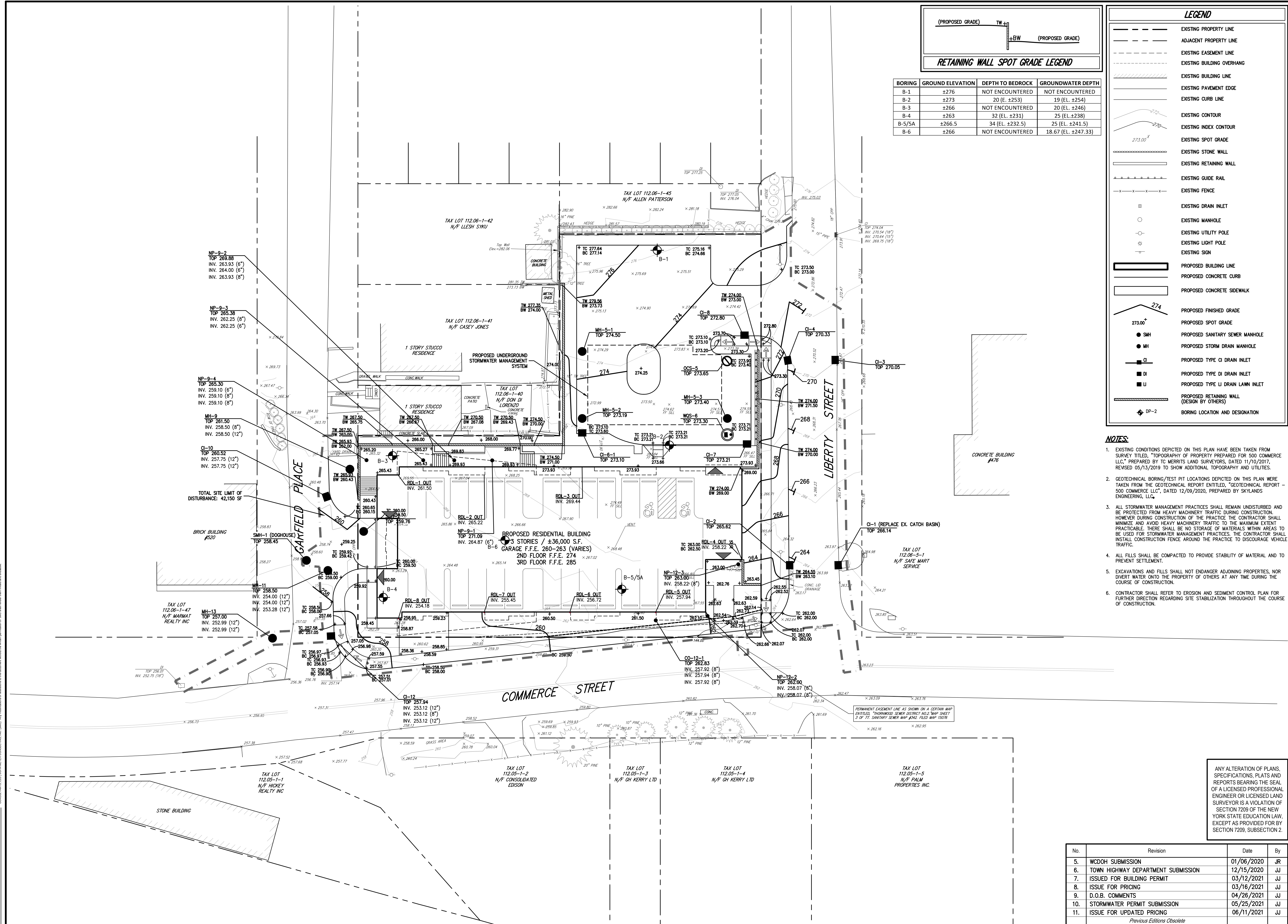


LAYOUT PLAN  
 500 COMMERCE STREET  
 REDEVELOPMENT  
 500 COMMERCE STREET  
 HAWTHORNE, NY 10532

Drawn: JJ Approved: RA  
 Scale: 1" = 20'  
 Date: 01/16/2019  
 Project No: 18158  
 18158-01E C-100 LAY-PH1.sxd  
 Drawing No: C-100  
**C-100**

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BORING	GROUND ELEVATION	DEPTH TO BEDROCK	GROUNDWATER DEPTH
B-1	±276	NOT ENCOUNTERED	NOT ENCOUNTERED
B-2	±273	20 (E. ±253)	19 (EL. ±254)
B-3	±266	NOT ENCOUNTERED	20 (EL. ±246)
B-4	±263	32 (EL. ±231)	25 (EL. ±238)
B-5/5A	±266.5	34 (EL. ±232.5)	25 (EL. ±241.5)
B-6	±266	NOT ENCOUNTERED	18.67 (EL. ±247.33)

**LEGEND**

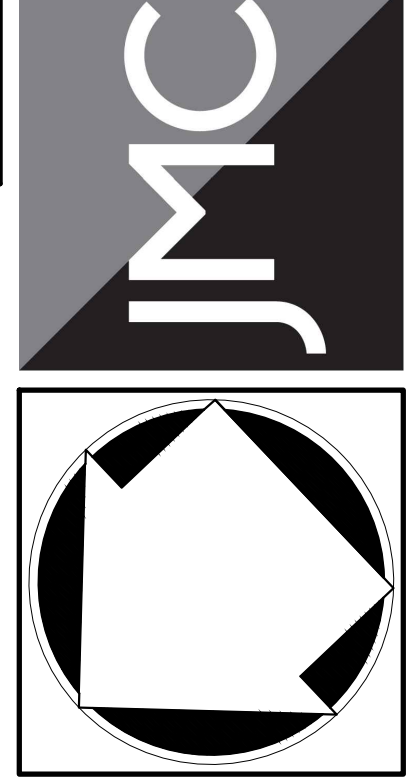
- EXISTING PROPERTY LINE
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- EXISTING CURB LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING SPOT GRADE
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING FENCE
- EXISTING DRAIN INLET
- EXISTING MANHOLE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED BUILDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED CONCRETE SIDEWALK
- PROPOSED FINISHED GRADE
- PROPOSED SPOT GRADE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED TYPE CI DRAIN INLET
- PROPOSED TYPE DI DRAIN INLET
- PROPOSED TYPE LI DRAIN LAWN INLET
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- BORING LOCATION AND DESIGNATION

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHY OF PROPERTY PREPARED FOR 500 COMMERCE LLC," PREPARED BY TC MERRITS LAND SURVEYORS, DATED 11/10/2017, REVISED 05/13/2019 TO SHOW ADDITIONAL TOPOGRAPHY AND UTILITIES.
  - GEOTECHNICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, "GEOTECHNICAL REPORT - 500 COMMERCE LLC," DATED 12/09/2020, PREPARED BY SKYLANDS ENGINEERING, LLC.
  - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
  - ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
  - EXCAVATIONS AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTIES, NOR DIVERT WATER ONTO THE PROPERTY OF OTHERS AT ANY TIME DURING THE COURSE OF CONSTRUCTION.
  - CONTRACTOR SHALL REFER TO EROSION AND SEDIMENT CONTROL PLAN FOR FURTHER DIRECTION REGARDING SITE STABILIZATION THROUGHOUT THE COURSE OF CONSTRUCTION.

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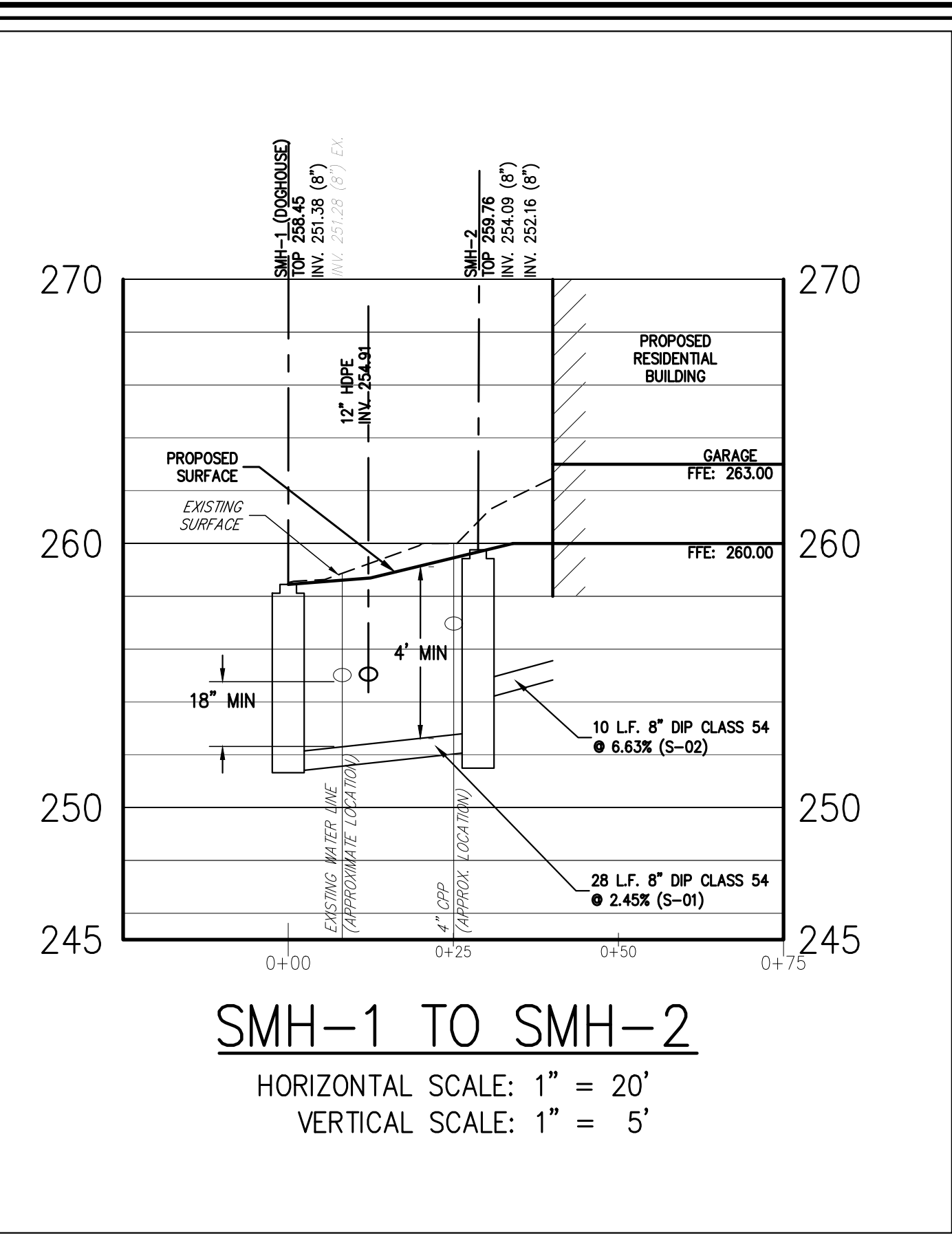
**GRADING PLAN**  
 500 COMMERCE STREET  
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No.	Revision	Date	By
5.	WCDH SUBMISSION	01/06/2020	JR
6.	TOWN HIGHWAY DEPARTMENT SUBMISSION	12/15/2020	JJ
7.	ISSUED FOR BUILDING PERMIT	03/12/2021	JJ
8.	ISSUE FOR PRICING	03/16/2021	JJ
9.	D.O.B. COMMENTS	04/26/2021	JJ
10.	STORMWATER PERMIT SUBMISSION	05/25/2021	JJ
11.	ISSUE FOR UPDATED PRICING	06/11/2021	JJ

Scale: 1" = 20'  
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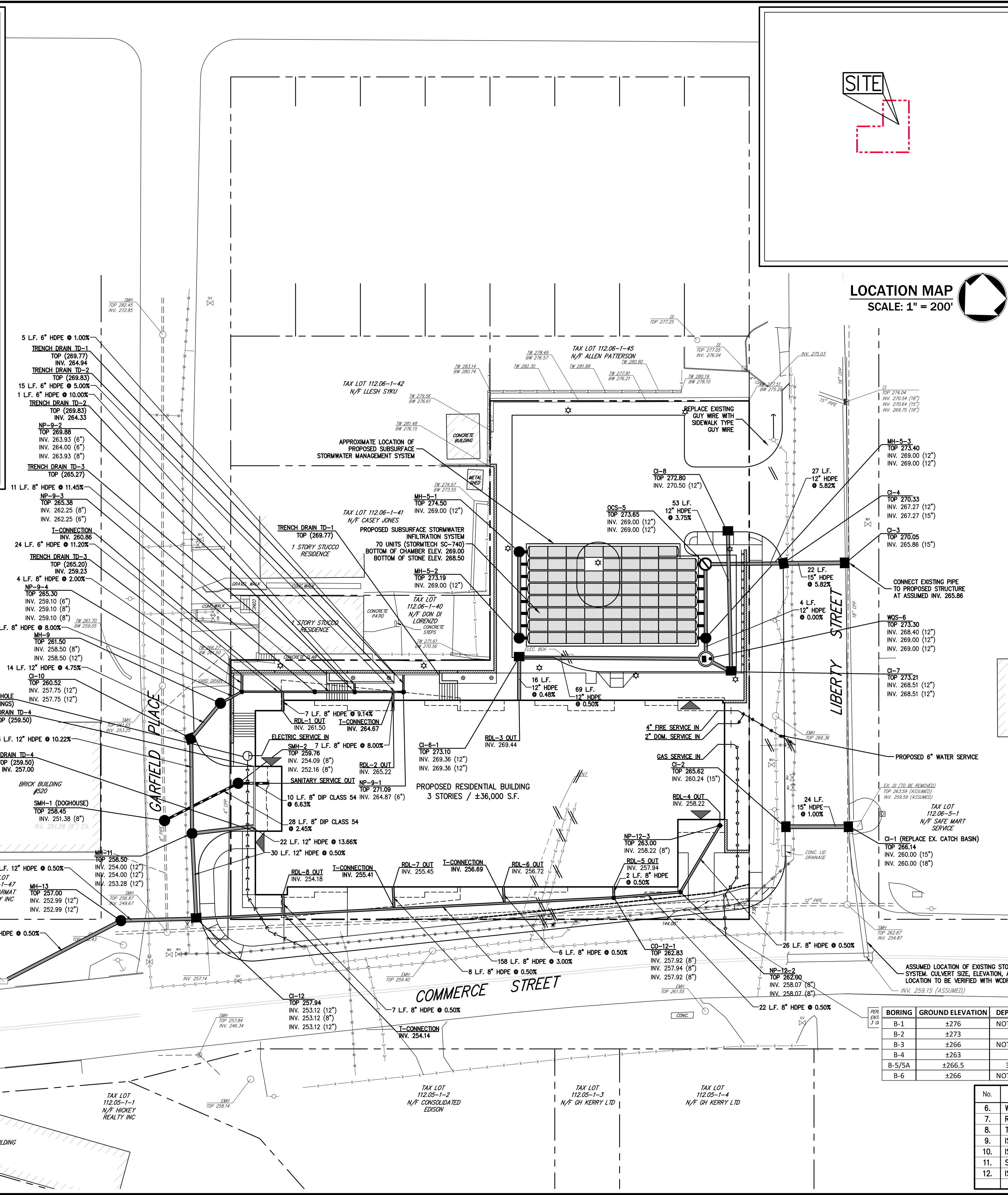
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**C-200**



**SMH-1 TO SMH-2**  
 HORIZONTAL SCALE: 1" = 20'  
 VERTICAL SCALE: 1" = 5'

**SANITARY TESTING NOTES:**

- UPON COMPLETION AND PRIOR TO THE USE OF THE PROPOSED SEWER MAIN, TWO (2) SETS OF AS-BUILT PLANS (WITH PROFILES), AIR TESTS OR VACUUM TEST RESULTS SHALL BE SUBMITTED ALONG WITH THE DESIGN PROFESSIONAL'S CERTIFICATE OF CONSTRUCTION COMPLIANCE LETTER TO WCDOH AND PERMISSION FROM THE HEALTH DEPARTMENT MUST BE OBTAINED PRIOR TO PUTTING THE SYSTEM INTO SERVICE.
- FOR EXFILTRATION/INFILTRATION TEST: LEAKAGE SHALL NOT EXCEED 100 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY. WATER TESTS SHALL BE PERFORMED UNDER A MINIMUM POSITIVE HEAD OF TWO (2) FEET (FIVE (5) FEET FOR WOODS SEWERS). LOW PRESSURE AIR TESTING IS PERMITTED FOR PIPE LINE AND SHOULD CONFORM TO ASTM C-828. VACUUM TESTING IS PERMITTED FOR MANHOLES BUT IS NOT PERMISSIBLE FOR PIPELINES.
- SANITARY SEWER PIPE SHALL BE TESTED IN ACCORDANCE WITH ASTM STANDARDS F-1417 AND SEWER MANHOLES IN ACCORDANCE WITH ASTM STANDARDS 1-1244.
- THE WCDOH MUST BE NOTIFIED, IN WRITING, 48 HOURS IN ADVANCE BEFORE ANY TESTING IS DONE ON THE SEWER MAINS AND MANHOLES.



**LOCATION MAP**  
 SCALE: 1" = 200'

**LEGEND**

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING BUILDING OVERHANG
- EXISTING BUILDING LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING FENCE
- EXISTING STORM DRAIN LINE AND SIZE
- EXISTING SANITARY LINE AND SIZE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD WIRES
- EXISTING DRAIN INLET
- EXISTING MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED BUILDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED CONCRETE SIDEWALK
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED TYPE CI DRAIN INLET
- PROPOSED TYPE DI DRAIN INLET
- PROPOSED TYPE LI DRAIN LAWN INLET
- PROPOSED OUTLET CONTROL STRUCTURE
- PROPOSED WATER QUALITY STRUCTURE
- PROPOSED HYDRANT
- PROPOSED STORM DRAIN LINE & SIZE
- PROPOSED SANITARY SEWER LINE & SIZE
- PROPOSED WATER LINE & SIZE
- PROPOSED GAS LINE
- PROPOSED WATER VALVE
- PROPOSED GAS VALVE
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- PROPOSED UTILITY POLE TO BE REMOVED

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHY OF PROPERTY PREPARED FOR 500 COMMERCE LLC," PREPARED BY TC MERRITS LAND SURVEYORS, DATED 11/10/2017, REVISED 05/13/2019 TO SHOW ADDITIONAL TOPOGRAPHY AND UTILITIES.
  - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
  - UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNUULAR EXTERIOR CORRUGATIONS IN ACCORDANCE WITH ASTM F-2848. JOINTS SHALL BE WATER TIGHT IN ACCORDANCE WITH ASTM D-3212.
  - UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE POLYVINYL CHLORIDE PIPE (PVC), SDR-35, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3212.
  - UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE DOUBLE CEMENT-LINED DUCTILE IRON PIPE (DIP), CLASS 54 WITH PUSH-ON JOINTS IN ACCORDANCE WITH ANNA C-150, C-151, C-104 AND C-111.
  - ELECTRIC, TELEPHONE, AND TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.

BORING	GROUND ELEVATION	DEPTH TO BEDROCK	GROUNDWATER DEPTH
B-1	+276	NOT ENCOUNTERED	NOT ENCOUNTERED
B-2	+273	20 (EL. +253)	19 (EL. +254)
B-3	+266	NOT ENCOUNTERED	20 (EL. +246)
B-4	+263	32 (EL. +231)	25 (EL. +238)
B-5/5A	+265.5	34 (EL. +232.5)	25 (EL. +241.5)
B-6	+265	NOT ENCOUNTERED	18.67 (EL. +247.33)

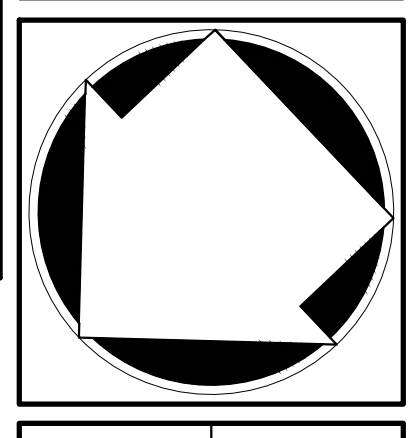
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No.	Revision	Date	By
6.	WCDOH SUBMISSION	08/03/2020	JJ
7.	RESPONSE TO WCDOH COMMENTS	10/06/2020	JR
8.	TOWN HIGHWAY DEPARTMENT SUBMISSION	12/15/2020	JJ
9.	ISSUED FOR BUILDING PERMIT	03/12/2021	JJ
10.	ISSUED FOR PRICING	03/16/2021	JJ
11.	STORMWATER PERMIT SUBMISSION	05/25/2021	JJ
12.	ISSUE FOR UPDATED PRICING	06/11/2021	JJ

APPLICANT/OWNER:  
**500 COMMERCE LLC**  
 3 WEST STEVENS AVENUE  
 HAWTHORNE, NY 10532

ARCHITECT:  
**DIMOVSKI ARCHITECTURE PLLC**  
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 THORNTON, NY 10594

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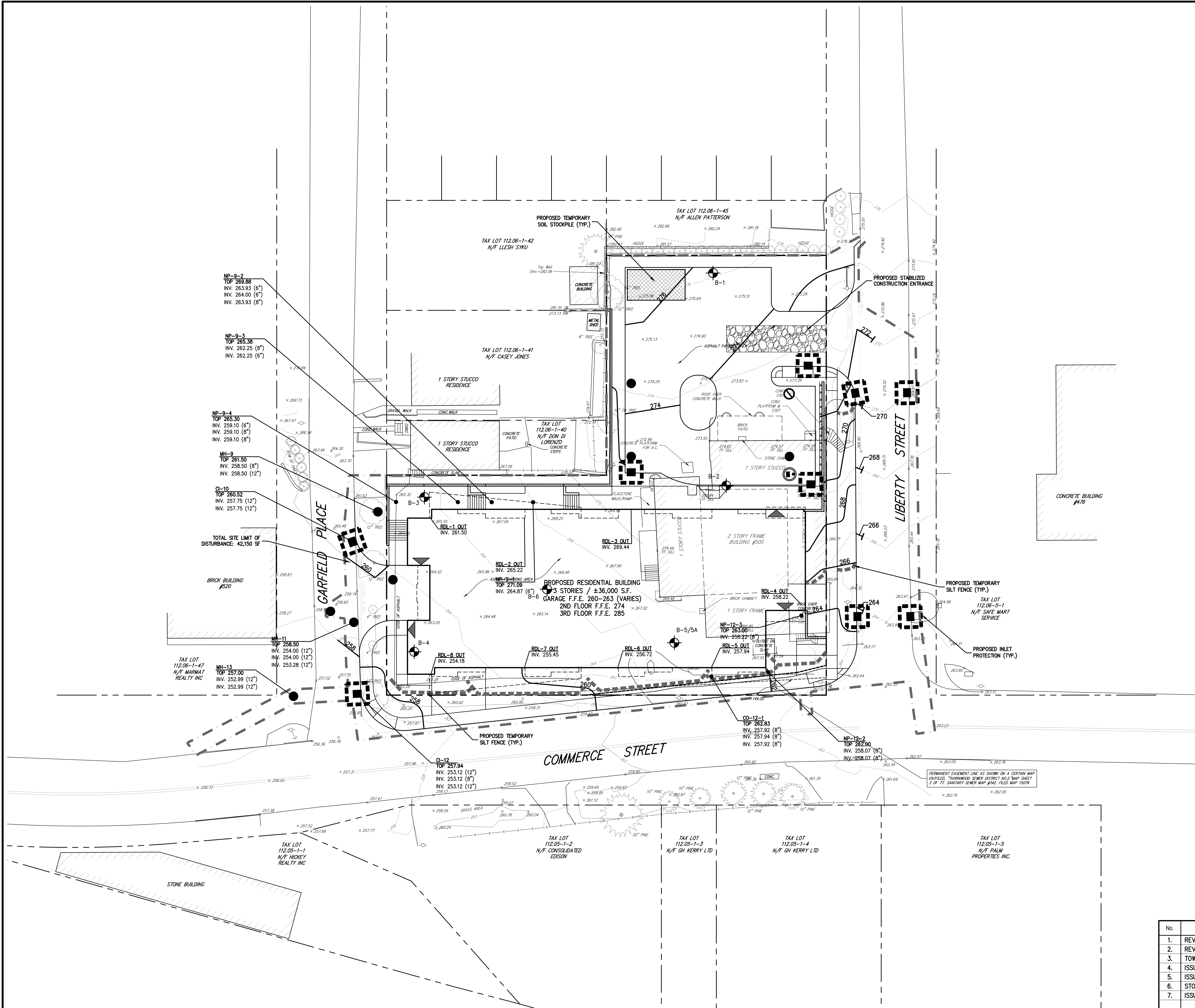


**UTILITIES PLAN**  
 500 COMMERCE STREET  
 REDEVELOPMENT  
 500 COMMERCE STREET  
 HAWTHORNE, NY 10532

Drawn: JJ Approved: RA  
 Scale: 1" = 20'  
 Date: 06/06/2019  
 Project No: 18158  
 1899-9E C-300 UTIL-PH.sxd  
 Drawing No:  
**C-300**  
 Previous Editions Obsolete

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**LEGEND**

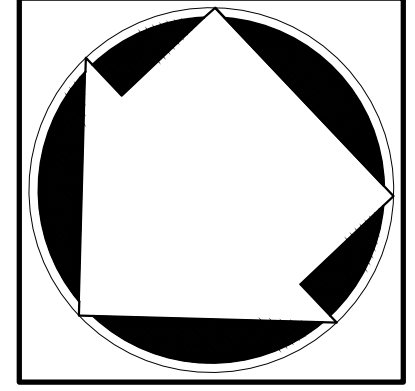
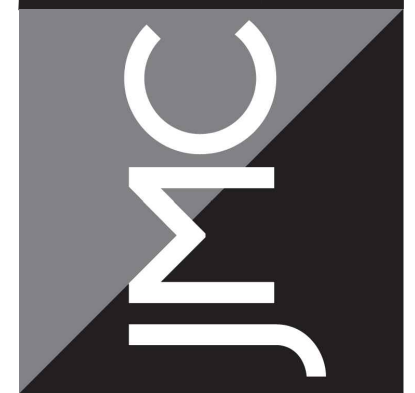
- PROPOSED INLET PROTECTION
- PROPOSED CONSTRUCTION FENCE
- PROPOSED SILT FENCE
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED STOCKPILE AREA
- PROPOSED TEMPORARY SWALE
- PROPOSED TEMPORARY SEDIMENT BASIN
- TEMPORARY RISERS & ANTI-VORTEX DEVICE
- EXISTING FEATURE TO BE REMOVED

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHY OF PROPERTY PREPARED FOR 500 COMMERCE LLC," PREPARED BY TC MERRITS LAND SURVEYORS, DATED 11/10/2017.
  - THIS PLAN IS FOR TEMPORARY EROSION AND SEDIMENT CONTROL INFORMATION ONLY.
  - PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE PLANS AND SPECIFICATIONS. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE PLAN.
  - THE CONTRACTOR SHALL INSPECT AND MAINTAIN ON-SITE EROSION AND SEDIMENT CONTROL MEASURES ON A DAILY BASIS. ALL COLLECTED SEDIMENT WITHIN SEDIMENT BARRIERS SHALL BE REMOVED PERIODICALLY AS REQUIRED TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIERS. ALL SEDIMENT COLLECTED SHALL BE RESPADE ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNERS REPRESENTATIVE.
  - THE CONTRACTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS, AFTER EACH RAINSTORM, AND AS MAY BE REQUIRED OR DIRECTED BY ALL APPLICABLE APPROVALS AND PERMITS. THE CONTRACTOR SHALL IMMEDIATELY PROVIDE A WRITTEN REPORT ON FINDINGS OF SEDIMENT IN DOWNSTREAM AREAS TO ALL AUTHORITIES HAVING JURISDICTION AND MAKE REPAIRS AS REQUIRED OR DIRECTED.
  - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED/WARRANTED BY FIELD CONDITIONS AND AS DIRECTED BY THE OWNERS REPRESENTATIVE, JMC, AND/OR ANY AUTHORITY HAVING JURISDICTION.
  - STOCKPILING OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE AREA DESIGNATED ON THIS PLAN OR AS APPROVED BY THE OWNERS REPRESENTATIVE. STOCKPILED EXCAVATED MATERIAL SHALL HAVE TWO ROWS OF SILT FENCE LOCATED AROUND ITS PERIMETER. ALL STOCKPILED MATERIAL SHALL BE MAINTAINED IN AN ORDERLY MANNER SO AS NOT TO IMPEDE ON PEDESTRIAN AND/OR VEHICULAR TRAFFIC CIRCULATION ROUTES.
  - DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNERS REPRESENTATIVE.
  - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.

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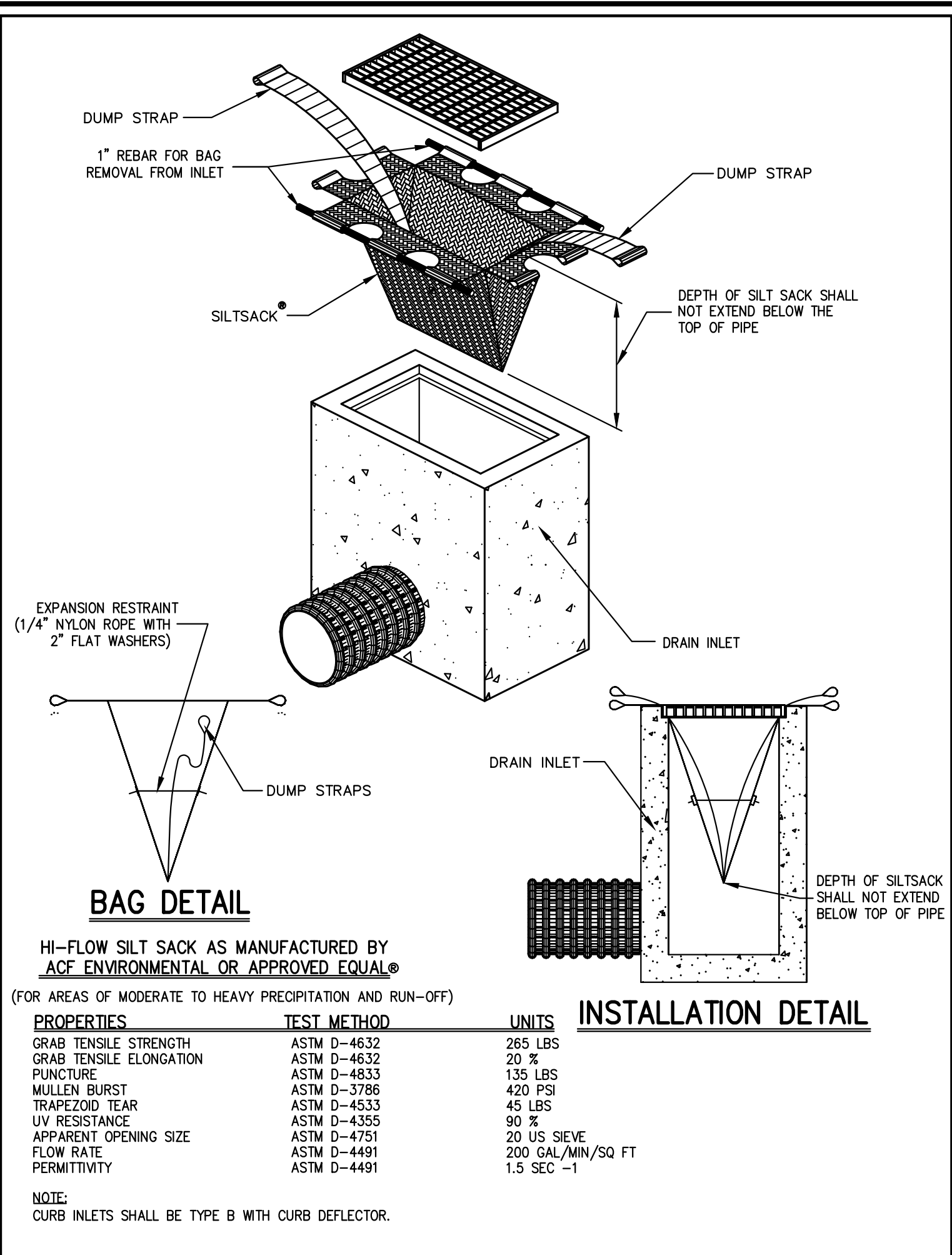
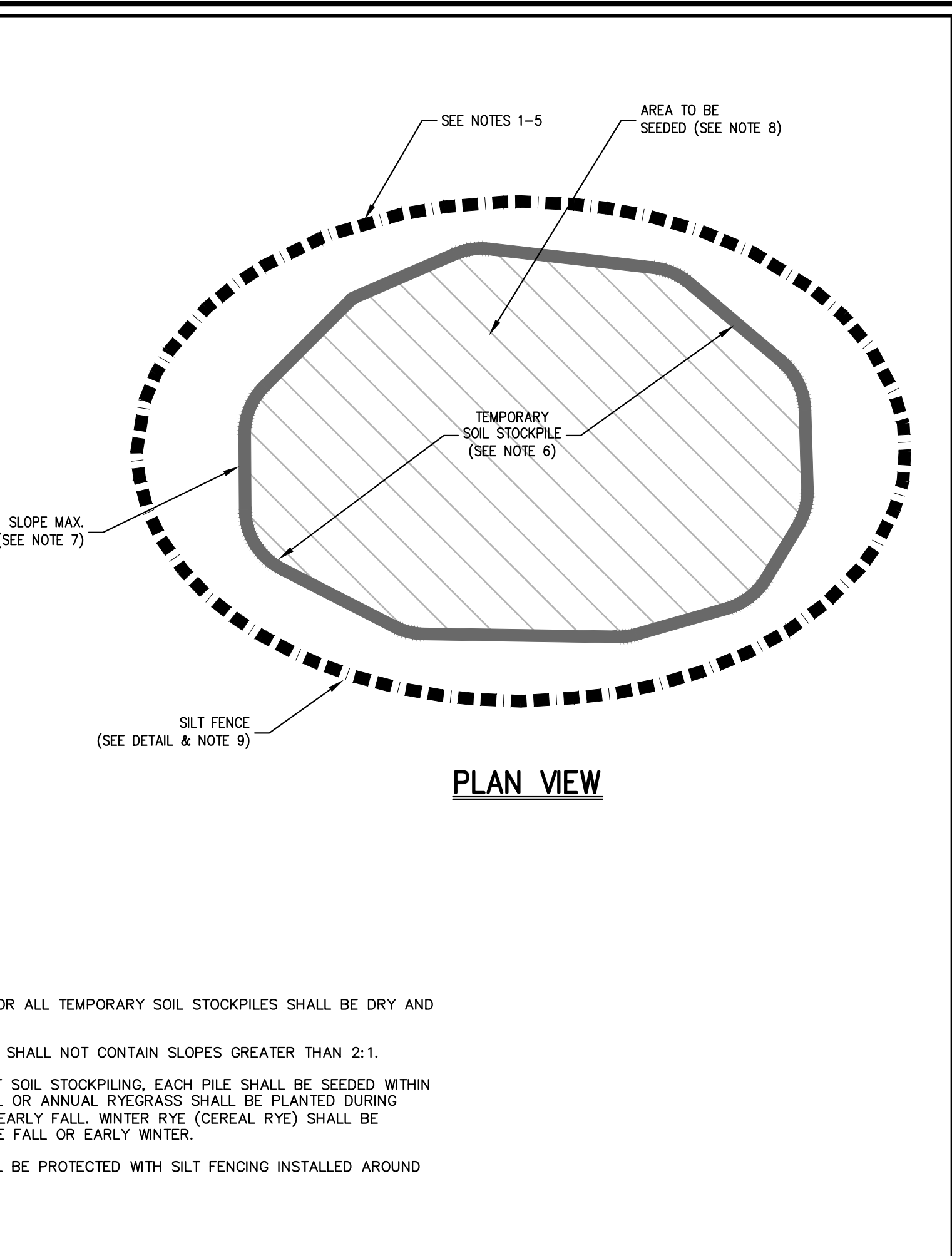
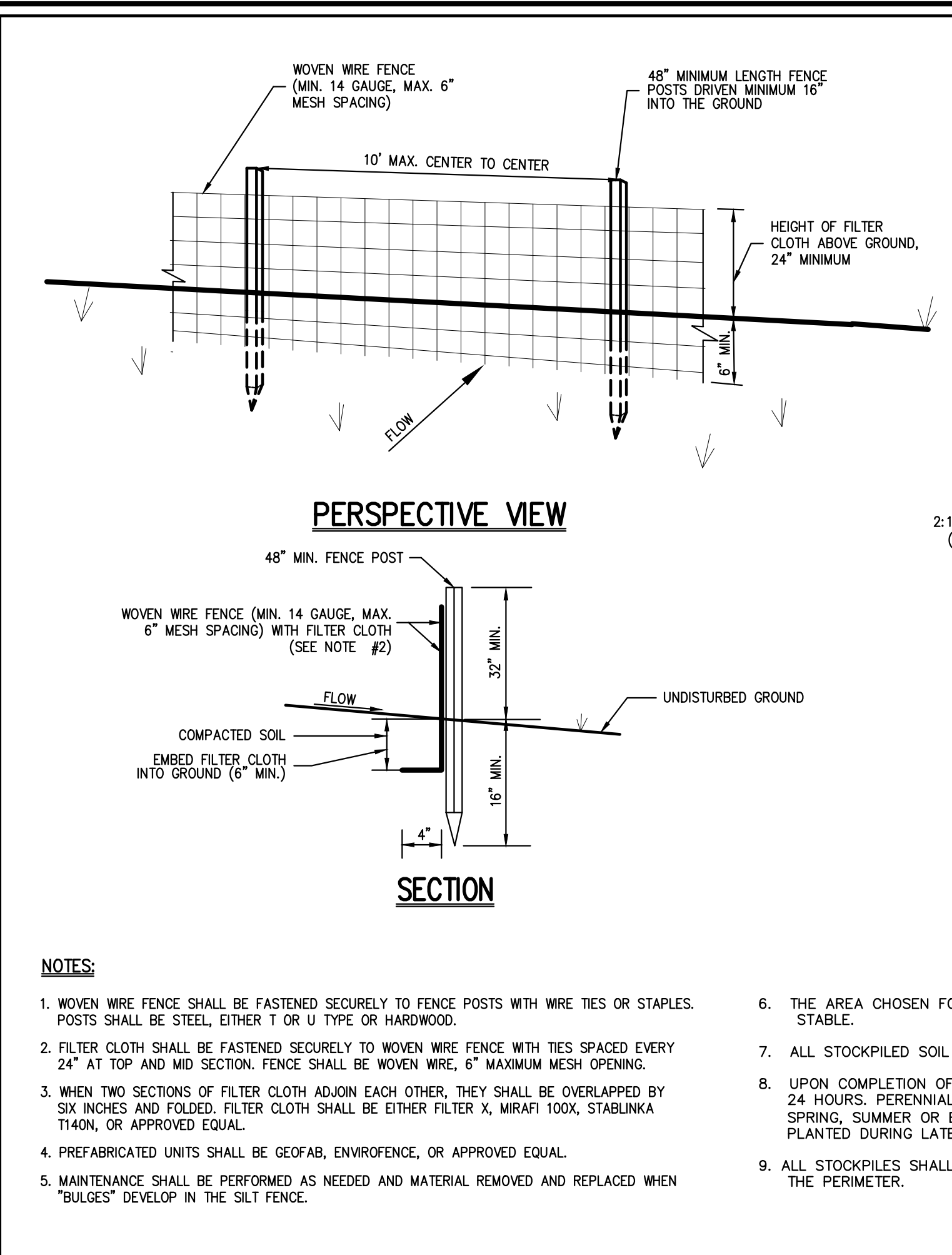
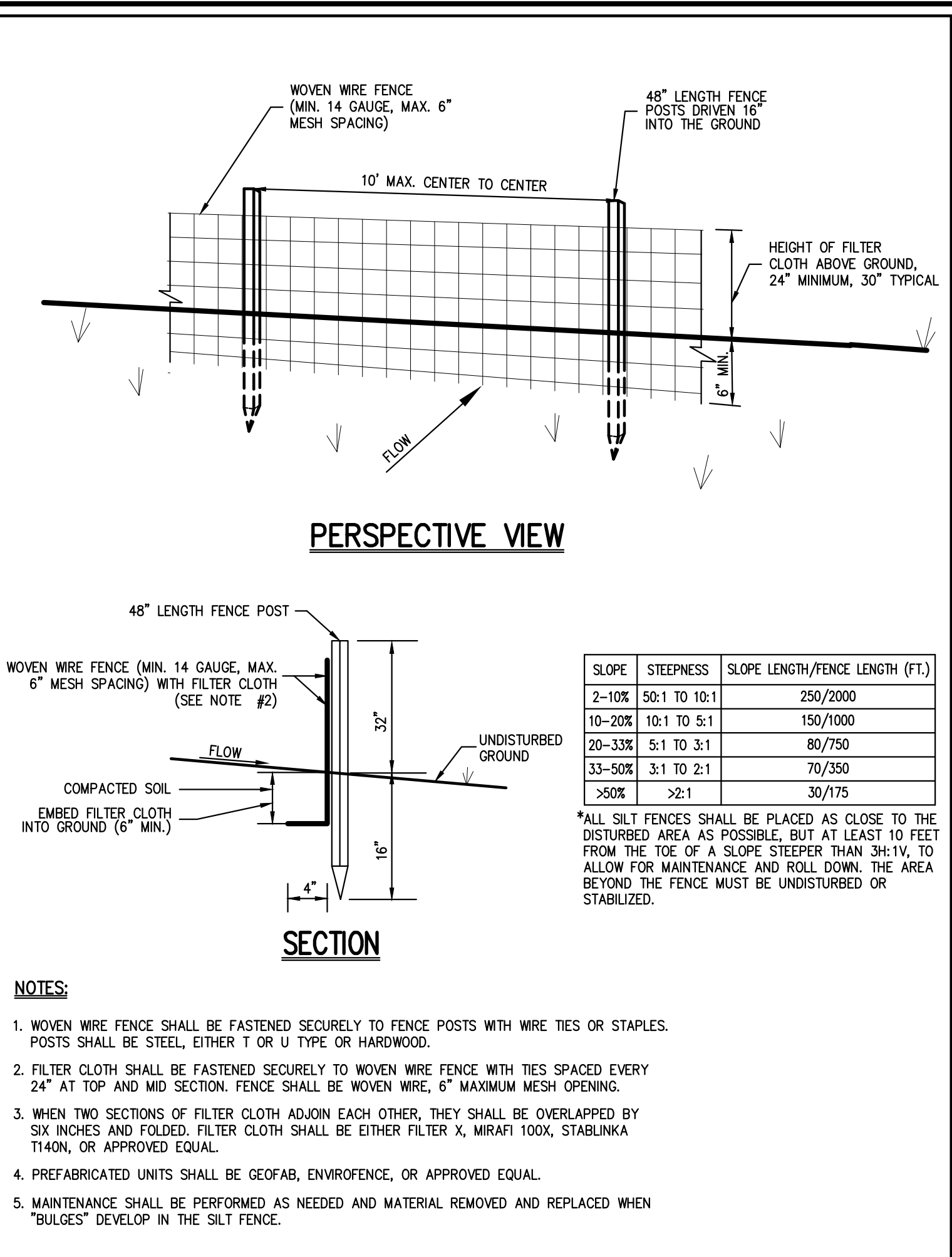
**EROSION AND SEDIMENT CONTROL PLAN**  
 500 COMMERCE STREET REDEVELOPMENT  
 500 COMMERCE STREET  
 HAWTHORNE, NY 10532

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No.	Revision	Date	By
1.	REVISED PER TOWN ENGINEER COMMENTS	10/01/2019	TK
2.	REVISED PER TOWN ENGINEER COMMENTS	12/13/2019	TK
3.	TOWN HIGHWAY DEPARTMENT SUBMISSION	12/15/2020	JJ
4.	ISSUED FOR BUILDING PERMIT	03/12/2021	JJ
5.	ISSUE FOR PRICING	03/16/2021	JJ
6.	STORMWATER PERMIT SUBMISSION	05/25/2021	JJ
7.	ISSUE FOR UPDATED PRICING	06/11/2021	JJ

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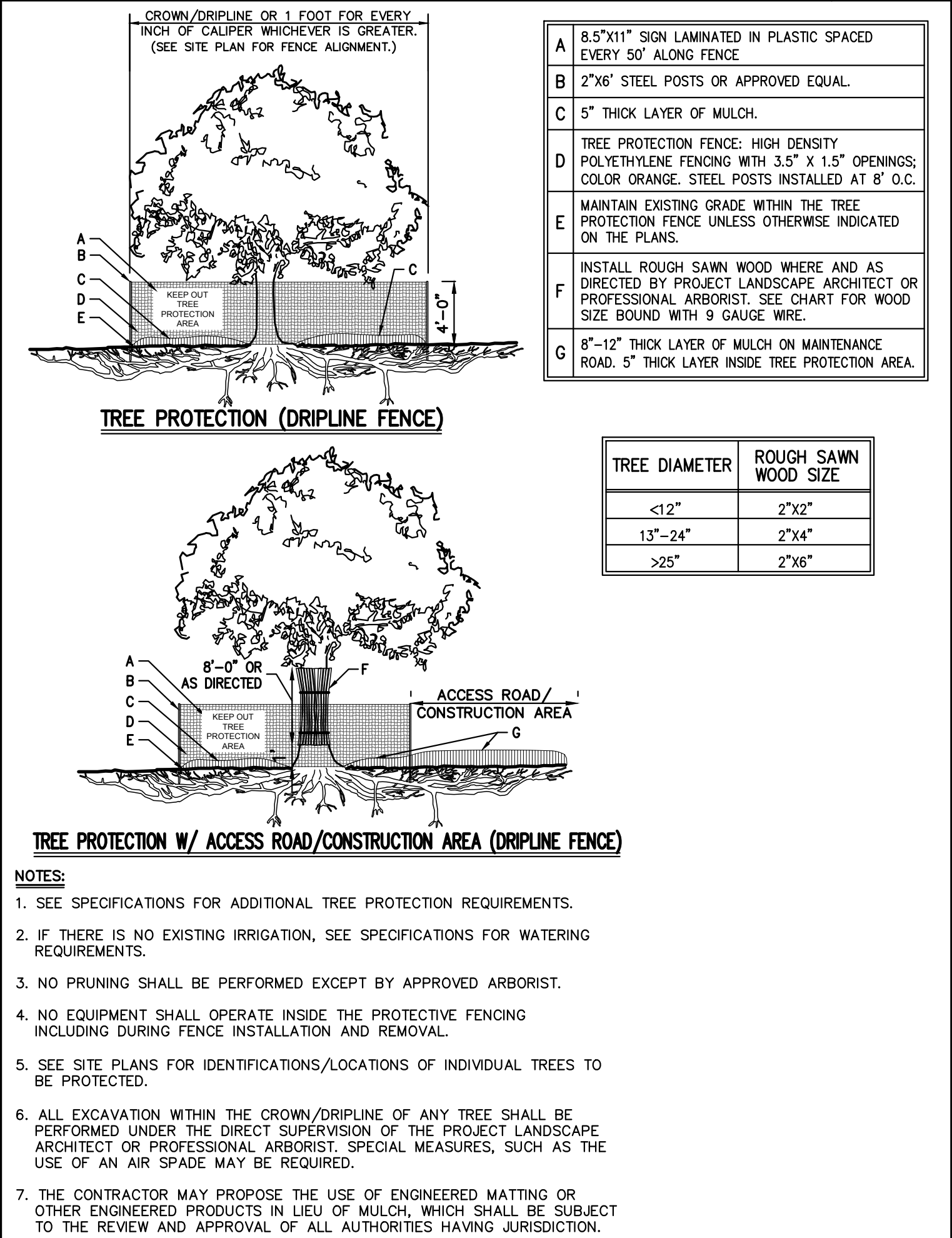
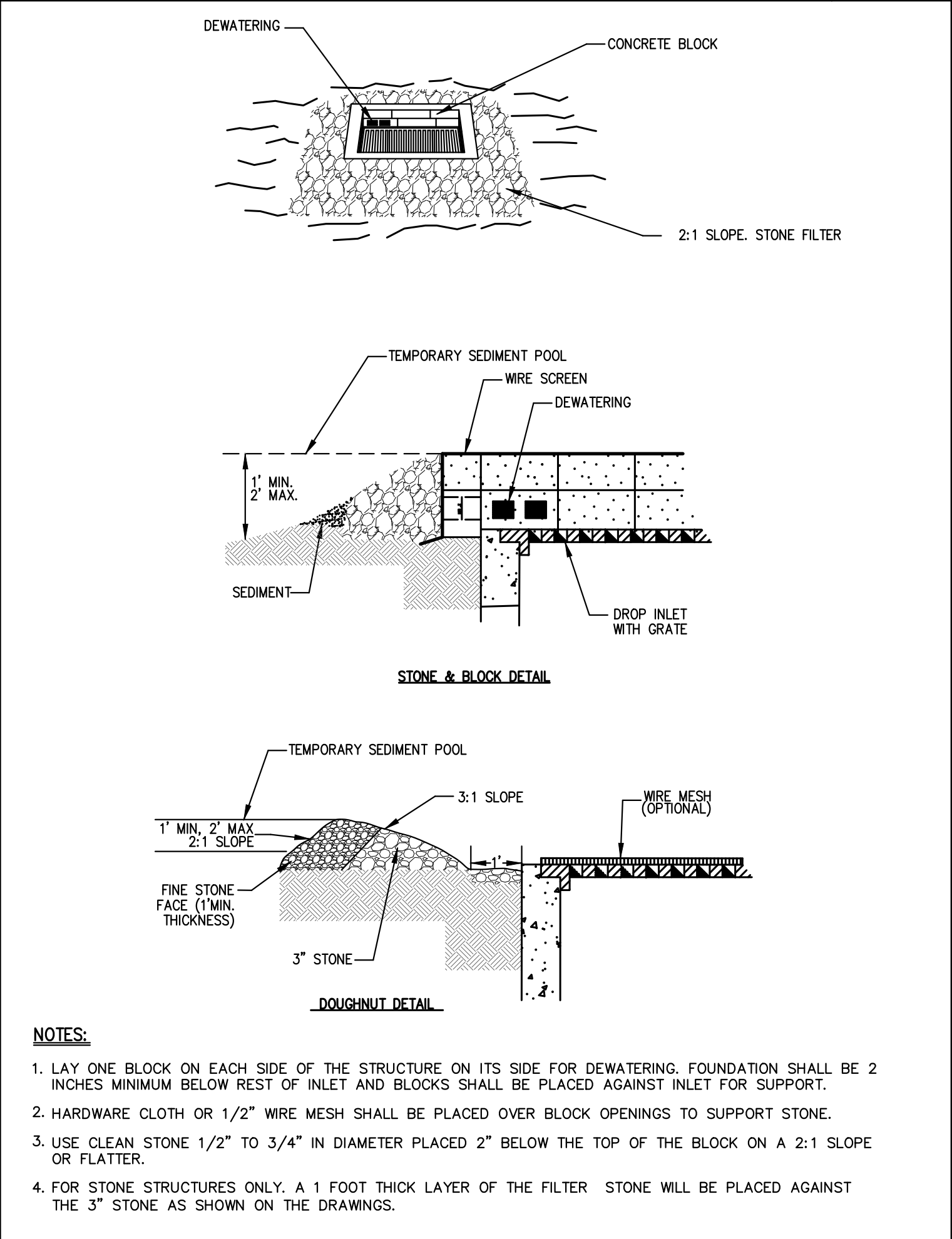
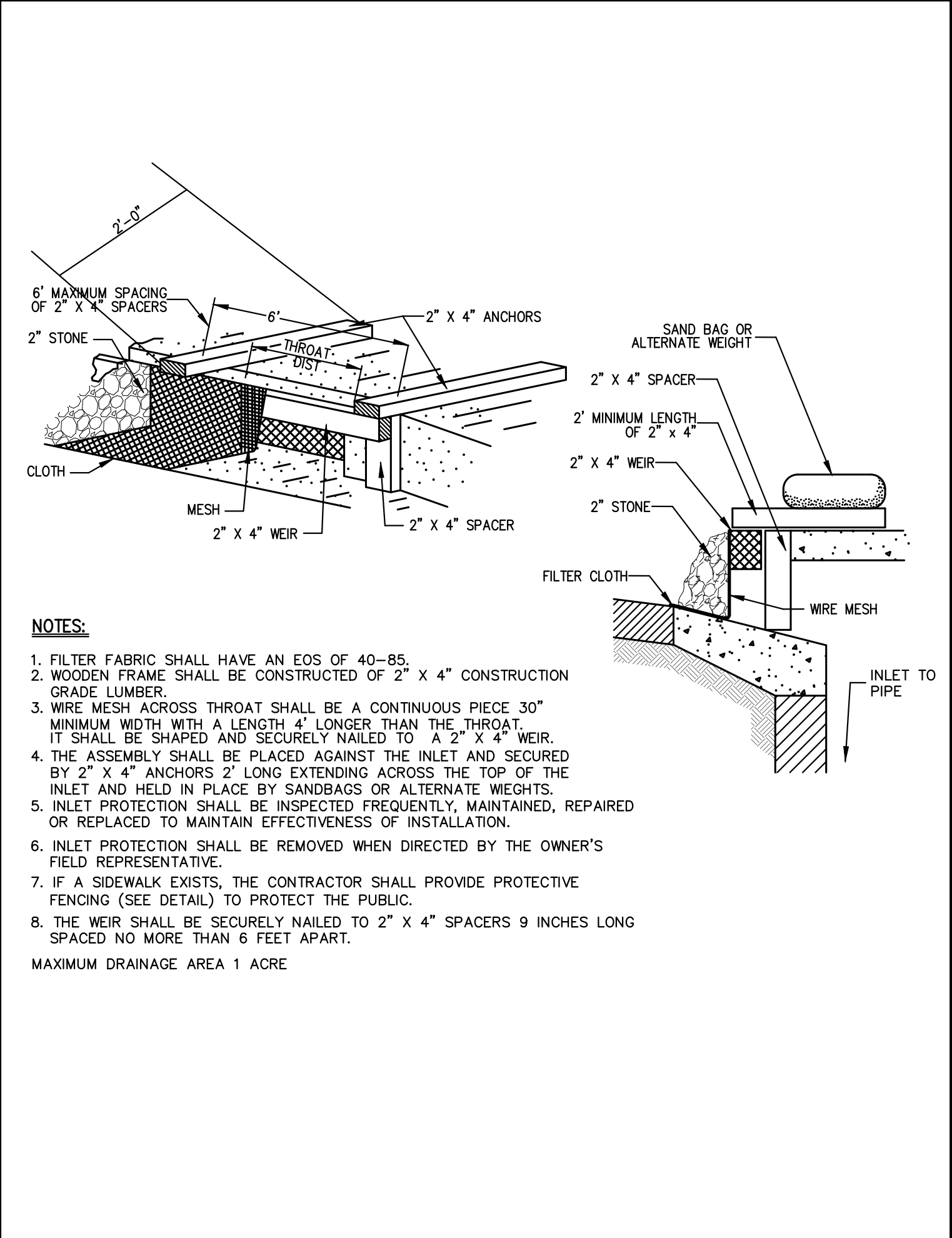
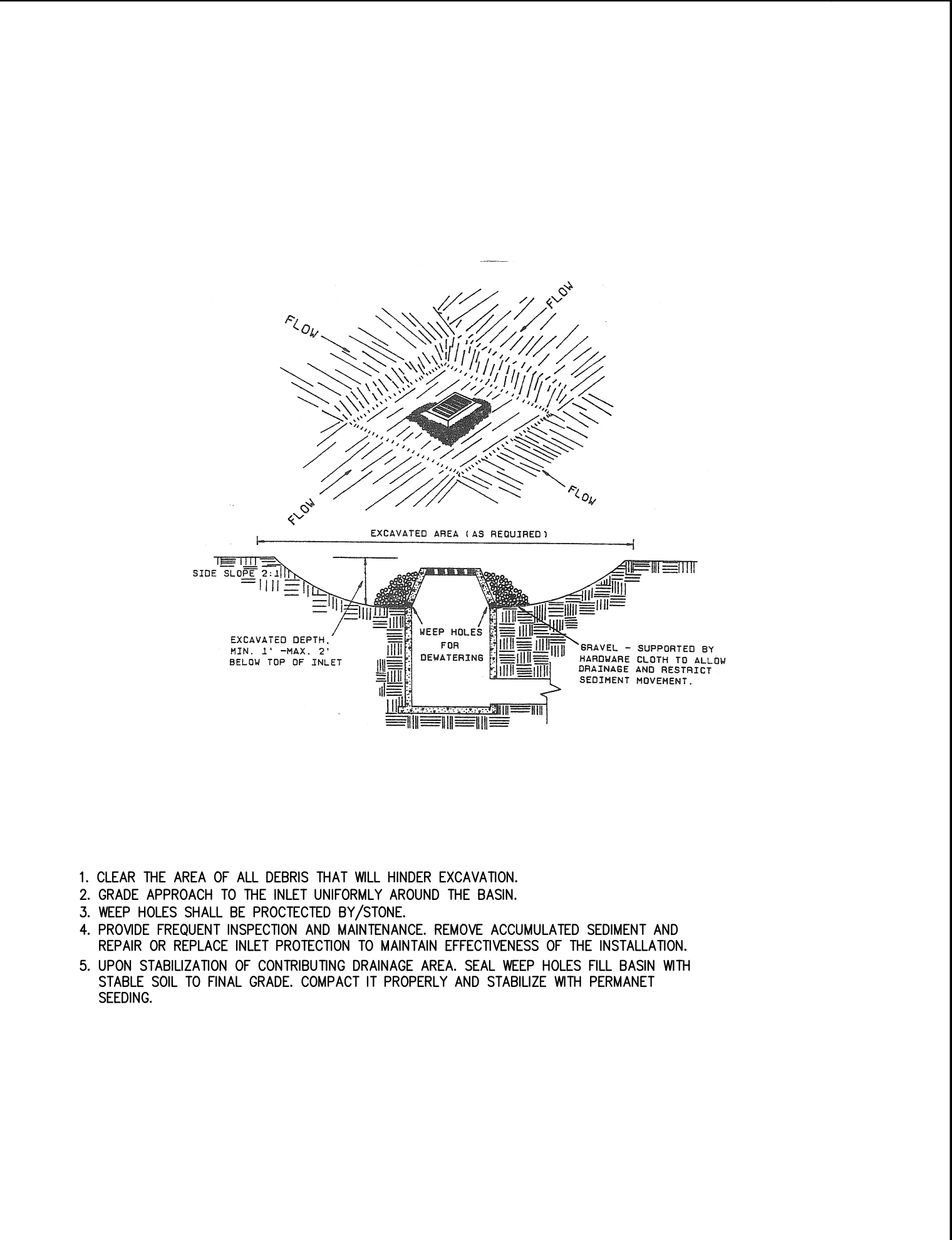
Drawn: **JJ** Approved: **RA**  
 Scale: **1" = 20'**  
 Date: **10/01/2019**  
 Project No: **18158**  
 18158-01E C-400 S&E-PH1.sxd  
 Drawing No: **C-400**



**SILT FENCE** **1**

**TEMPORARY SOIL STOCKPILE WITH SILT FENCE** **2**

**SILT SACK** **3**



**EXCAVATED DROP INLET PROTECTION** **4**

**DROP CURB INLET PROTECTION STRUCTURE** **5**

**STONE & BLOCK DROP INLET PROTECTION** **6**

**TREE PROTECTION** **7**

NOT FOR CONSTRUCTION

No.	Revision	Date
1.	TOWN HIGHWAY DEPARTMENT SUBMISSION	12/15/2020
2.	ISSUED FOR BUILDING PERMIT	03/12/2021
3.	ISSUE FOR PRICING	03/16/2021
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5.	ISSUE FOR UPDATED PRICING	06/11/2021

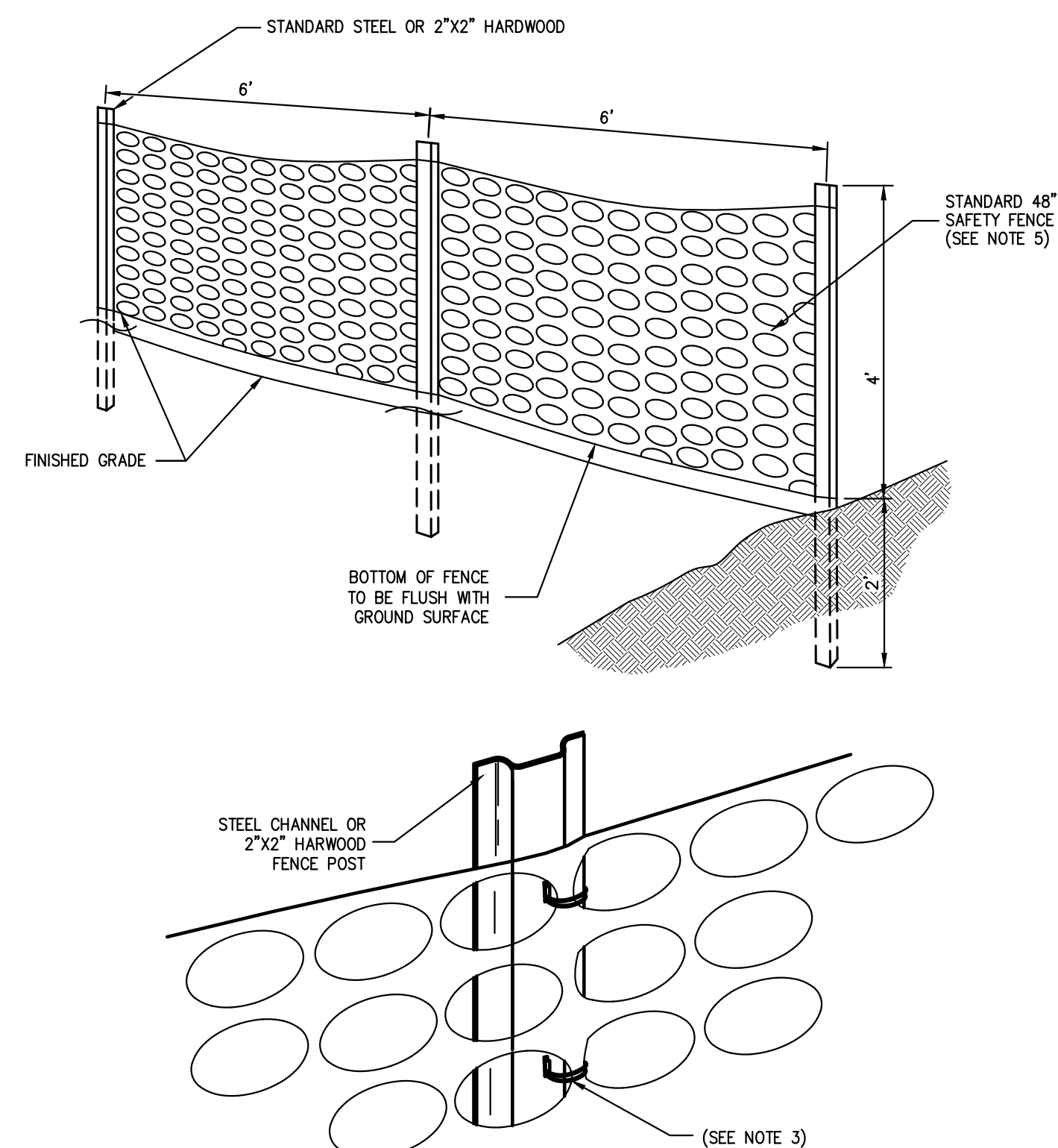
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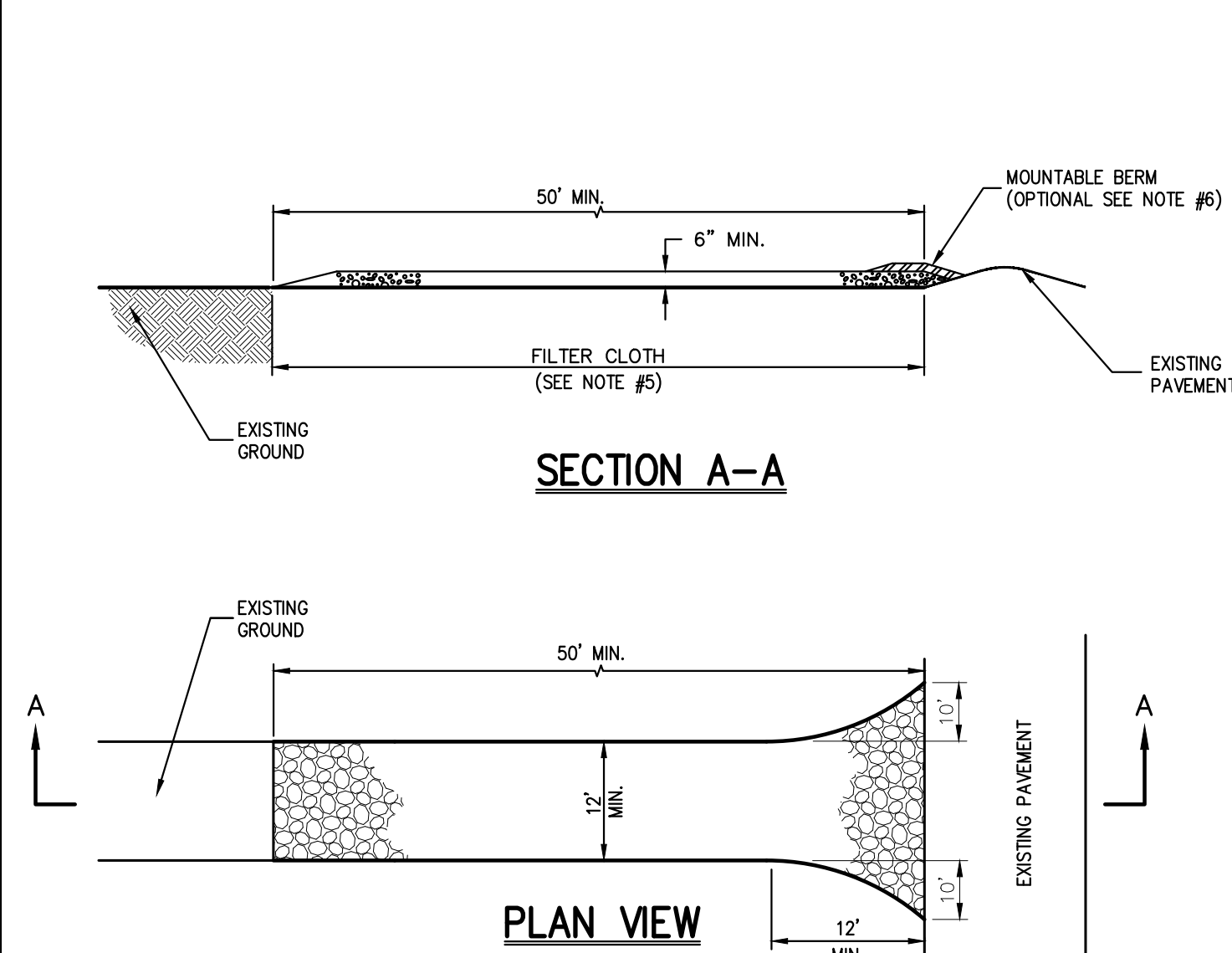
**CONSTRUCTION DETAILS**  
 500 COMMERCE STREET REDEVELOPMENT  
 500 COMMERCE STREET HAWTHORNE, NY 10532

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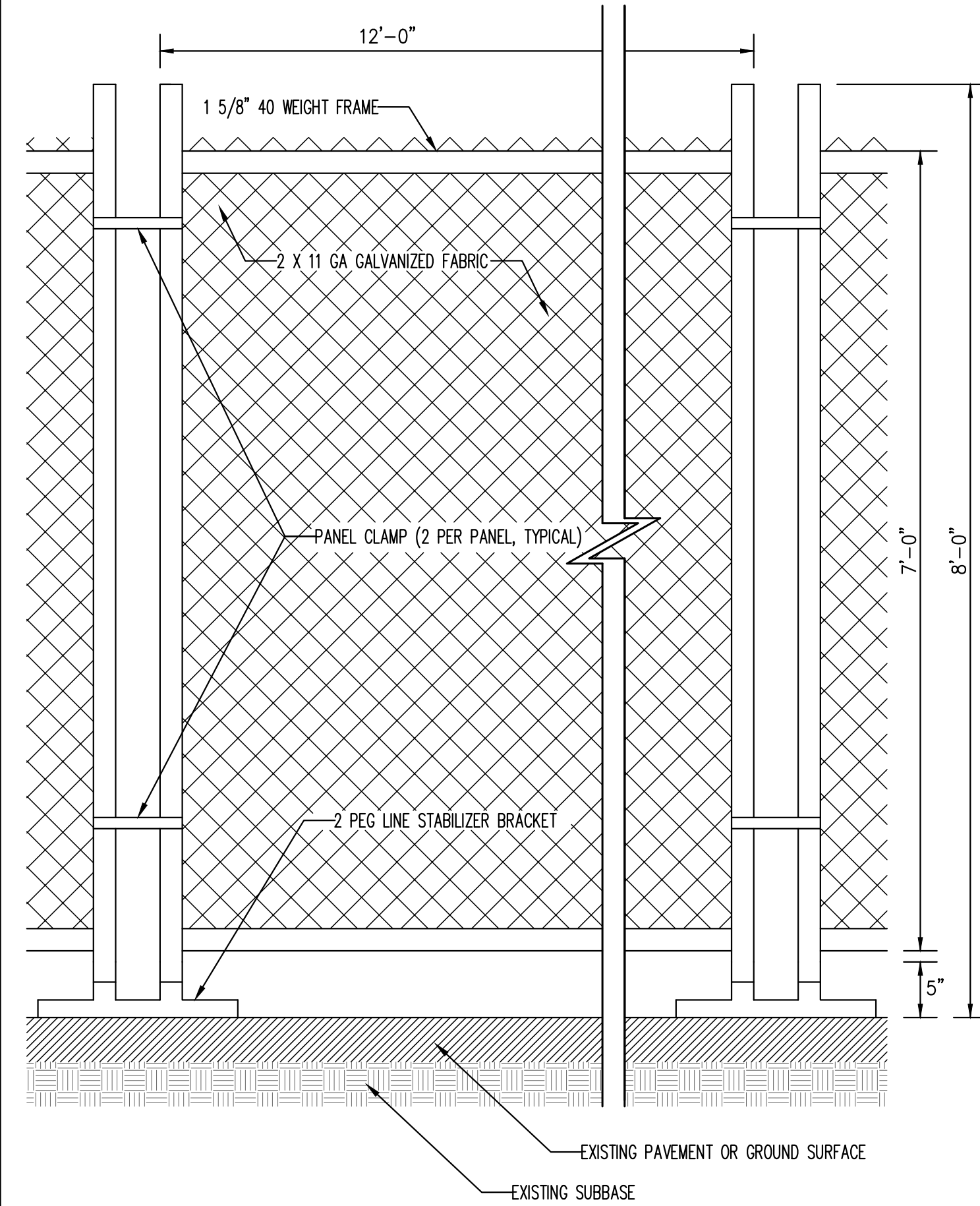
Drawn: JR Approved: RA  
 Scale: NOT TO SCALE  
 Date: 01/06/2020  
 Project No: 18158  
 1858-DETHMS C-900  
 Drawing No: C-900



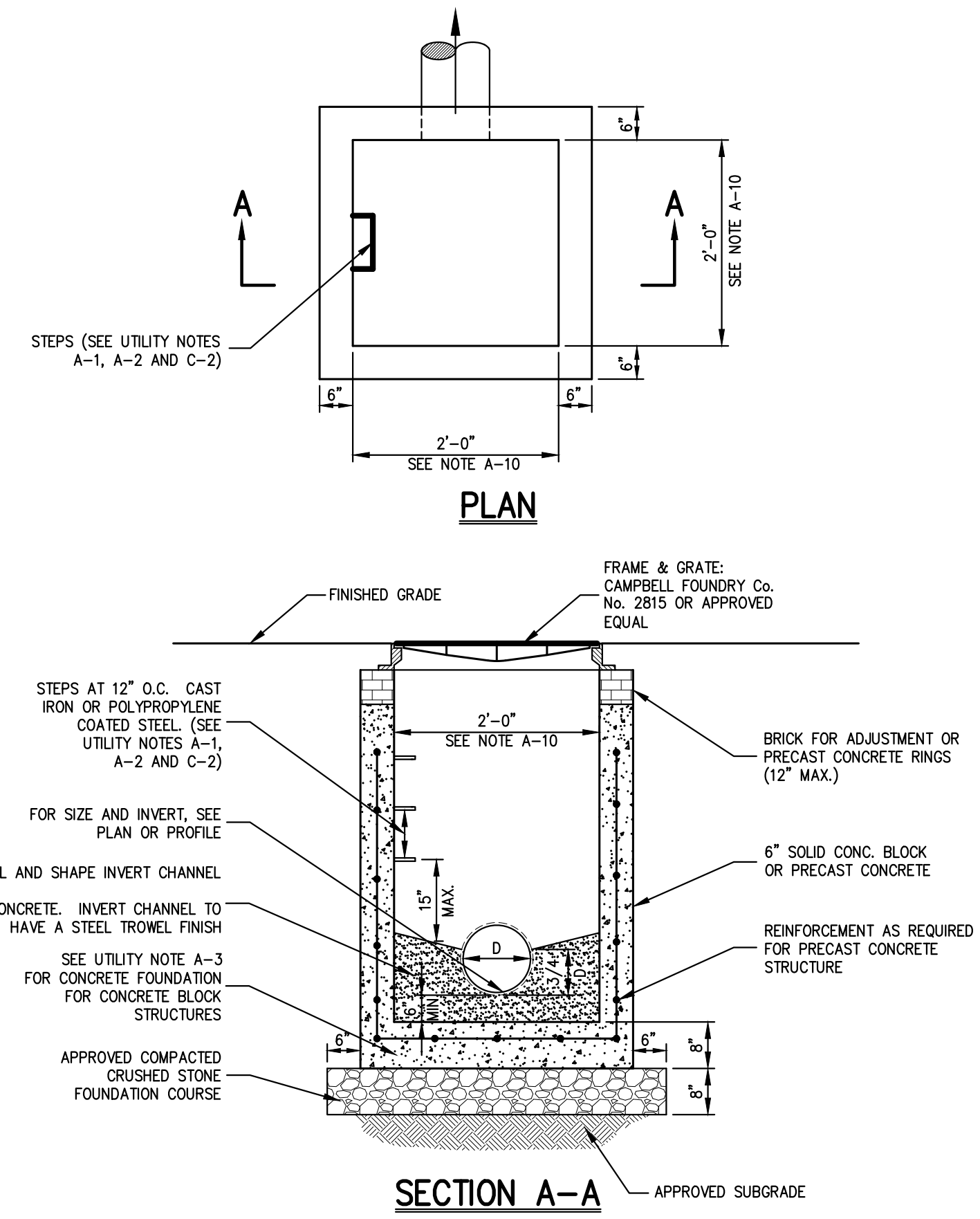
- NOTES:**
1. SPACE SUPPORT FENCE POSTS AT 6 FOOT INTERVALS.
  2. DRIVE SUPPORT POSTS 2 FEET INTO GROUND.
  3. FIRMLY FASTEN FENCE MATERIAL IN PLACE BY WIRING TO FENCE POST WHILE MAINTAINING TENSION ACROSS FULL HEIGHT OF FENCE. WIRING SHALL BE DONE IN A MANNER THAT WILL PREVENT SAGGING OF FENCE MATERIAL.
  4. PROVIDE PERIODIC INSPECTION AND MAINTENANCE OF FENCE INCLUDING REPAIRS AS NECESSARY AND REQUIRED.
  5. PLASTIC FENCE SHALL BE INTERNATIONAL ORANGE COLOR, AS MANUFACTURED BY ADP ENTERPRISES, INC. OR APPROVED EQUAL.
  6. REMOVE CONSTRUCTION FENCE AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.



- NOTES:**
1. STONE SIZE - USE 1" TO 4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
  3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
  4. WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
  5. FILTER CLOTH TO BE PLACED OVER THE ENTIRE WIDTH AND LENGTH OF AREA PRIOR TO PLACING OF STONE.
  6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



**NOTE:** STABILIZED BRACKET TO BE HOT DIPPED GALVANIZED STEEL PIPE.



**NOTE:** 2. SEE NOTES PERTAINING TO DRAIN INLETS UNDER UTILITY NOTES ON DRAWING C-902

**CONSTRUCTION FENCE**

**8**

**STABILIZED CONSTRUCTION ENTRANCE**

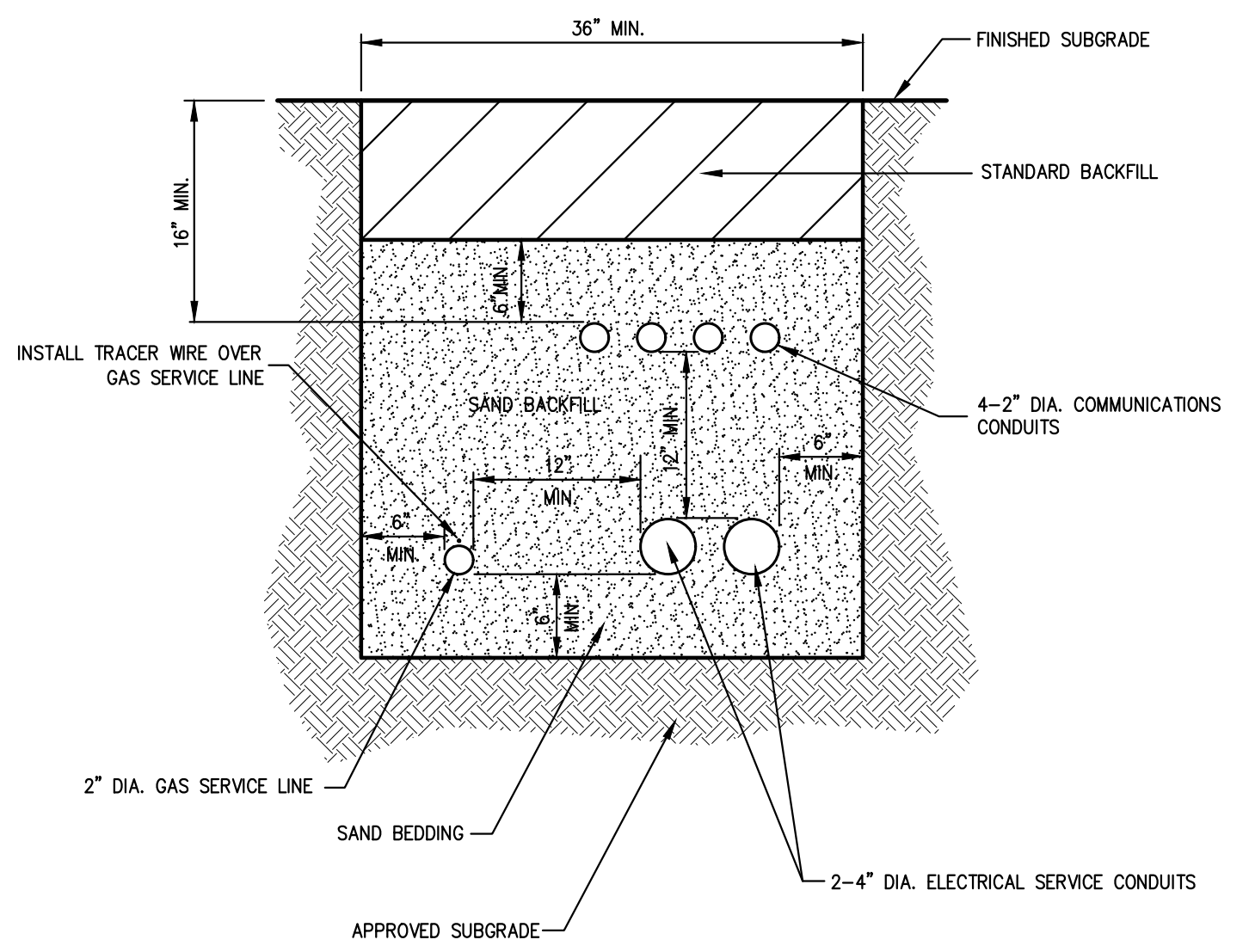
**9**

**TEMPORARY CHAIN LINK CONSTRUCTION FENCE**

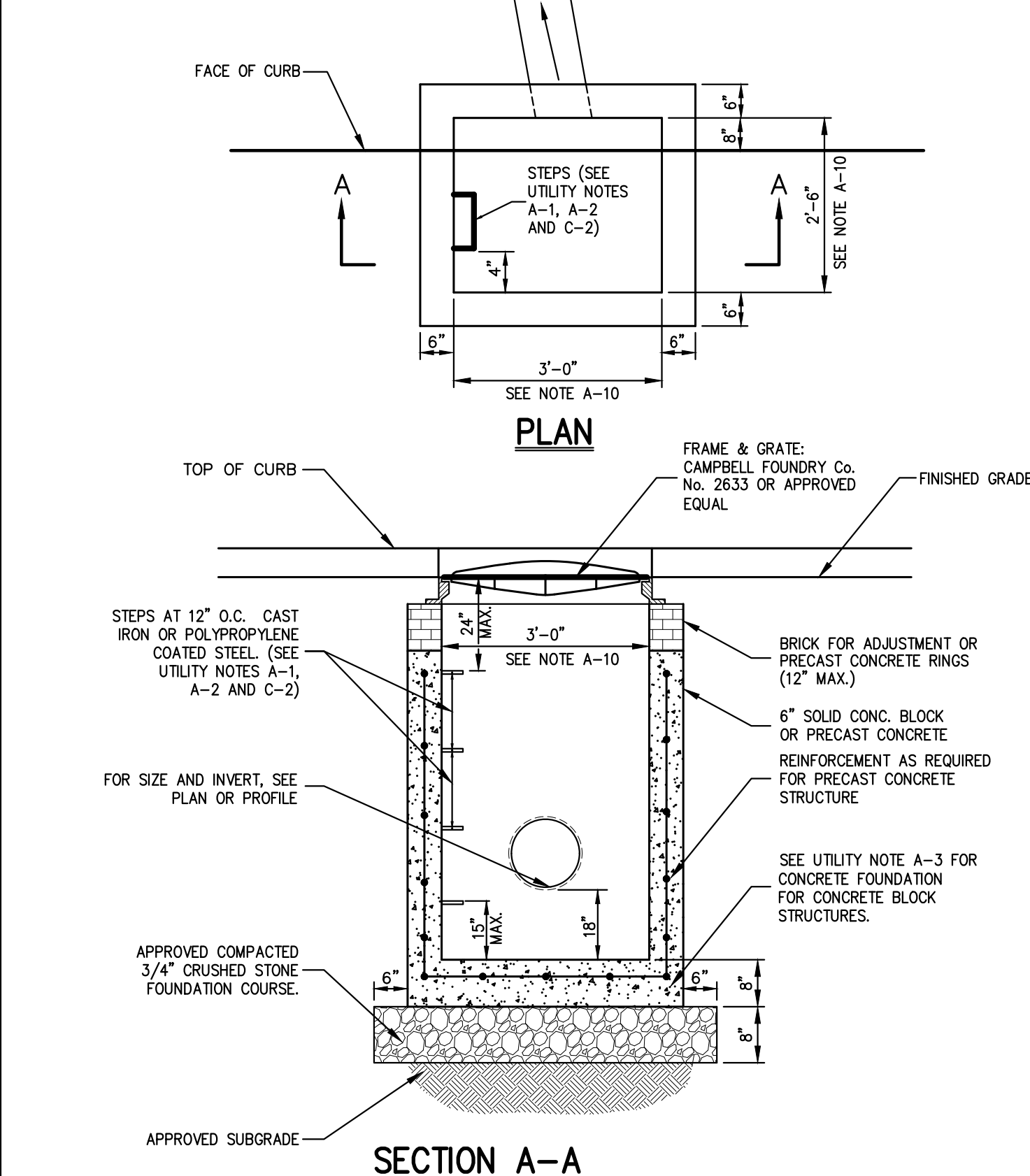
**10**

**LAWN INLET (TYPE LI)**  
(w/o sump)

**11**



- NOTES:**
1. UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE REGULATIONS AND REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
  2. BACKFILL FOR PIPE AND CONDUIT SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES. UNLESS OTHERWISE SPECIFIED BACKFILL SHALL BE COMPACTED TO NOT LESS THAN 92% MAXIMUM MODIFIED DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 IN THE MANNER HEREIN DESCRIBED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.
  3. CONTRACTOR SHALL STAKE THE PROPOSED SERVICE LINES AND CONDUITS PRIOR TO BACKFILLING TO ENSURE SERVICES DO NOT MOVE WITHIN TRENCH.



**NOTE:** 1. SEE NOTES PERTAINING TO DRAIN INLETS UNDER UTILITY NOTES ON DRAWING C-902

**UTILITY TRENCH DETAIL**

**12**

**DRAIN INLET (TYPE CI)**  
(with sump-w/o finger underdrains)

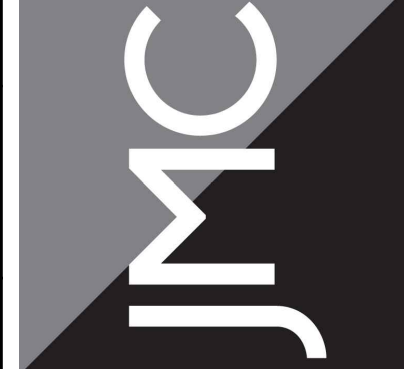
**13**

**14**

**15**

Revision	Date
1. TOWN HIGHWAY DEPARTMENT SUBMISSION	12/15/2020
2. ISSUED FOR BUILDING PERMIT	03/12/2021
3. ISSUE FOR PRICING	03/16/2021
4. STORMWATER PERMIT SUBMISSION	05/25/2021
5. ISSUE FOR UPDATED PRICING	06/11/2021

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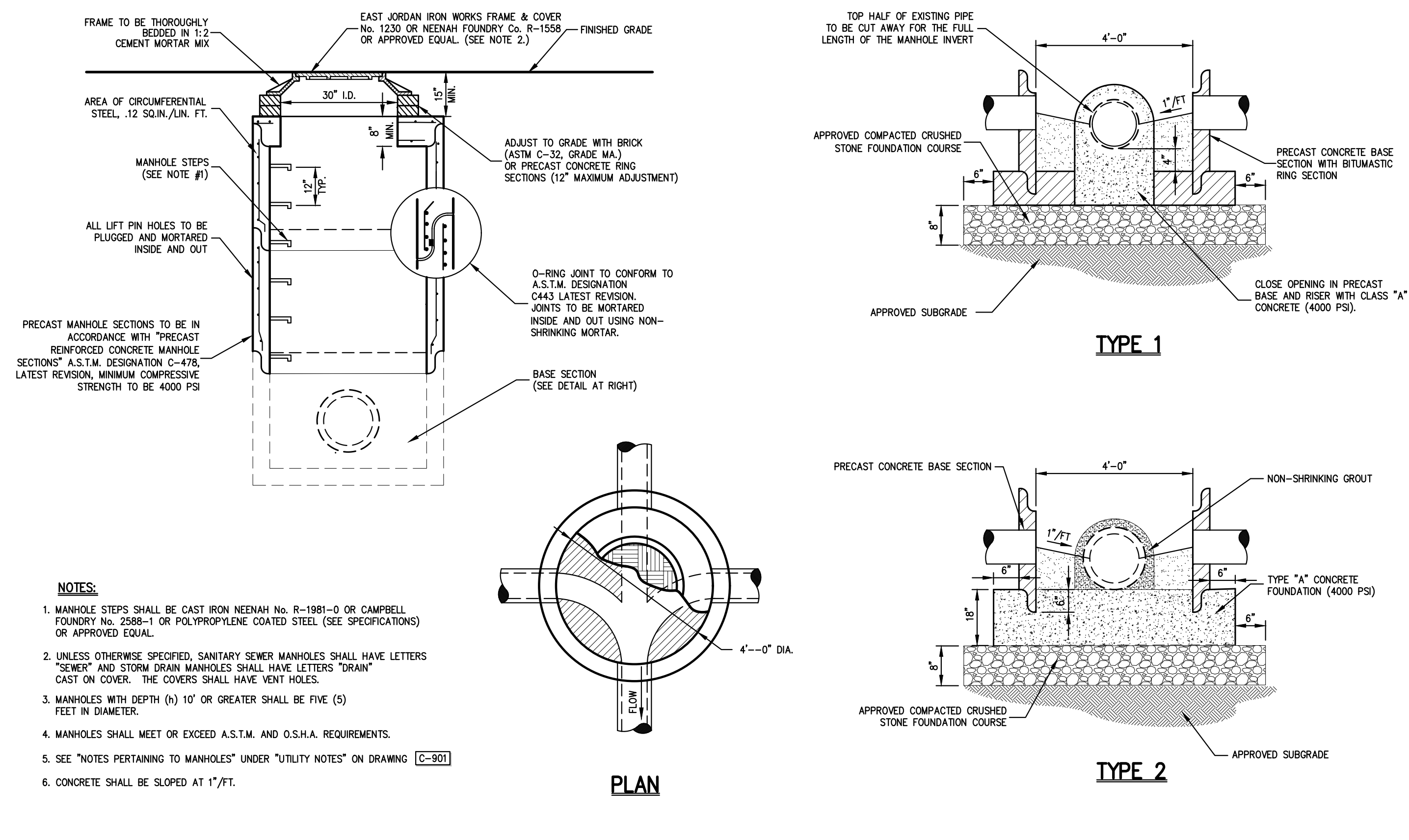
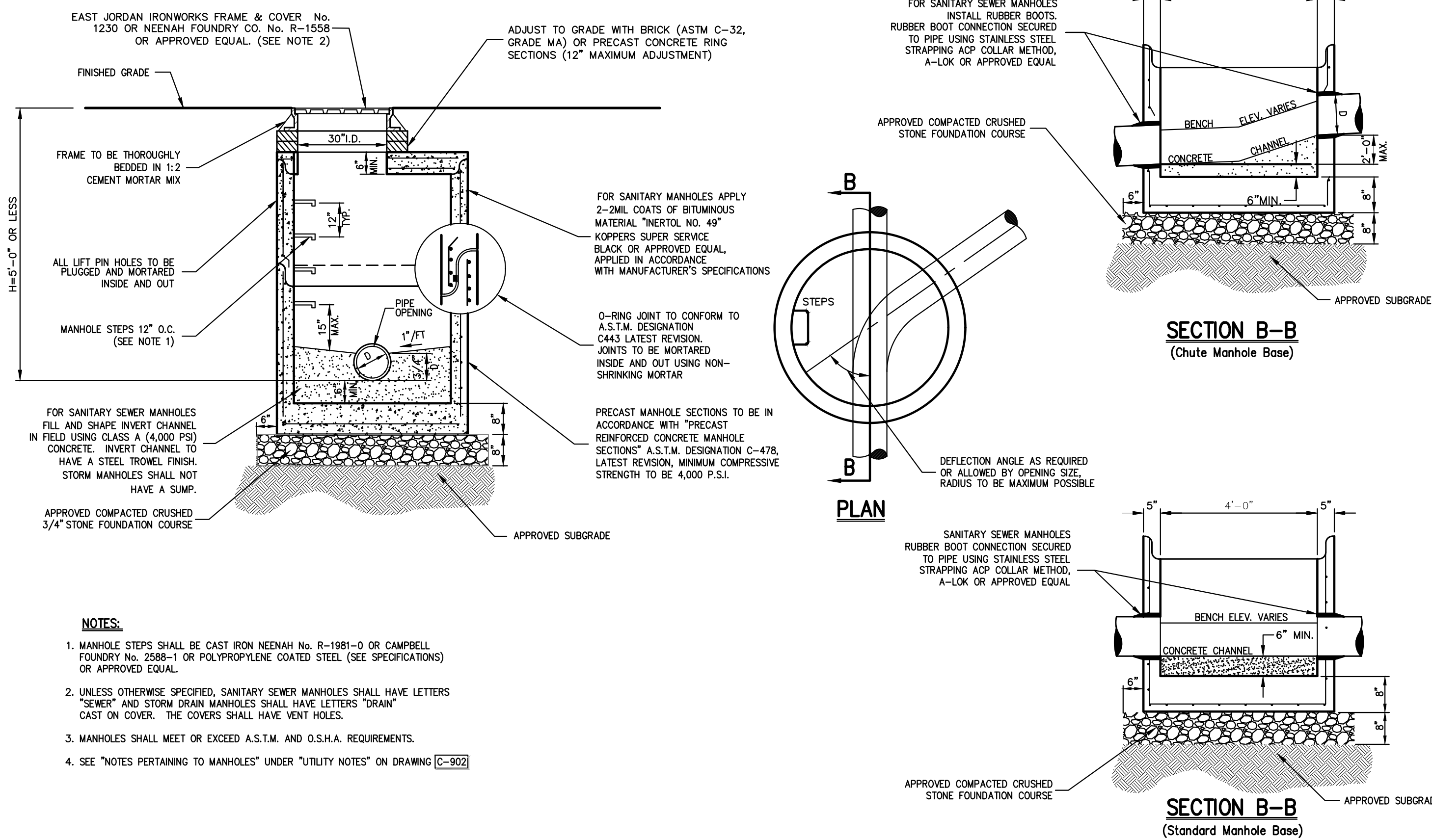
**CONSTRUCTION DETAILS**  
 500 COMMERCE STREET  
 REDEVELOPMENT  
 500 COMMERCE STREET  
 HAWTHORNE, NY 10532

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Drawn: JR	Approved: RA
Scale: NOT TO SCALE	
Date: 01/06/2020	
Project No: 18158	
1858-RTMS C-901	
Drawing No: C-901	

NOT FOR CONSTRUCTION





**MANHOLE (TYPE A)**  
(H < 5'-0")

16

**DOGHOUSE MANHOLE**

17

**NOTES PERTAINING TO DRAIN INLETS**

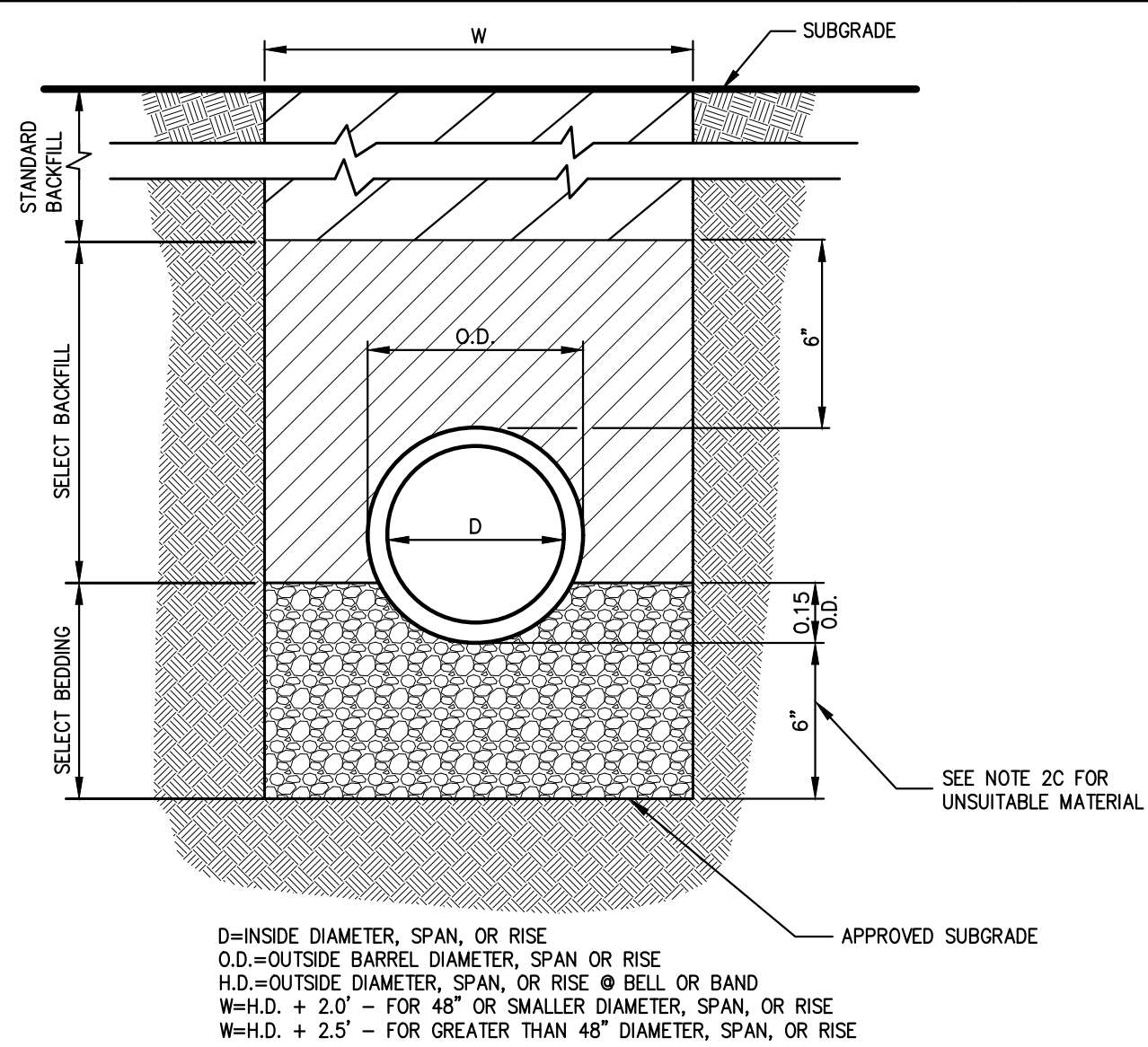
- A-1 STEPS WILL NOT BE REQUIRED IN INLETS LESS THAN FOUR (4) FEET IN DEPTH. STEPS WILL BE REQUIRED IN INLETS FOUR (4) FEET OR GREATER IN DEPTH. DEPTHS FOR DRAIN INLETS SHALL BE MEASURED FROM FINISHED GRADE TO INSIDE BOTTOM OF STRUCTURE (INCLUDING SUMP AS APPLICABLE).
- A-2 WHEN STEPS ARE REQUIRED, STEPS SHALL COMPLY WITH THE SAME REQUIREMENTS OF ASTM STANDARD C-478, ARTICLE 13 ENTITLED "MANHOLE STEPS & LADDERS".
- A-3 FOR MASONRY STRUCTURES, THE FIRST COURSE OF MASONRY SHALL BE SET IN THE CONCRETE FOUNDATION BEFORE THE CONCRETE HAS SET. CONCRETE FOUNDATION SHALL BE CLASS "A"(4000 psi) CONCRETE, TWELVE (12) INCHES THICK AND SHALL EXTEND SIX (6) INCHES BEYOND THE OUTSIDE FACE OF THE STRUCTURE.
- A-4 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH AND CONSTRUCT THE PROPER SIZE STRUCTURE INCLUDING THE NECESSARY OPENINGS TO ACCOMMODATE THE WORK AS SHOWN ON THE PLANS OR ORDERED BY THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
- A-5 ALL NECESSARY PATCHING FOR DRAIN STRUCTURES SHALL BE ACCOMPLISHED WITH NON-SHRINKING CEMENT MORTAR GROUT, APPROVED EQUAL TO SIKKA-SET AS MANUFACTURED BY THE SIKKA CHEMICAL CORP.
- A-6 FOUNDATIONS FOR PRECAST CONCRETE STRUCTURES SHALL BE SET ON A COMPACTED LAYER OF APPROVED CRUSHED STONE HAVING A MINIMUM COMPACTED THICKNESS OF EIGHT (8) INCHES.
- A-7 ALL PIPES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF THE STRUCTURE.
- A-8 PROVIDE REINFORCED CONCRETE TOP SLAB FOR OVERSIZED DRAIN INLETS WITH PROPER SIZE OPENING TO ACCOMMODATE INSTALLATION OF FRAME & GRATE.
- A-9 FOR MASONRY STRUCTURES GREATER THAN TEN (10) FEET IN DEPTH, THICKNESS OF MASONRY WALLS SHALL BE INCREASED TO TWELVE (12) INCHES.
- A-10 FOR ALL STRUCTURES GREATER THAN TEN FEET IN DEPTH, STRUCTURES SHALL PROVIDE MINIMUM INSIDE DIMENSIONS OF 4 FEET X 4 FEET.

**NOTES PERTAINING TO MANHOLES**

- B-1 PRECAST CONCRETE MANHOLES SHALL COMPLY WITH ASTM STANDARD C-478. MANHOLE JOINTS SHALL COMPLY WITH ASTM STANDARD C-443.
- B-2 FOR PRECAST CONCRETE MANHOLES FIVE (5) FEET OR LESS IN HEIGHT, TOP CONE SECTION SHALL BE REPLACED WITH PRECAST REINFORCED CONCRETE SLAB (6" MIN. THICKNESS) WITH OPENING OF SUFFICIENT SIZE TO ACCOMMODATE MANHOLE CASTING.
- B-3 FOR MANHOLES 10 FEET OR MORE IN DEPTH, MANHOLE DIAMETER SHALL BE FIVE (5) FEET.
- B-4 TERMINAL MANHOLE FLOORS SHALL BE SLOPED TOWARD OUTFALL PIPE.
- B-5 INVERT CHANNELS FOR PRECAST CONCRETE MANHOLES SHALL BE CONSTRUCTED OF CONCRETE.
- B-6 NOTES A-1, A-2, A-4, A-5, A-6 & A-7 UNDER "NOTES PERTAINING TO DRAIN INLETS" ABOVE SHALL APPLY TO MANHOLES.

**NOTES PERTAINING TO PRECAST CONCRETE STRUCTURES FOR STORM DRAINS, SANITARY SEWERS AND WATER LINES**

- C-1 ALL PRECAST CONCRETE STRUCTURES SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
- C-2 STEPS SHALL BE LOCATED WITHIN STRUCTURE TO AVOID PLACEMENT OVER PIPES WHEN PRACTICABLE.



**NOTES:**

- 1. FOR TYPE II TRENCH, MATERIAL FOR SELECT BEDDING AND SELECT BACKFILL SHALL BE:
  - A. EITHER SAND OR CRUSHED STONE IF NO WATER IS ENCOUNTERED IN TRENCH.
  - B. 3/4" CRUSHED STONE IF WATER IS ENCOUNTERED IN TRENCH.
- 2. TYPE II TRENCH SHALL BE USED IN ALL OF THE FOLLOWING CASES:
  - A. FOR ALL CORRUGATED POLYETHYLENE DRAIN PIPE (CPDP) AND PVC PIPE AND CONDUIT INSTALLATION.
  - B. WHEN ROCK OR HARDPAN IS ENCOUNTERED IN BOTTOM OF TRENCH.
  - C. WHEN UNSUITABLE MATERIAL IS ENCOUNTERED IN BOTTOM OF TRENCH. IN SUCH CASE DEPTH OF UNDERCUTTING SHALL BE AS DIRECTED BY THE ENGINEER WITH 6" MINIMUM.
- 3. FOR ALL TRENCH EXCAVATION IN FILL AREAS, ALL EMBANKMENTS SHALL BE CONSTRUCTED TO A MINIMUM OF 2 FEET ABOVE THE OUTSIDE TOP (AT THE BELL) OF THE PIPE PRIOR TO BEGINNING ANY TRENCH EXCAVATION.
- 4. BACKFILL FOR PIPE AND CONDUIT SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES, UNLESS OTHERWISE SPECIFIED BACKFILL SHALL BE COMPACTED TO NOT LESS THAN 92% MAXIMUM MODIFIED DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 IN THE MANNER HEREIN DESCRIBED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.

**UTILITY NOTES**

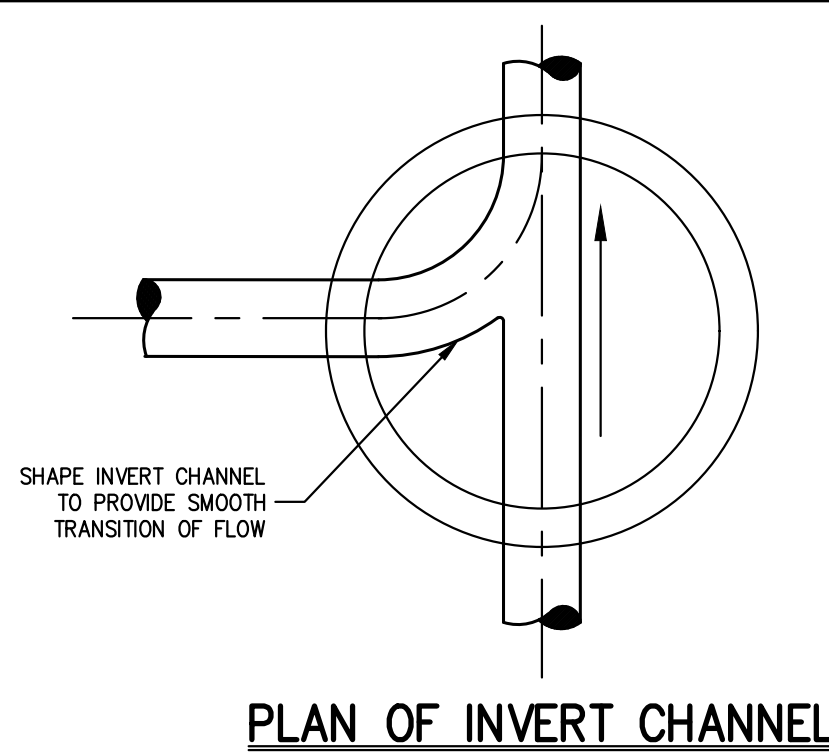
18

**TYPE II TRENCH**

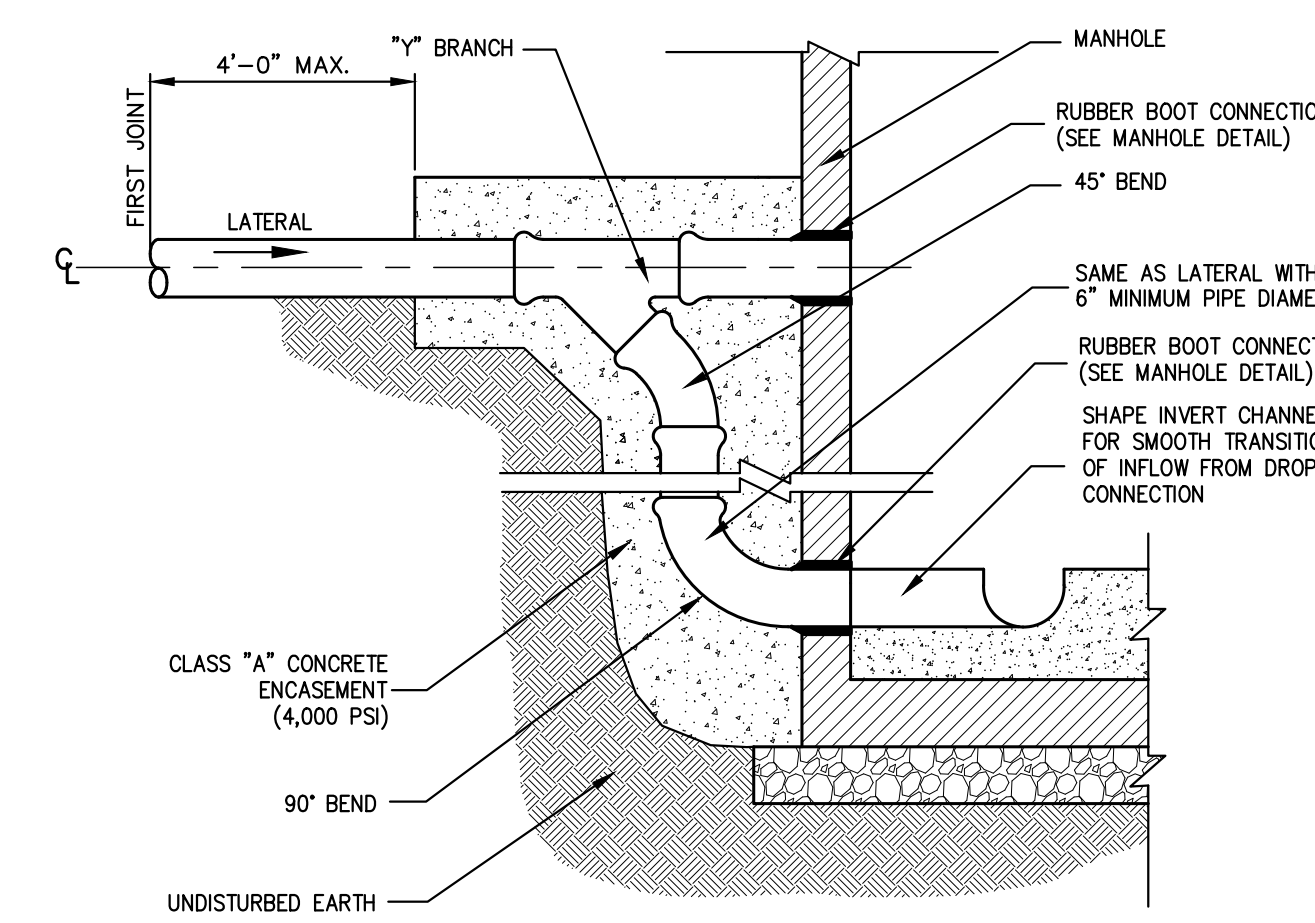
19

**DROP CONNECTION AT MANHOLE**  
(SANITARY SEWER)

20

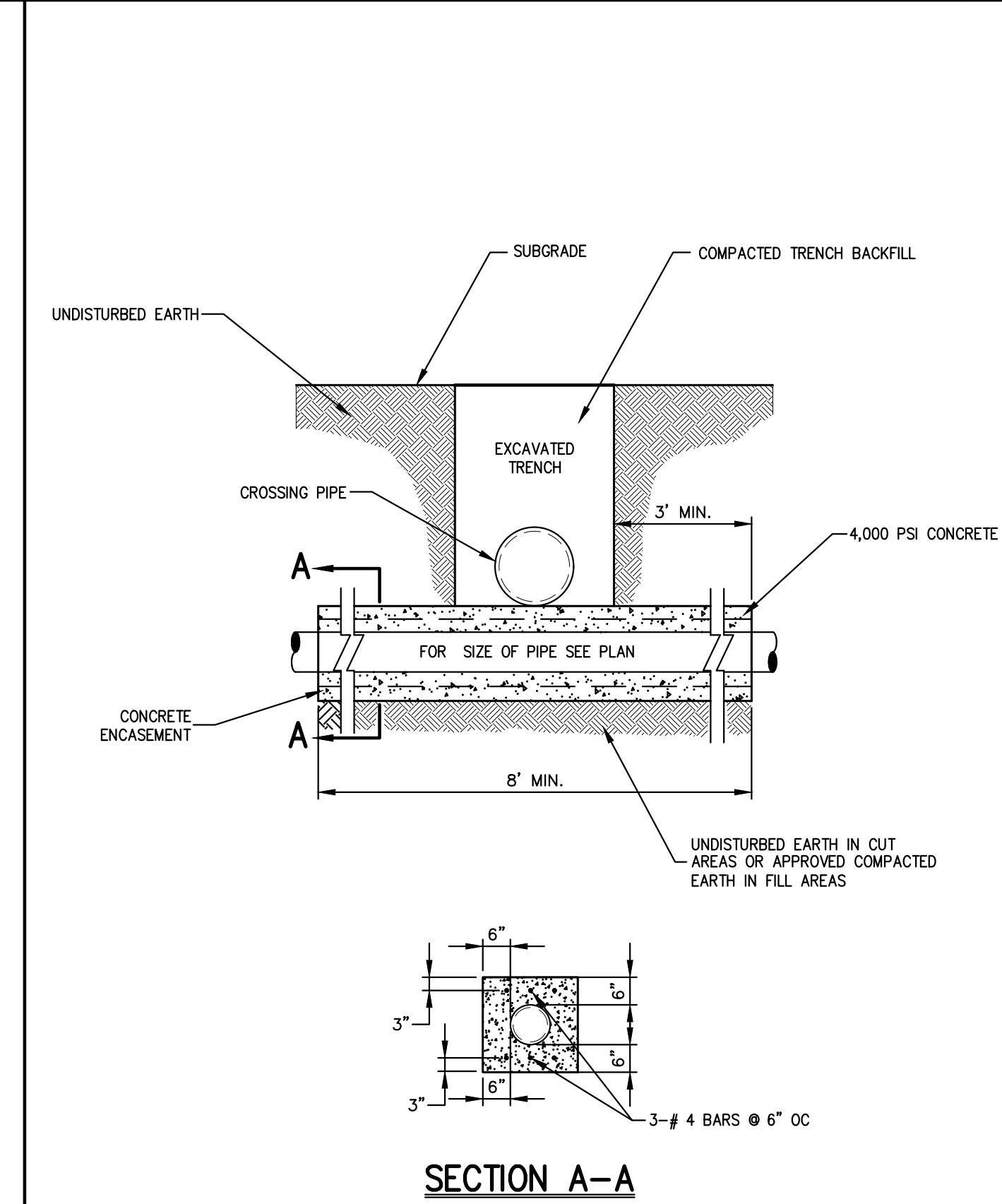


**PLAN OF INVERT CHANNEL**



**NOTES:**

- 1. DROP CONNECTION SHALL BE USED WHEN INCOMING SANITARY SEWER IS MORE THAN 2'-0" HIGHER THAN THE OUTGOING SEWER.
- 2. PIPE SIZE OF DROP CONNECTION SHALL BE THE SAME SIZE AS LATERAL WITH 6" MINIMUM DIAMETER.



**SECTION A-A**

**NOTE:**

- 1. FULL LENGTH OF PIPE TO BE USED AT CROSSING PIPE TO BE CENTERED ON CENTERLINE OF CROSSING PIPE. NO JOINTS SHALL BE LOCATED WITHIN THE AREA OF CONCRETE ENCASUREMENT.

**CONCRETE ENCASUREMENT**

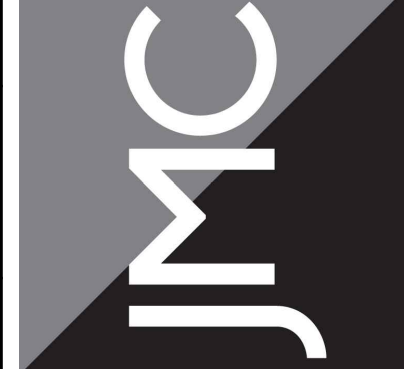
21

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**NOT FOR CONSTRUCTION**

No.	Revision	Date
1.	WDOH SUBMISSION	08/03/2020
2.	RESPONSE TO WDOH COMMENTS	10/06/2020
3.	TOWN HIGHWAY DEPARTMENT SUBMISSION	12/15/2020
4.	ISSUED FOR BUILDING PERMIT	03/12/2021
5.	ISSUE FOR PRICING	03/16/2021
6.	STORMWATER PERMIT SUBMISSION	05/25/2021
7.	ISSUE FOR UPDATED PRICING	06/11/2021

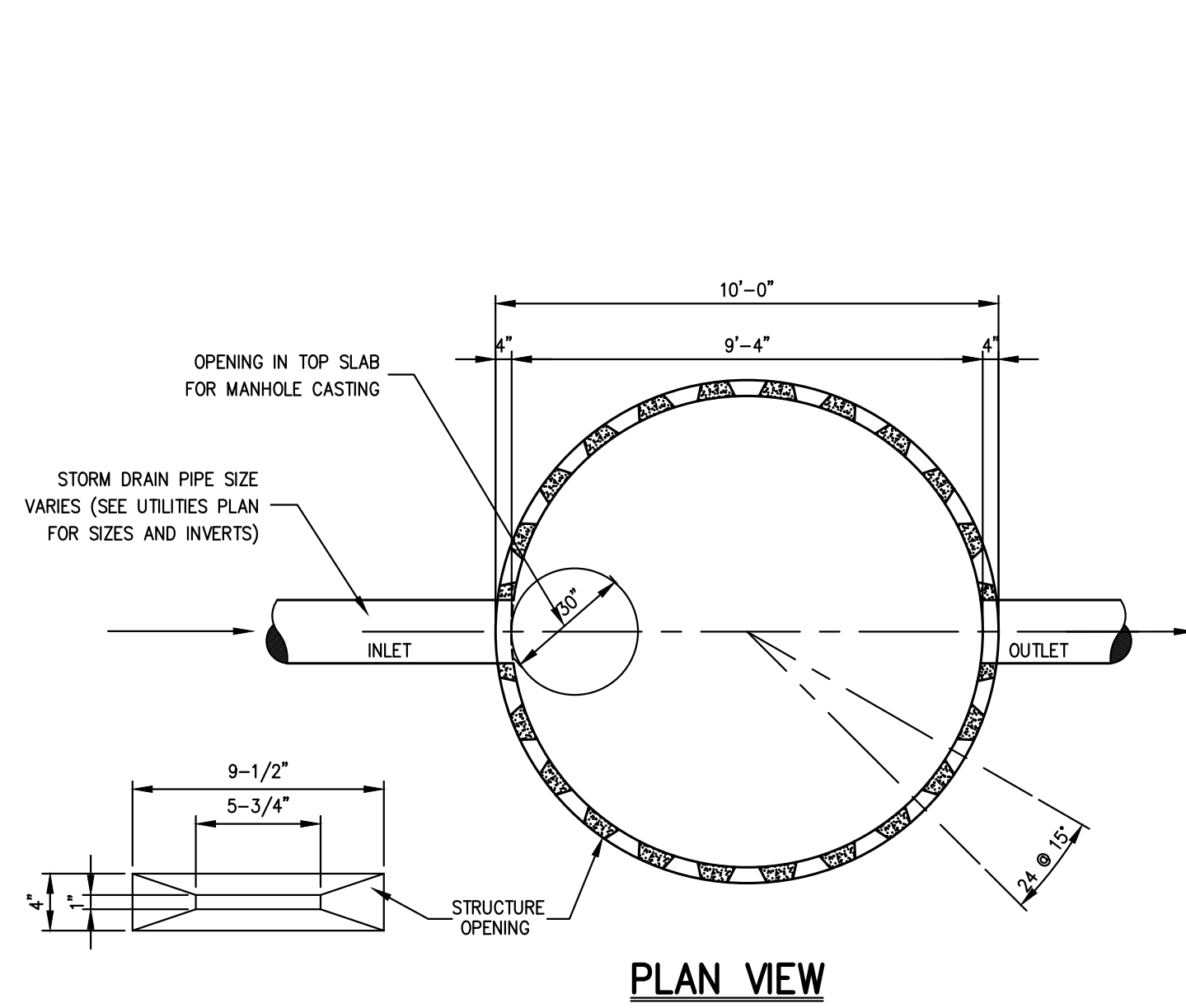
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
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**CONSTRUCTION DETAILS**  
 500 COMMERCE STREET  
 REDEVELOPMENT  
 500 COMMERCE STREET  
 HAWTHORNE, NY 10532

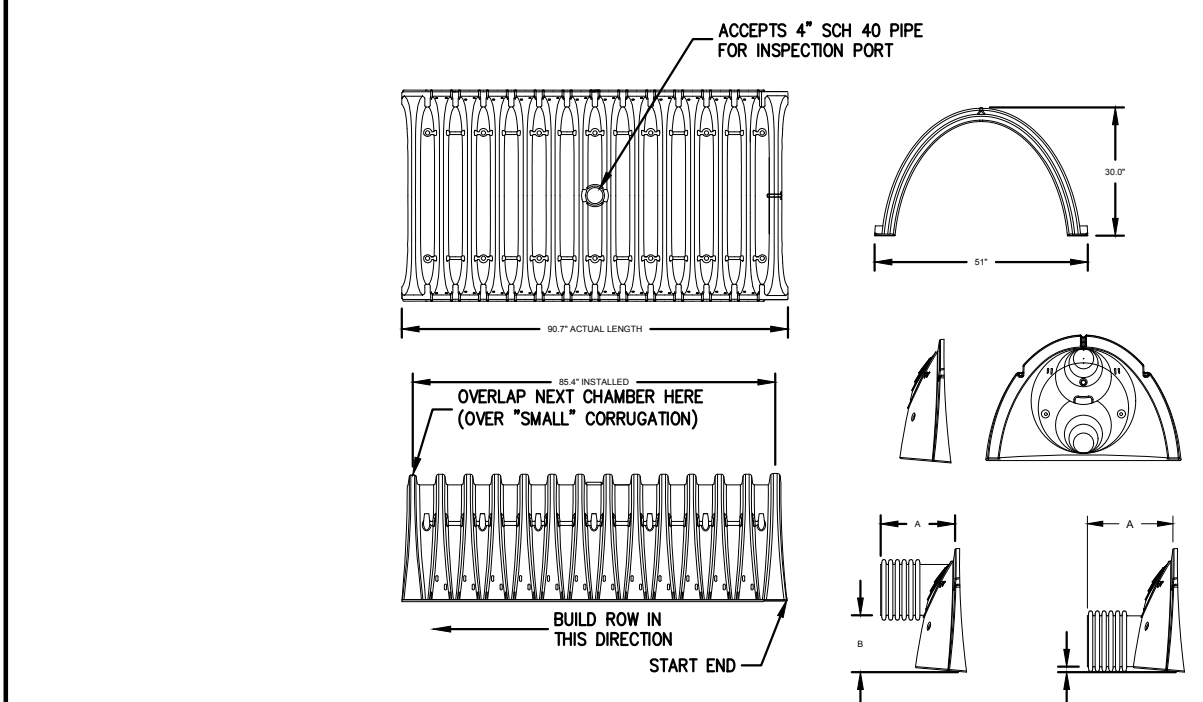
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Drawn:	JR	Approved:	RA
Scale:	NOT TO SCALE		
Date:	01/06/2020		
Project No:	18158		
1858-DEMS	C-902		
Drawing No:	C-902		

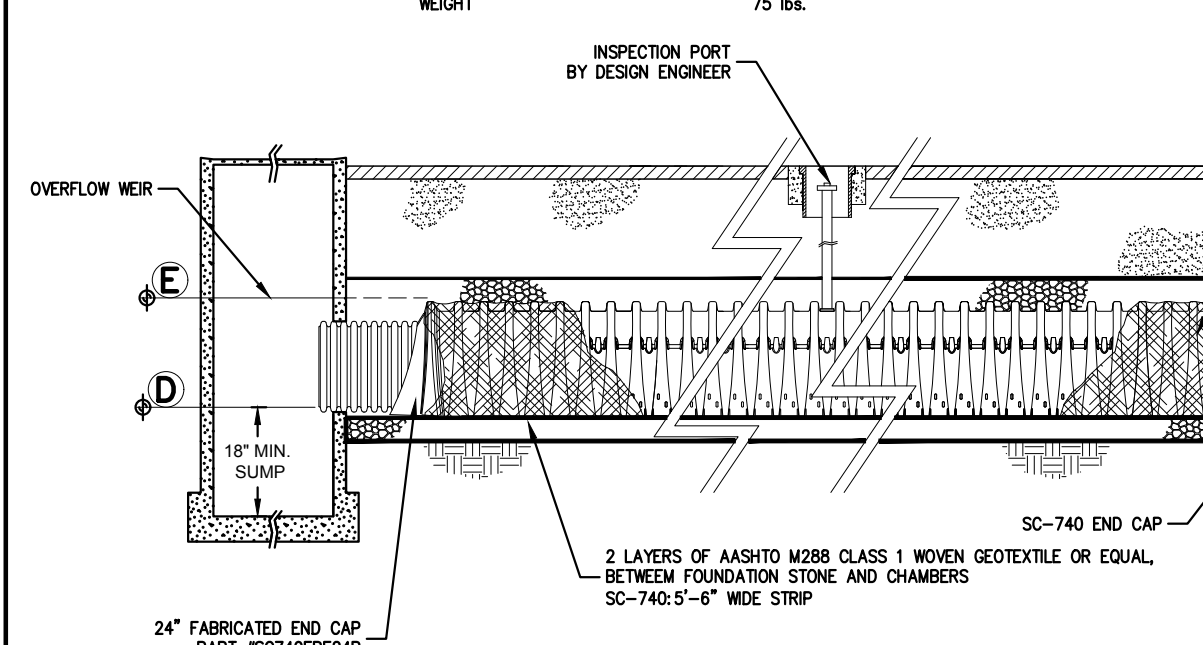


PLAN VIEW

- NOTES:**
- CONCRETE TO TEST 4000 PSI AT 28 DAYS. WELDED WIRE MESH TO COMPLY WITH ASTM A185.
  - NOTES A-4, A-5, A-6 & A-7 UNDER "UTILITY NOTES" SHALL APPLY TO WATER QUALITY STRUCTURES.
  - MANUFACTURER SHALL PROVIDE NECESSARY OPENINGS IN PROPER LOCATIONS AND PROPER SIZES FOR INLET & OUTLET PIPES.



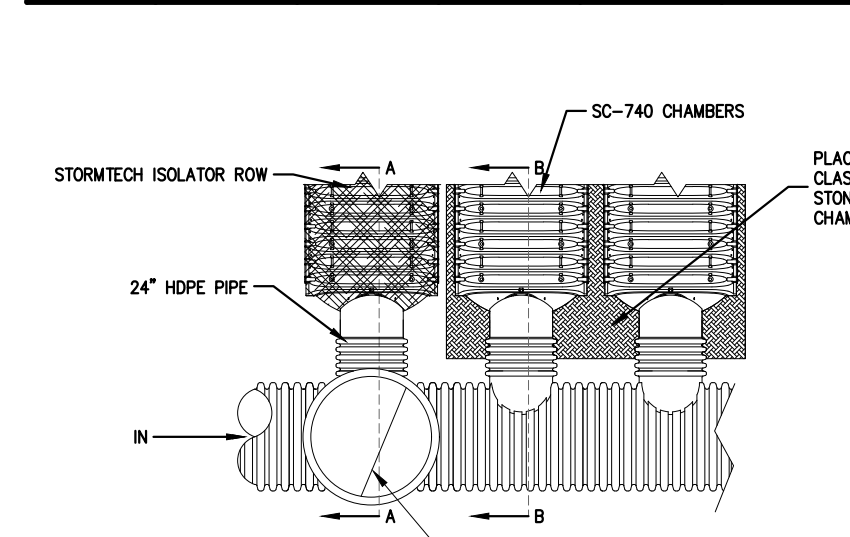
PLAN VIEW



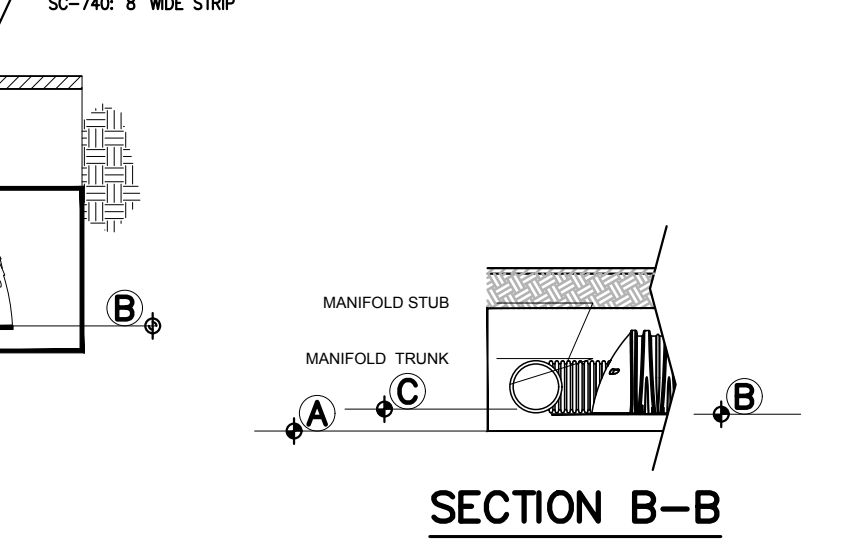
SECTION AT ISOLATOR ROW

**SCHEDULE OF INVERTS**

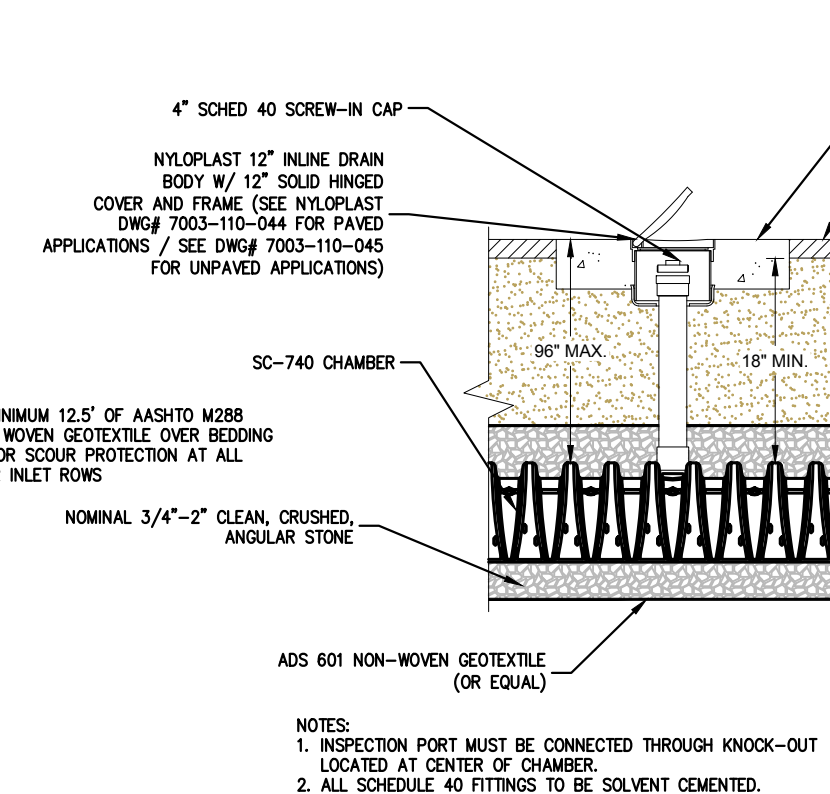
DESIGNATION	A	B	C	D	E
SC-740	268.50	269.00	269.00	269.00	271.15



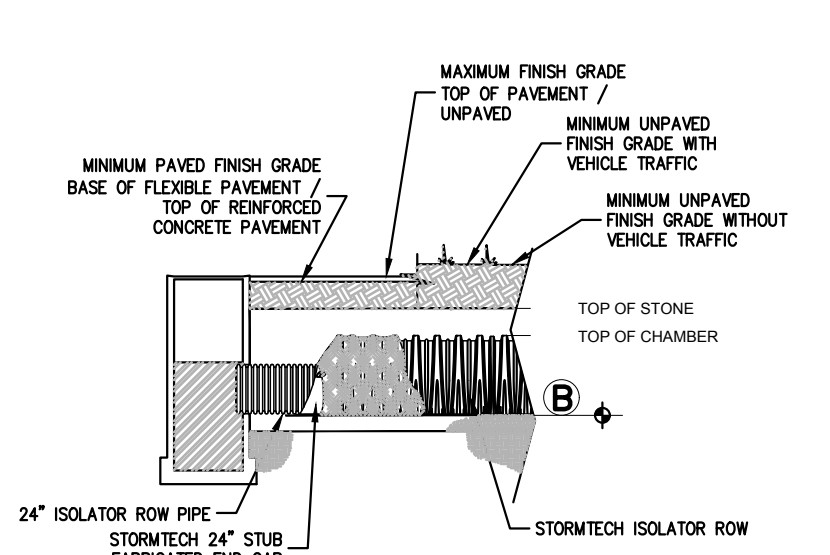
PLAN VIEW



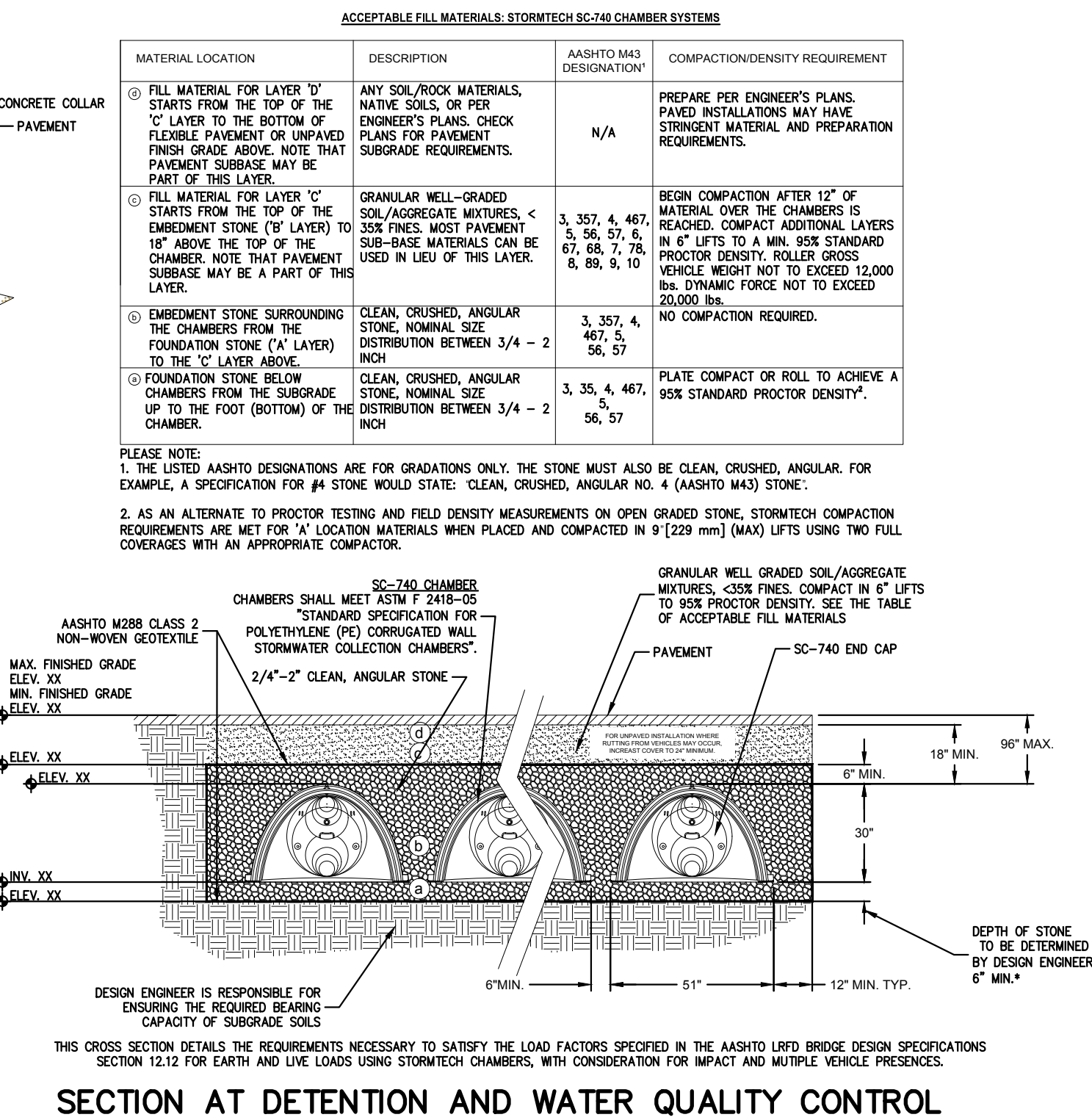
SECTION B-B



INSPECTION PORT DETAIL



SECTION A-A



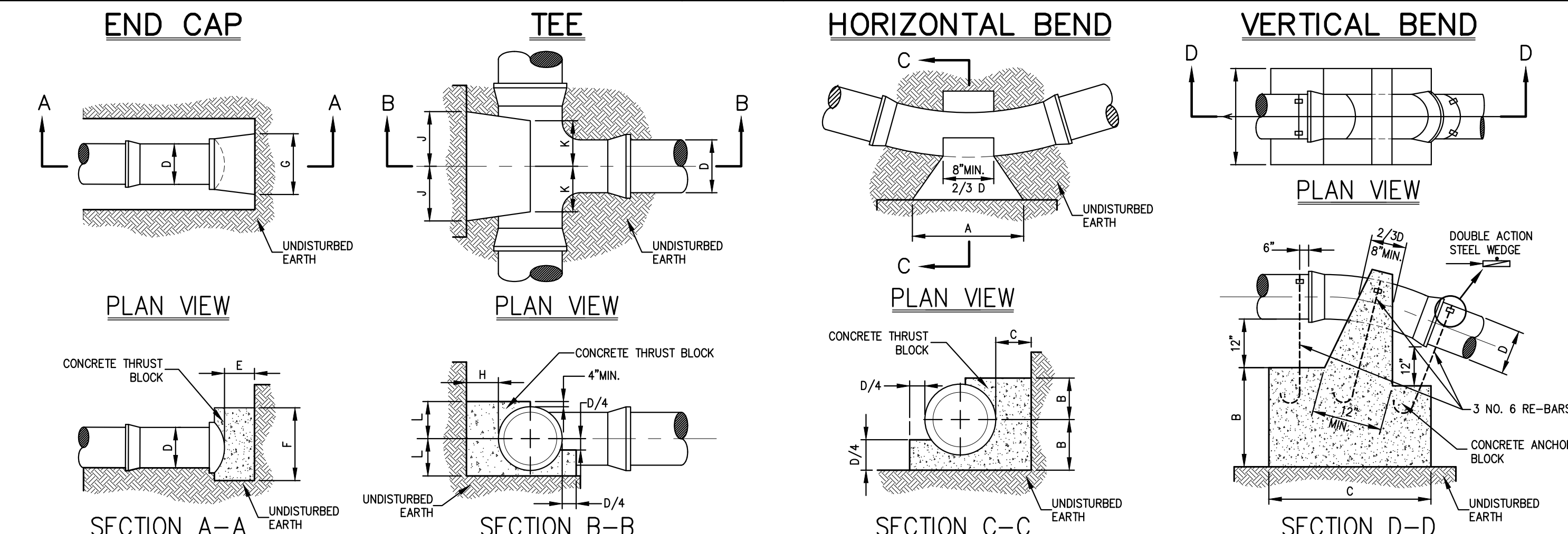
SECTION AT DETENTION AND WATER QUALITY CONTROL

**WATER QUALITY STRUCTURE**

22

**STORMTECH CHAMBERS SC-740**

23



**END CAP CHART**

D	4"	6"	8"	10"	12"
E	6"	6"	8"	8"	10"
F	12"	12"	1'-4"	1'-8"	2'-0"
G	1'-5"	1'-5"	2'-0"	2'-5"	3'-0"

**TEE CHART**

D	4"	6"	8"	10"	12"
H	6"	7"	9"	10"	12"
L	8"	8"	10"	12"	1'-3"
J	7"	7"	9"	12"	1'-2"
K	6"	6"	8"	8"	8"

**HORIZONTAL BEND CHART**

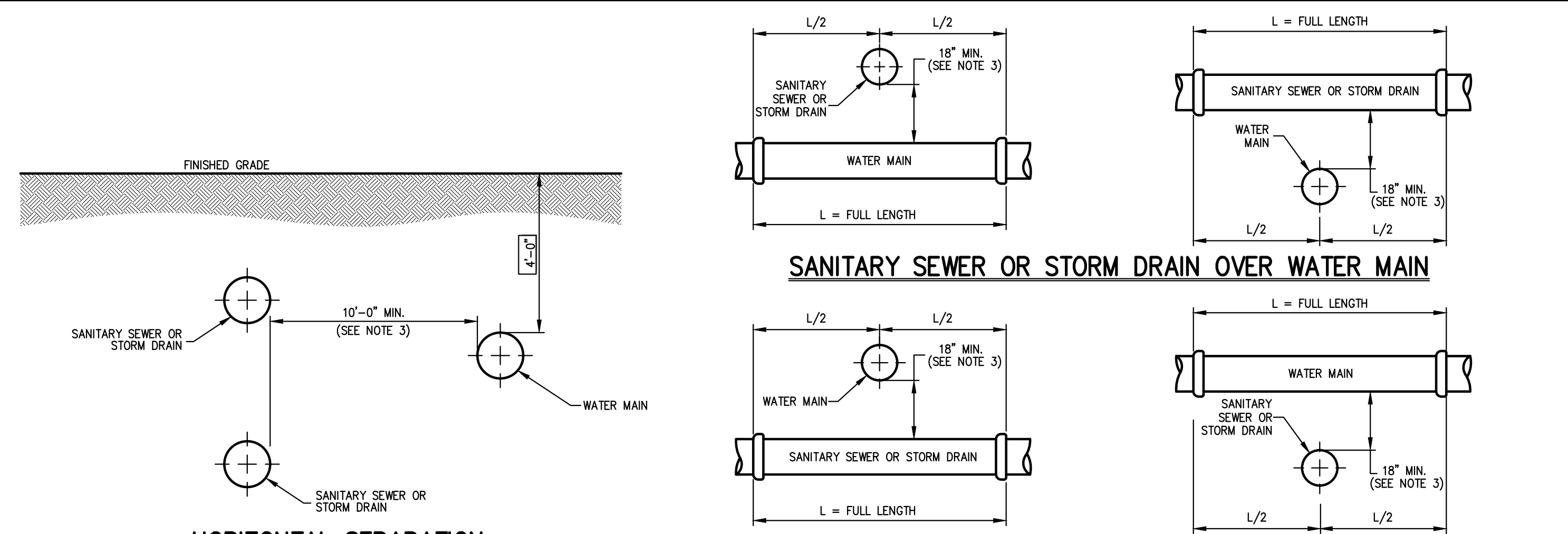
BEND (DEGREES)	DIAMETER (D)				
	4"	6"	8"	10"	12"
1/32 (14)	A 8"	8"	8"	10"	12"
	B 7"	7"	7"	8"	10"
	C 7"	7"	7"	8"	8"
1/16 (22)	A 9"	9"	12"	1'-6"	1'-9"
	B 7"	7"	7"	8"	10"
	C 8"	8"	9"	10"	11"
1/8 (45)	A 1'-3"	1'-3"	1'-8"	2'-1"	2'-6"
	B 7"	7"	8"	9"	11"
	C 8"	8"	9"	10"	11"
1/4 (90)	A 2'-0"	2'-0"	2'-6"	3'-0"	3'-6"
	B 7"	7"	9"	12"	1'-3"
	C 2'-0"	2'-0"	1'-9"	1'-8"	1'-7"

**VERTICAL BEND CHART**

BEND (DEGREES)	DIAMETER (D)				
	4"	6"	8"	10"	12"
1/32 (14)	A 1'-6"	1'-6"	2'-0"	2'-6"	3'-0"
	B 1'-3"	1'-3"	1'-9"	1'-3"	2'-0"
	C 2'-0"	2'-0"	2'-6"	2'-9"	3'-0"
1/16 (22)	A 2'-0"	2'-0"	3'-4"	3'-8"	4'-0"
	B 1'-9"	1'-9"	2'-3"	2'-6"	2'-6"
	C 2'-6"	2'-6"	2'-8"	4'-0"	5'-6"
1/8 (45)	A 2'-6"	2'-6"	3'-0"	4'-0"	5'-2"
	B 2'-6"	2'-6"	2'-9"	3'-0"	3'-6"
	C 3'-0"	3'-0"	4'-0"	4'-6"	6'-6"

**ANCHOR AND THRUST BLOCKS**

24



- NOTES:**
- NORMAL CONDITIONS:**
    - WHENEVER A WATER MAIN MUST CROSS OVER OR UNDER A SANITARY SEWER OR STORM DRAIN, THE PIPES SHALL BE LAID TO PROVIDE A VERTICAL SEPARATION BETWEEN THEM OF AT LEAST 18 INCHES, AS MEASURED FROM THE BOTTOM OF THE HIGHER PIPE TO THE CROWN OF THE LOWER PIPE.
    - FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING; NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
  - WATER MAIN CROSSING UNDER SANITARY SEWERS:**
    - VERTICAL SEPARATION OF 18 INCHES MUST BE PROVIDED.
    - ADEQUATE STRUCTURAL SUPPORT MUST BE PROVIDED FOR THE SANITARY SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING.
    - FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING; NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
  - DURING CONSTRUCTION IT IS FOUND THAT THE REQUIRED SEPARATION OF WATER MAINS, SANITARY SEWERS, STORM SEWERS AND BUILDING SANITARY SEWERS CANNOT BE MET, THE CONTRACTOR OR HIS AUTHORIZED REPRESENTATIVE SHALL IN WRITING ADVISE JMC PLLC OF THE SPECIFIC CONDITIONS ENCOUNTERED. APPROVAL OF ALTERNATIVE SEPARATION CRITERIA SHALL BE OBTAINED FROM THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH PRIOR TO INSTALLATION.**

**SEPARATION OF WATER AND SANITARY SEWER/STORM DRAIN LINES**

25

NOT FOR CONSTRUCTION

Date: 08/03/2020  
 10/06/2020  
 12/15/2021  
 03/12/2021  
 03/16/2021  
 05/25/2021  
 06/11/2021

Revision: 1. WDOH SUBMISSION  
 2. RESPONSE TO WDOH COMMENTS  
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 7. ISSUE FOR UPDATED PRICING

No. 1. WDOH SUBMISSION  
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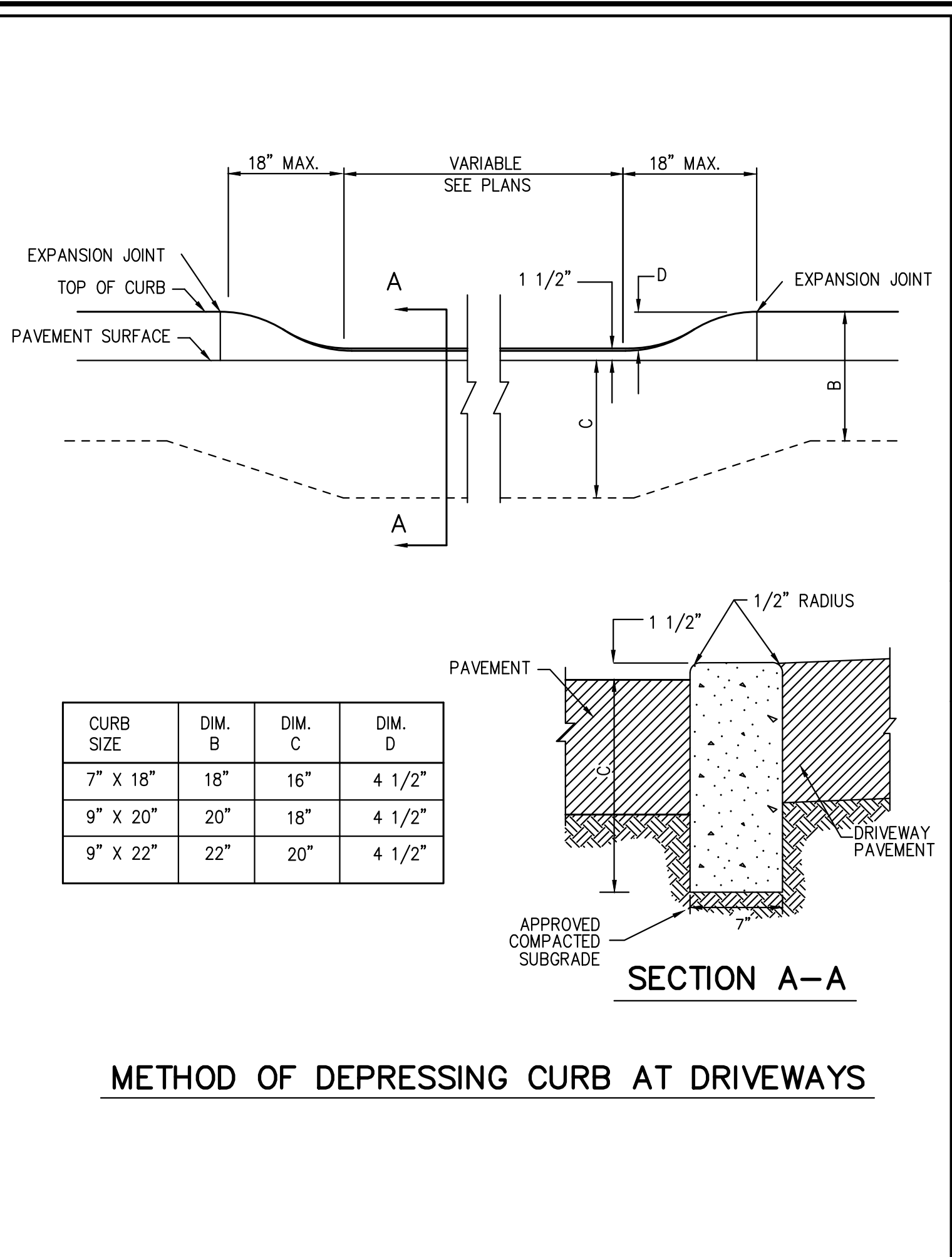
**JMC**

**CONSTRUCTION DETAILS**

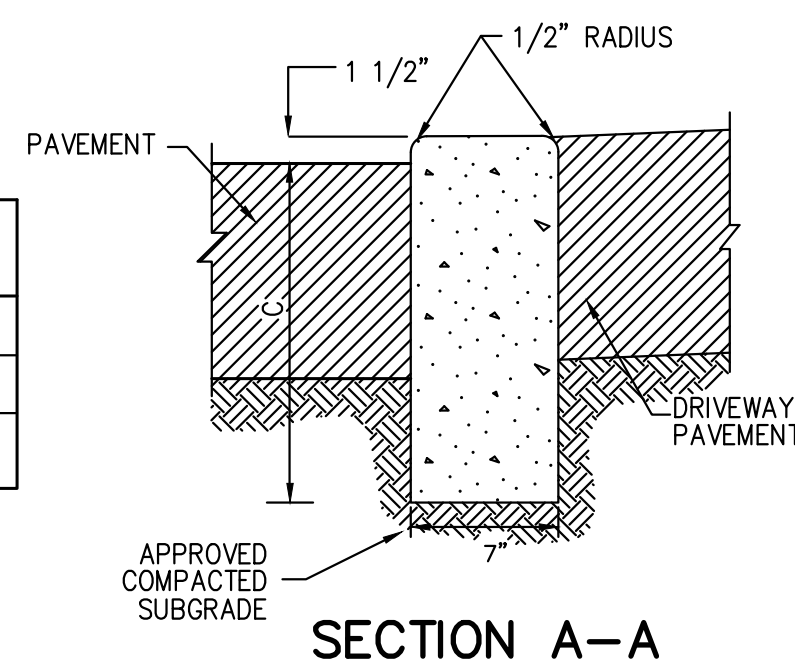
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 500 COMMERCE STREET HAWTHORNE, NY 10532

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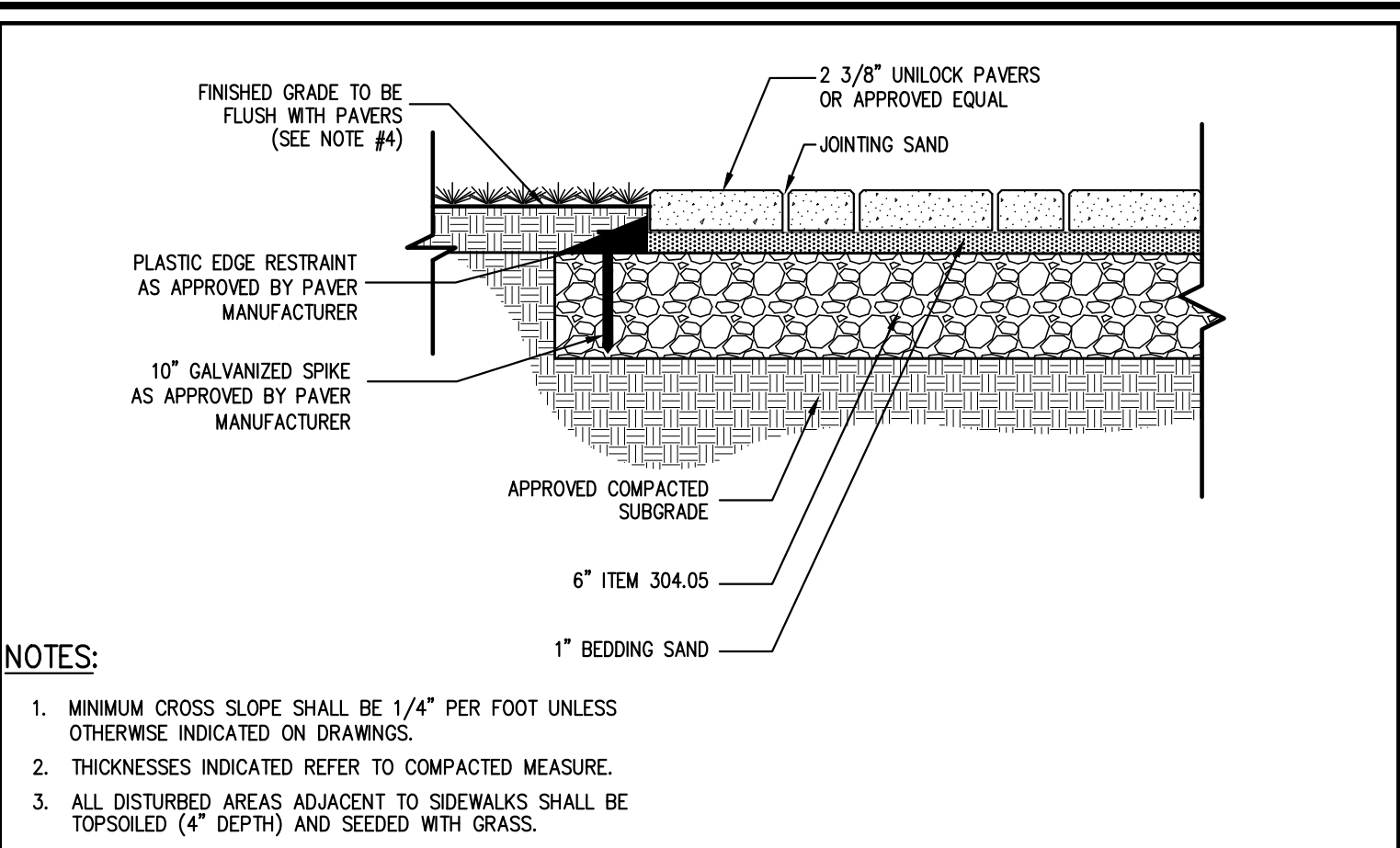
Drawn: JR Approved: RA  
 Scale: NOT TO SCALE  
 Date: 01/06/2020  
 Project No: 18158  
 1858-ITEMS C-903  
 Drawing No:



CURB SIZE	DIM. B	DIM. C	DIM. D
7" X 18"	18"	16"	4 1/2"
9" X 20"	20"	18"	4 1/2"
9" X 22"	22"	20"	4 1/2"

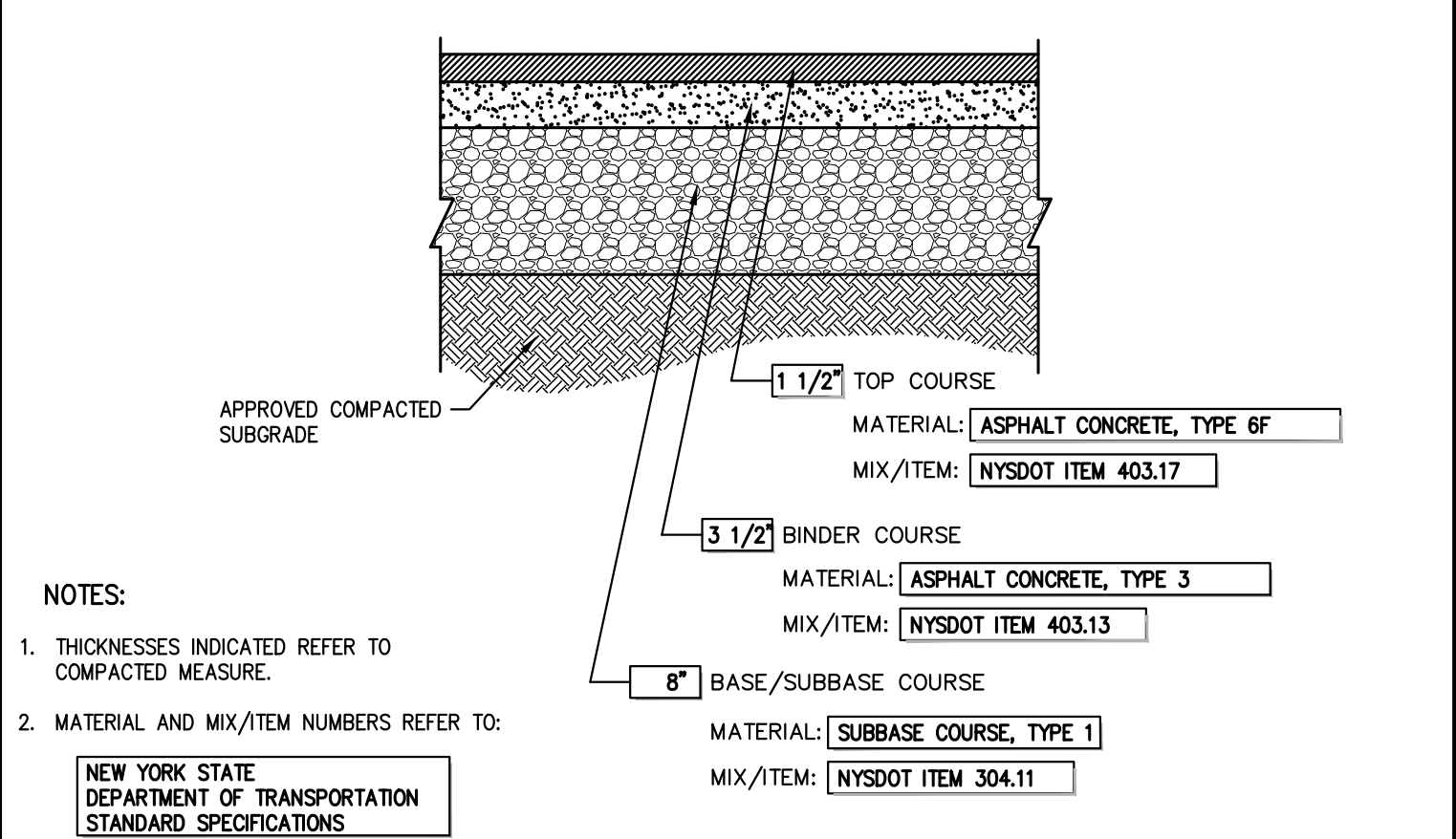


METHOD OF DEPRESSING CURB AT DRIVEWAYS



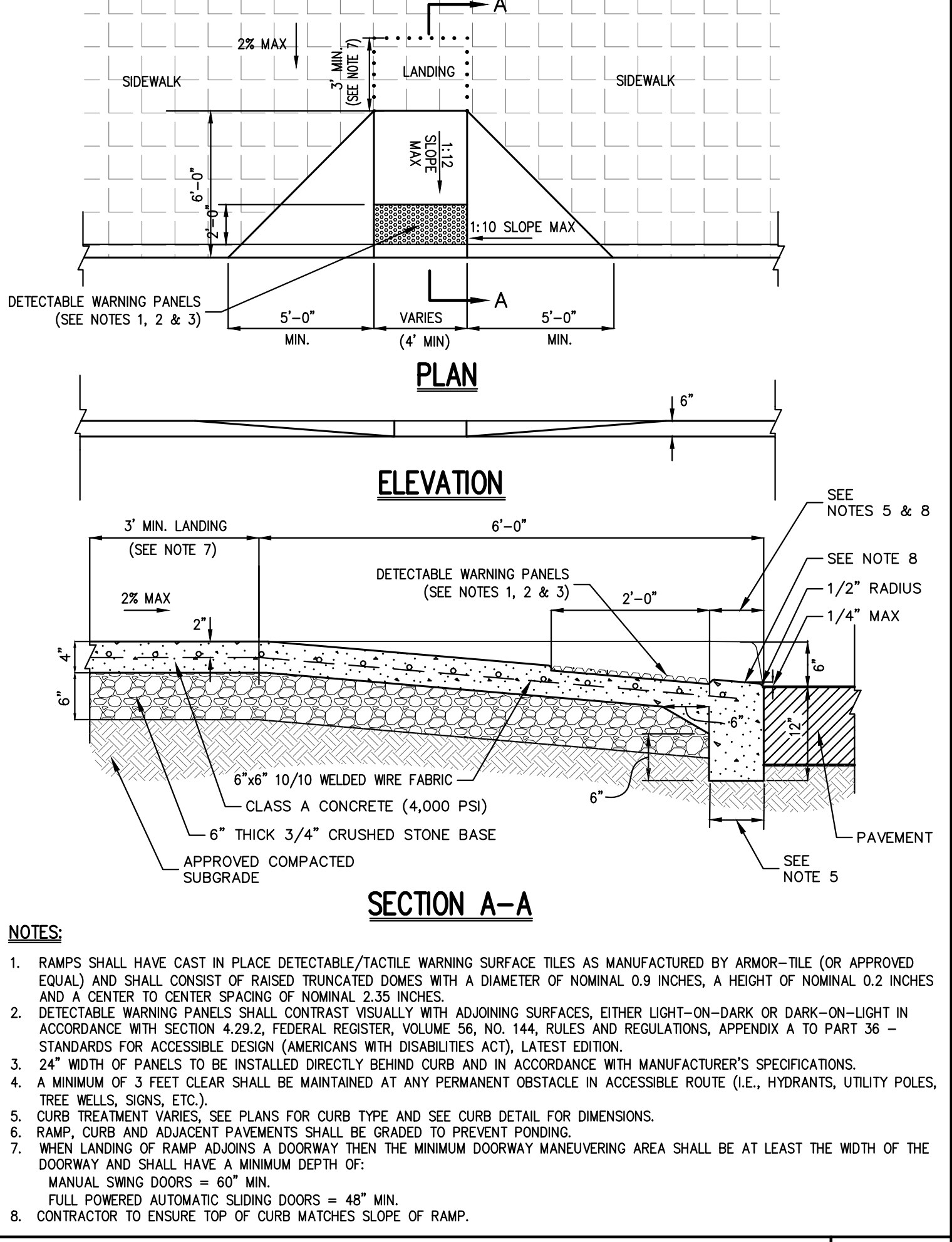
- NOTES:
- MINIMUM CROSS SLOPE SHALL BE 1/4" PER FOOT UNLESS OTHERWISE INDICATED ON DRAWINGS.
  - THICKNESSES INDICATED REFER TO COMPACTED MEASURE.
  - ALL DISTURBED AREAS ADJACENT TO SIDEWALKS SHALL BE TOPSOILED (4" DEPTH) AND SEEDED WITH GRASS.

PAVER INSTALLATION (PROPOSED WALKWAY)



- NOTES:
- THICKNESSES INDICATED REFER TO COMPACTED MEASURE.
  - MATERIAL AND MIX/ITEM NUMBERS REFER TO:
- NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

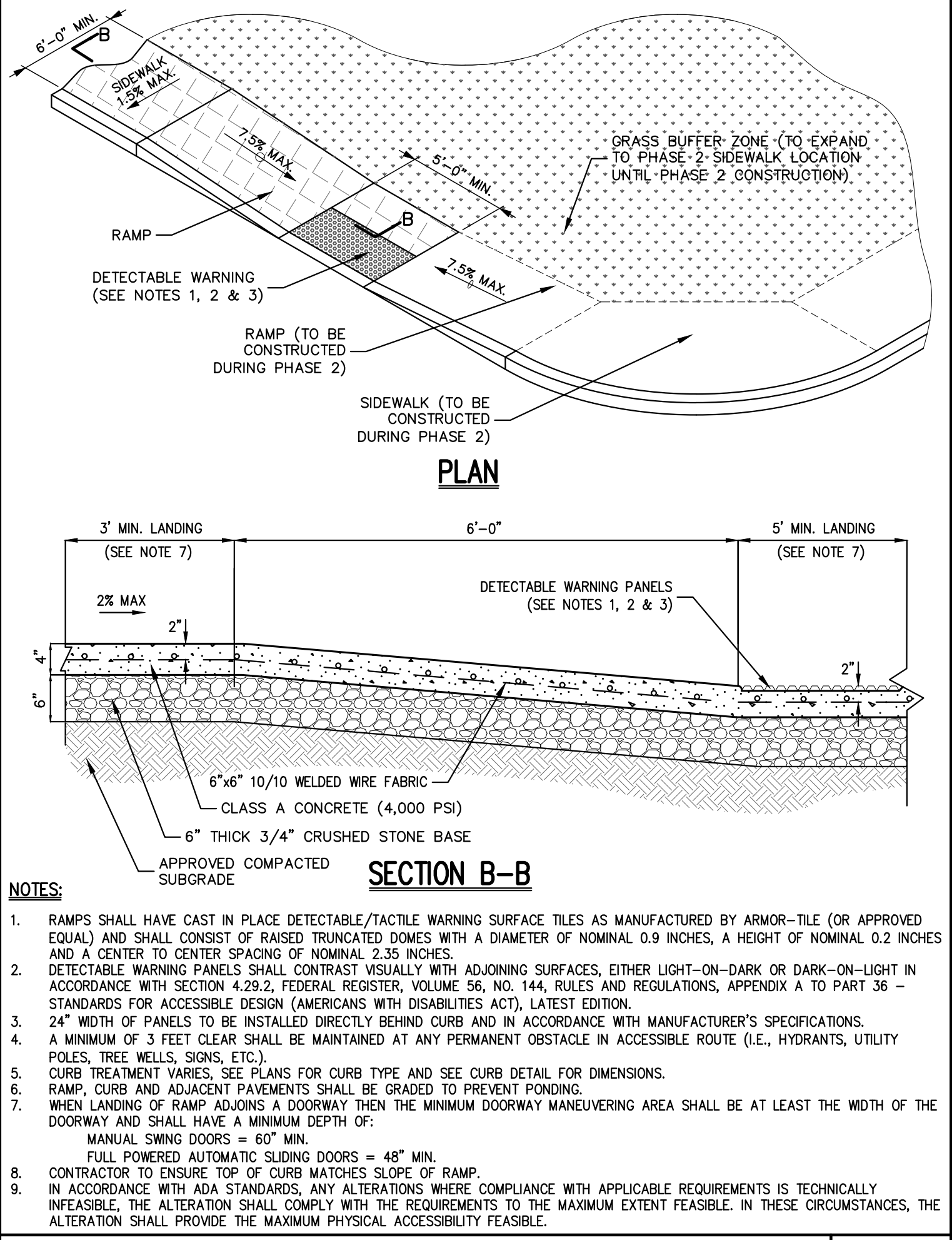
DEPRESSED CONCRETE CURB 26



- NOTES:
- RAMP SHALL HAVE CAST IN PLACE DETECTABLE/TACTILE WARNING SURFACE TILES AS MANUFACTURED BY ARMOR-TILE (OR APPROVED EQUAL) AND SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES.
  - DETECTABLE WARNING PANELS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT IN ACCORDANCE WITH SECTION 4.29.2, FEDERAL REGISTER, VOLUME 56, NO. 144, RULES AND REGULATIONS, APPENDIX A TO PART 36 - STANDARDS FOR ACCESSIBLE DESIGN (AMERICANS WITH DISABILITIES ACT), LATEST EDITION.
  - 24" WIDTH OF PANELS TO BE INSTALLED DIRECTLY BEHIND CURB AND IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  - A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
  - CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE AND SEE CURB DETAIL FOR DIMENSIONS.
  - RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
  - WHEN LANDING OF RAMP ADJOINS A DOORWAY THEN THE MINIMUM DOORWAY MANEUVERING AREA SHALL BE AT LEAST THE WIDTH OF THE DOORWAY AND SHALL HAVE A MINIMUM DEPTH OF:
    - MANUAL SWING DOORS = 60" MIN.
    - FULL POWERED AUTOMATIC SLIDING DOORS = 48" MIN.
  - CONTRACTOR TO ENSURE TOP OF CURB MATCHES SLOPE OF RAMP.

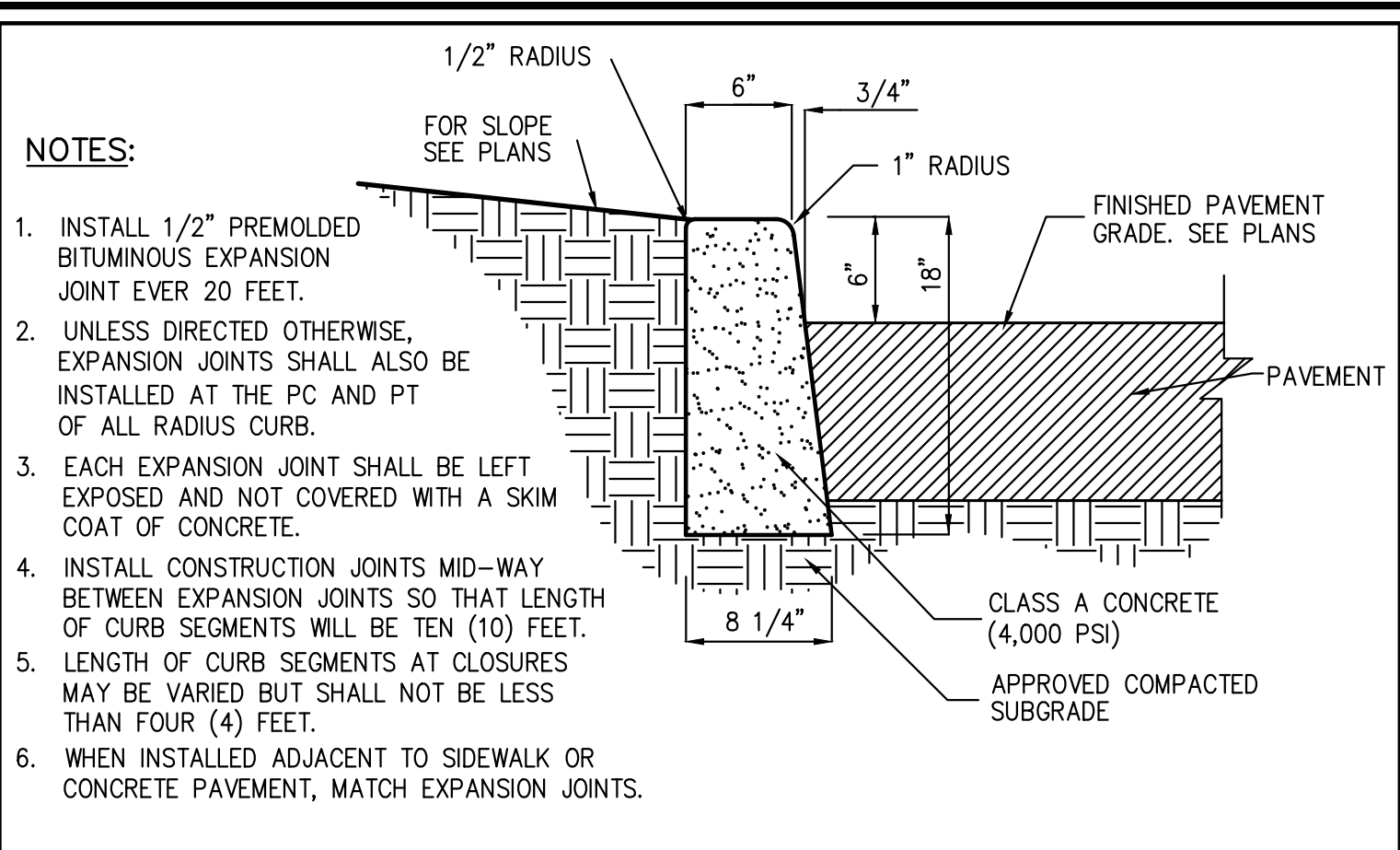
DROP CURB & RAMP (SITE DRIVEWAY) 31

SITE PAVEMENT (Heavy Duty) 28



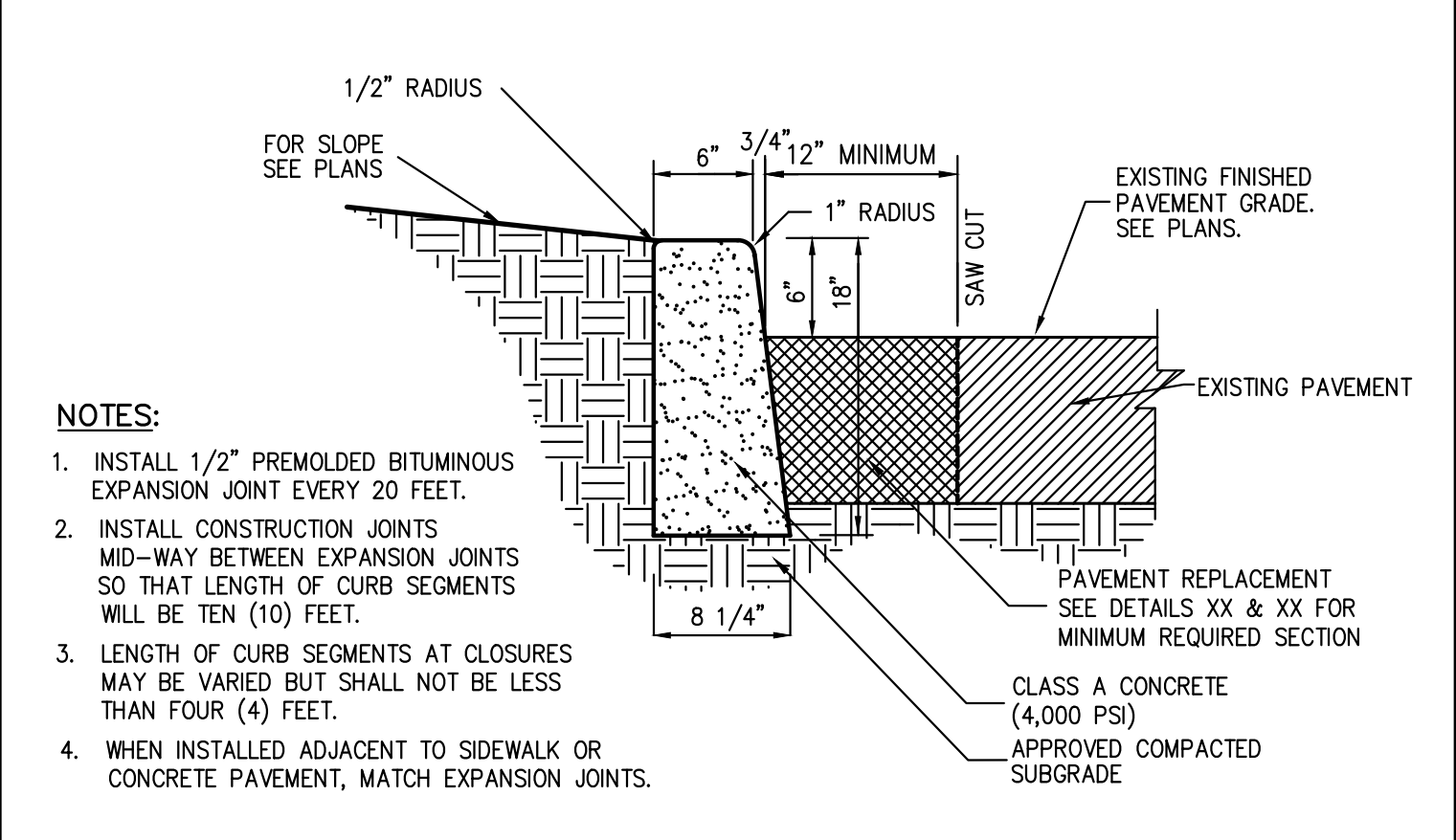
- NOTES:
- RAMP SHALL HAVE CAST IN PLACE DETECTABLE/TACTILE WARNING SURFACE TILES AS MANUFACTURED BY ARMOR-TILE (OR APPROVED EQUAL) AND SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES.
  - DETECTABLE WARNING PANELS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT IN ACCORDANCE WITH SECTION 4.29.2, FEDERAL REGISTER, VOLUME 56, NO. 144, RULES AND REGULATIONS, APPENDIX A TO PART 36 - STANDARDS FOR ACCESSIBLE DESIGN (AMERICANS WITH DISABILITIES ACT), LATEST EDITION.
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  - CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE AND SEE CURB DETAIL FOR DIMENSIONS.
  - RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
  - WHEN LANDING OF RAMP ADJOINS A DOORWAY THEN THE MINIMUM DOORWAY MANEUVERING AREA SHALL BE AT LEAST THE WIDTH OF THE DOORWAY AND SHALL HAVE A MINIMUM DEPTH OF:
    - MANUAL SWING DOORS = 60" MIN.
    - FULL POWERED AUTOMATIC SLIDING DOORS = 48" MIN.
  - CONTRACTOR TO ENSURE TOP OF CURB MATCHES SLOPE OF RAMP.
  - IN ACCORDANCE WITH ADA STANDARDS, ANY ALTERATIONS WHERE COMPLIANCE WITH APPLICABLE REQUIREMENTS IS TECHNICALLY INFEASIBLE, THE ALTERATION SHALL COMPLY WITH THE REQUIREMENTS TO THE MAXIMUM EXTENT FEASIBLE. IN THESE CIRCUMSTANCES, THE ALTERATION SHALL PROVIDE THE MAXIMUM PHYSICAL ACCESSIBILITY FEASIBLE.

DROP CURB & RAMP (GARFIELD PLACE & COMMERCE STREET) 32



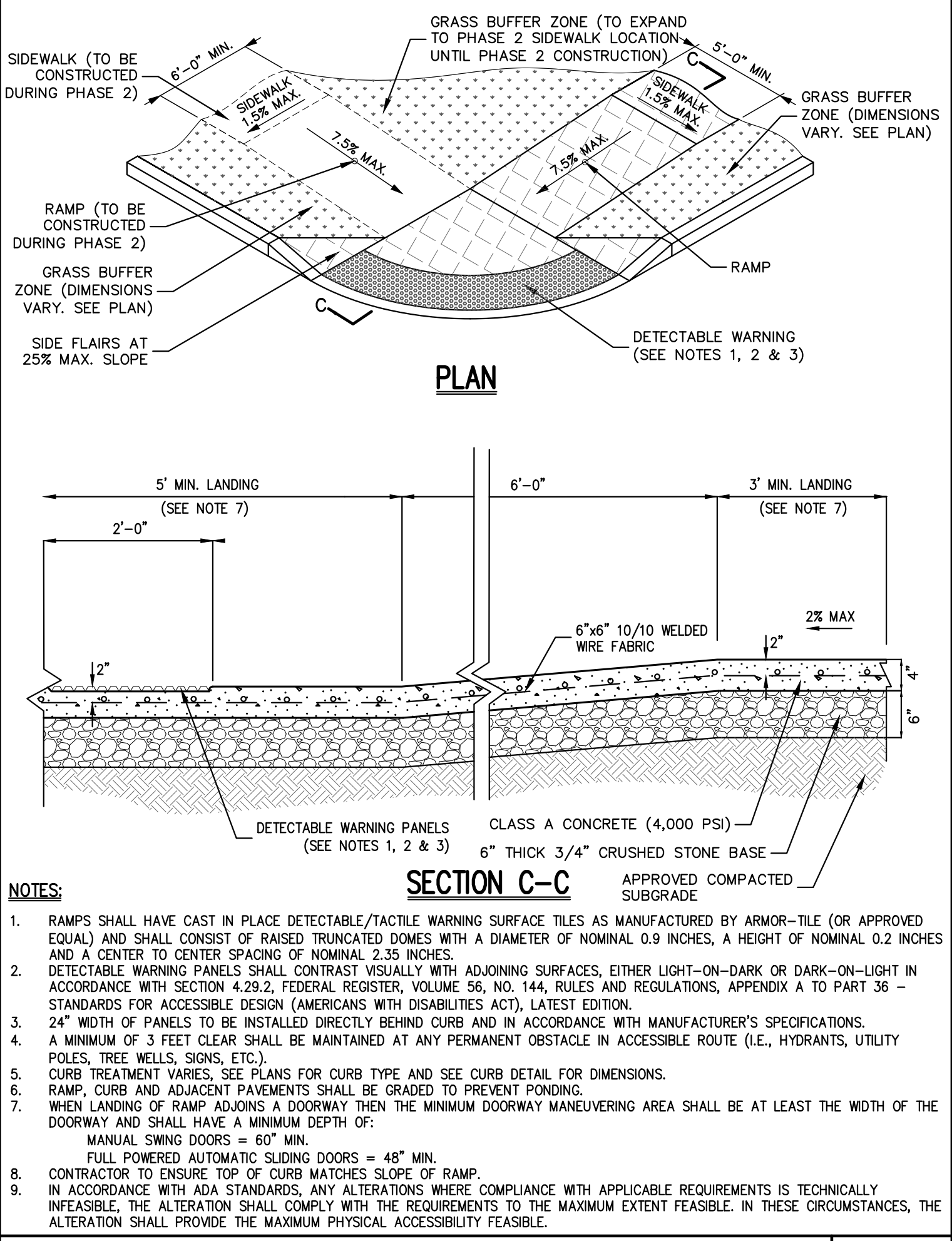
- NOTES:
- INSTALL 1/2" PREMOLDED BITUMINOUS EXPANSION JOINT EVERY 20 FEET.
  - UNLESS DIRECTED OTHERWISE, EXPANSION JOINTS SHALL ALSO BE INSTALLED AT THE PC AND PT OF ALL RADIUS CURB.
  - EACH EXPANSION JOINT SHALL BE LEFT EXPOSED AND NOT COVERED WITH A SKIM COAT OF CONCRETE.
  - INSTALL CONSTRUCTION JOINTS MID-WAY BETWEEN EXPANSION JOINTS SO THAT LENGTH OF CURB SEGMENTS WILL BE TEN (10) FEET.
  - LENGTH OF CURB SEGMENTS AT CLOSURES MAY BE VARIED BUT SHALL NOT BE LESS THAN FOUR (4) FEET.
  - WHEN INSTALLED ADJACENT TO SIDEWALK OR CONCRETE PAVEMENT, MATCH EXPANSION JOINTS.

CAST-IN-PLACE CONCRETE CURB 29A



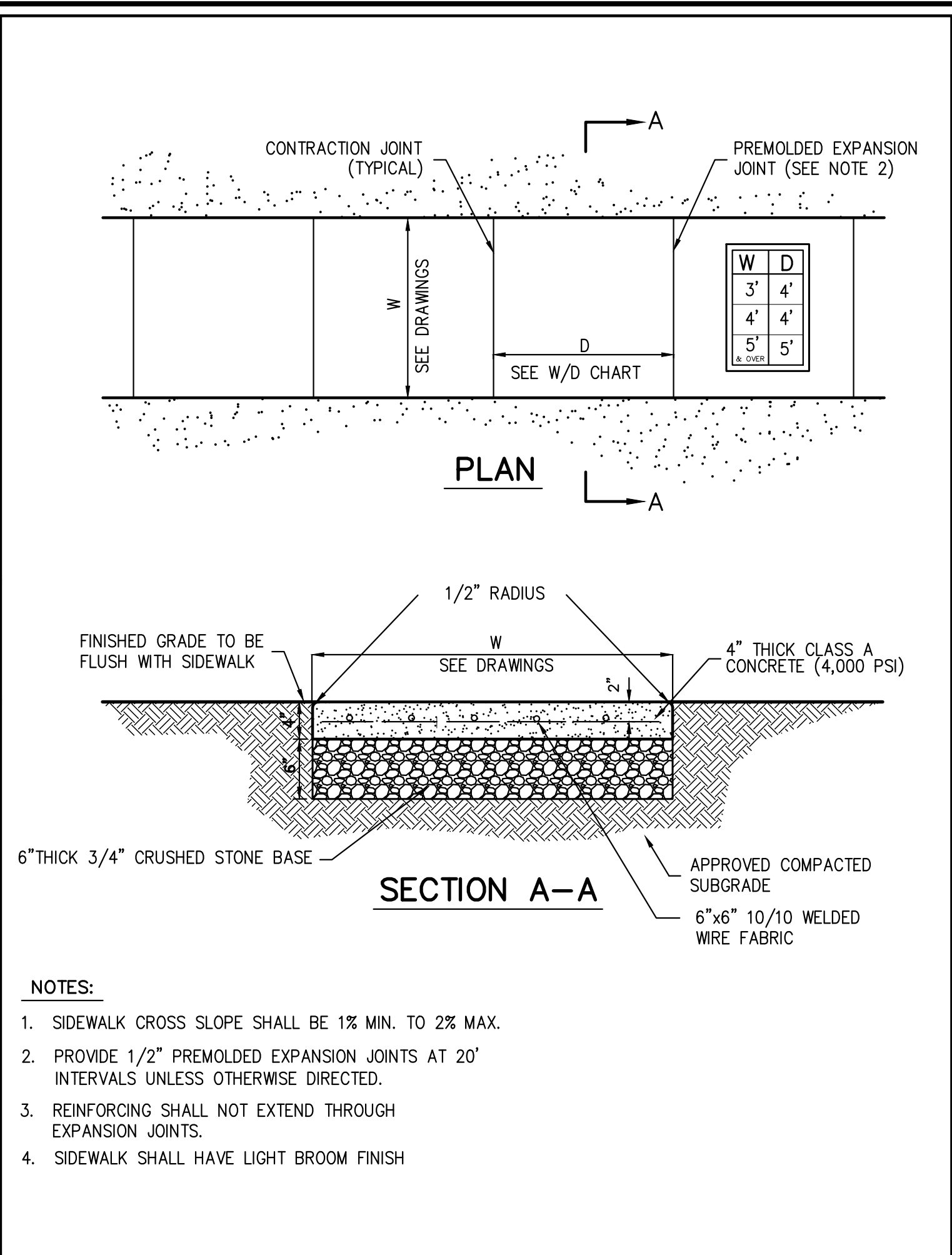
- NOTES:
- INSTALL 1/2" PREMOLDED BITUMINOUS EXPANSION JOINT EVERY 20 FEET.
  - INSTALL CONSTRUCTION JOINTS MID-WAY BETWEEN EXPANSION JOINTS SO THAT LENGTH OF CURB SEGMENTS WILL BE TEN (10) FEET.
  - LENGTH OF CURB SEGMENTS AT CLOSURES MAY BE VARIED BUT SHALL NOT BE LESS THAN FOUR (4) FEET.
  - WHEN INSTALLED ADJACENT TO SIDEWALK OR CONCRETE PAVEMENT, MATCH EXPANSION JOINTS.

CAST-IN-PLACE CONCRETE CURB 29B (IN EXISTING PAVEMENT)



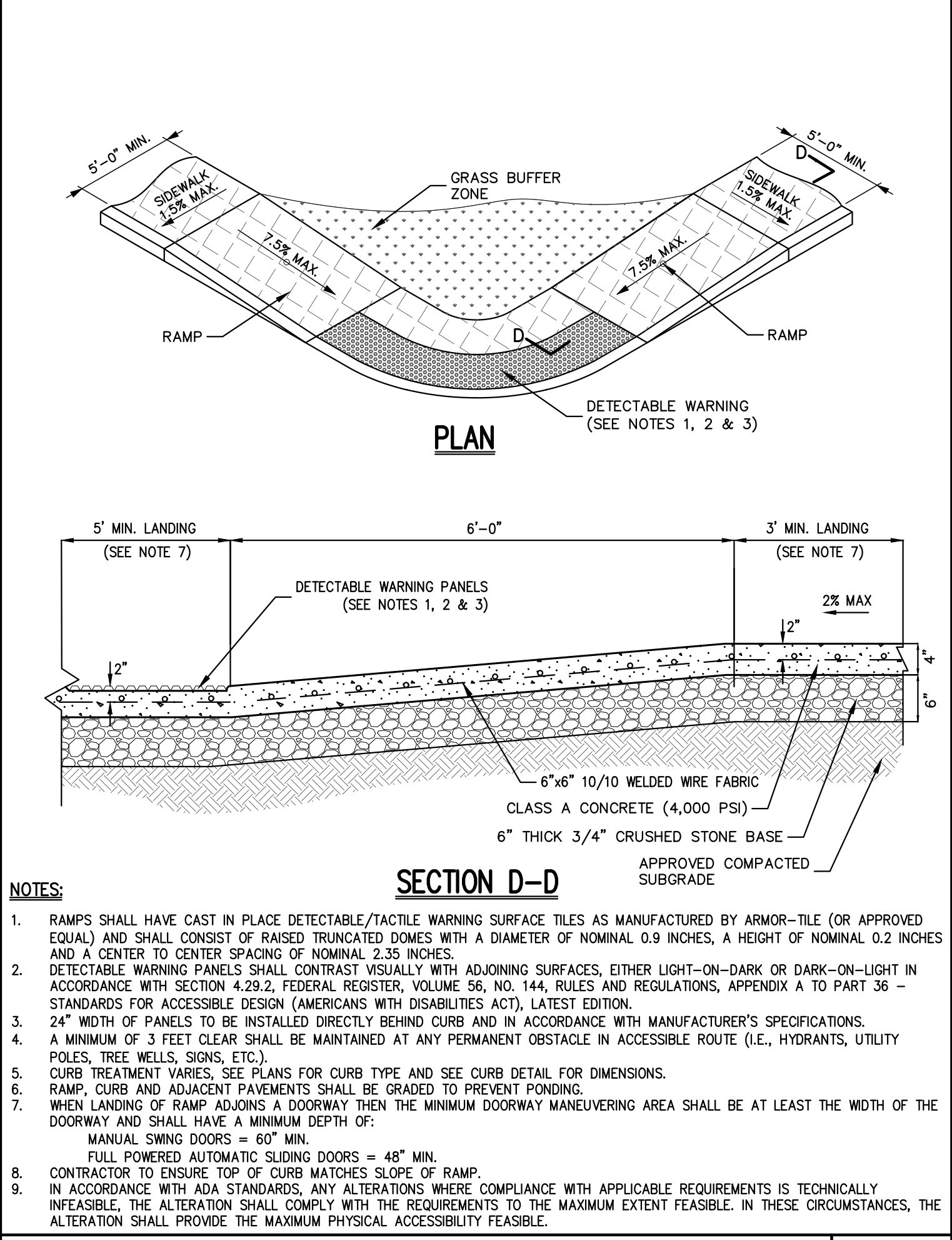
- NOTES:
- RAMP SHALL HAVE CAST IN PLACE DETECTABLE/TACTILE WARNING SURFACE TILES AS MANUFACTURED BY ARMOR-TILE (OR APPROVED EQUAL) AND SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES.
  - DETECTABLE WARNING PANELS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT IN ACCORDANCE WITH SECTION 4.29.2, FEDERAL REGISTER, VOLUME 56, NO. 144, RULES AND REGULATIONS, APPENDIX A TO PART 36 - STANDARDS FOR ACCESSIBLE DESIGN (AMERICANS WITH DISABILITIES ACT), LATEST EDITION.
  - 24" WIDTH OF PANELS TO BE INSTALLED DIRECTLY BEHIND CURB AND IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  - A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
  - CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE AND SEE CURB DETAIL FOR DIMENSIONS.
  - RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
  - WHEN LANDING OF RAMP ADJOINS A DOORWAY THEN THE MINIMUM DOORWAY MANEUVERING AREA SHALL BE AT LEAST THE WIDTH OF THE DOORWAY AND SHALL HAVE A MINIMUM DEPTH OF:
    - MANUAL SWING DOORS = 60" MIN.
    - FULL POWERED AUTOMATIC SLIDING DOORS = 48" MIN.
  - CONTRACTOR TO ENSURE TOP OF CURB MATCHES SLOPE OF RAMP.
  - IN ACCORDANCE WITH ADA STANDARDS, ANY ALTERATIONS WHERE COMPLIANCE WITH APPLICABLE REQUIREMENTS IS TECHNICALLY INFEASIBLE, THE ALTERATION SHALL COMPLY WITH THE REQUIREMENTS TO THE MAXIMUM EXTENT FEASIBLE. IN THESE CIRCUMSTANCES, THE ALTERATION SHALL PROVIDE THE MAXIMUM PHYSICAL ACCESSIBILITY FEASIBLE.

DROP CURB & RAMP (LIBERTY STREET & COMMERCE STREET) 33



- NOTES:
- SIDEWALK CROSS SLOPE SHALL BE 1% MIN. TO 2% MAX.
  - PROVIDE 1/2" PREMOLDED EXPANSION JOINTS AT 20' INTERVALS UNLESS OTHERWISE DIRECTED.
  - REINFORCING SHALL NOT EXTEND THROUGH EXPANSION JOINTS.
  - SIDEWALK SHALL HAVE LIGHT BROOM FINISH.

CONCRETE SIDEWALK 30



- NOTES:
- RAMP SHALL HAVE CAST IN PLACE DETECTABLE/TACTILE WARNING SURFACE TILES AS MANUFACTURED BY ARMOR-TILE (OR APPROVED EQUAL) AND SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES.
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  - CONTRACTOR TO ENSURE TOP OF CURB MATCHES SLOPE OF RAMP.
  - IN ACCORDANCE WITH ADA STANDARDS, ANY ALTERATIONS WHERE COMPLIANCE WITH APPLICABLE REQUIREMENTS IS TECHNICALLY INFEASIBLE, THE ALTERATION SHALL COMPLY WITH THE REQUIREMENTS TO THE MAXIMUM EXTENT FEASIBLE. IN THESE CIRCUMSTANCES, THE ALTERATION SHALL PROVIDE THE MAXIMUM PHYSICAL ACCESSIBILITY FEASIBLE.

DROP CURB & RAMP (LIBERTY STREET & SITE DRIVEWAY) 34

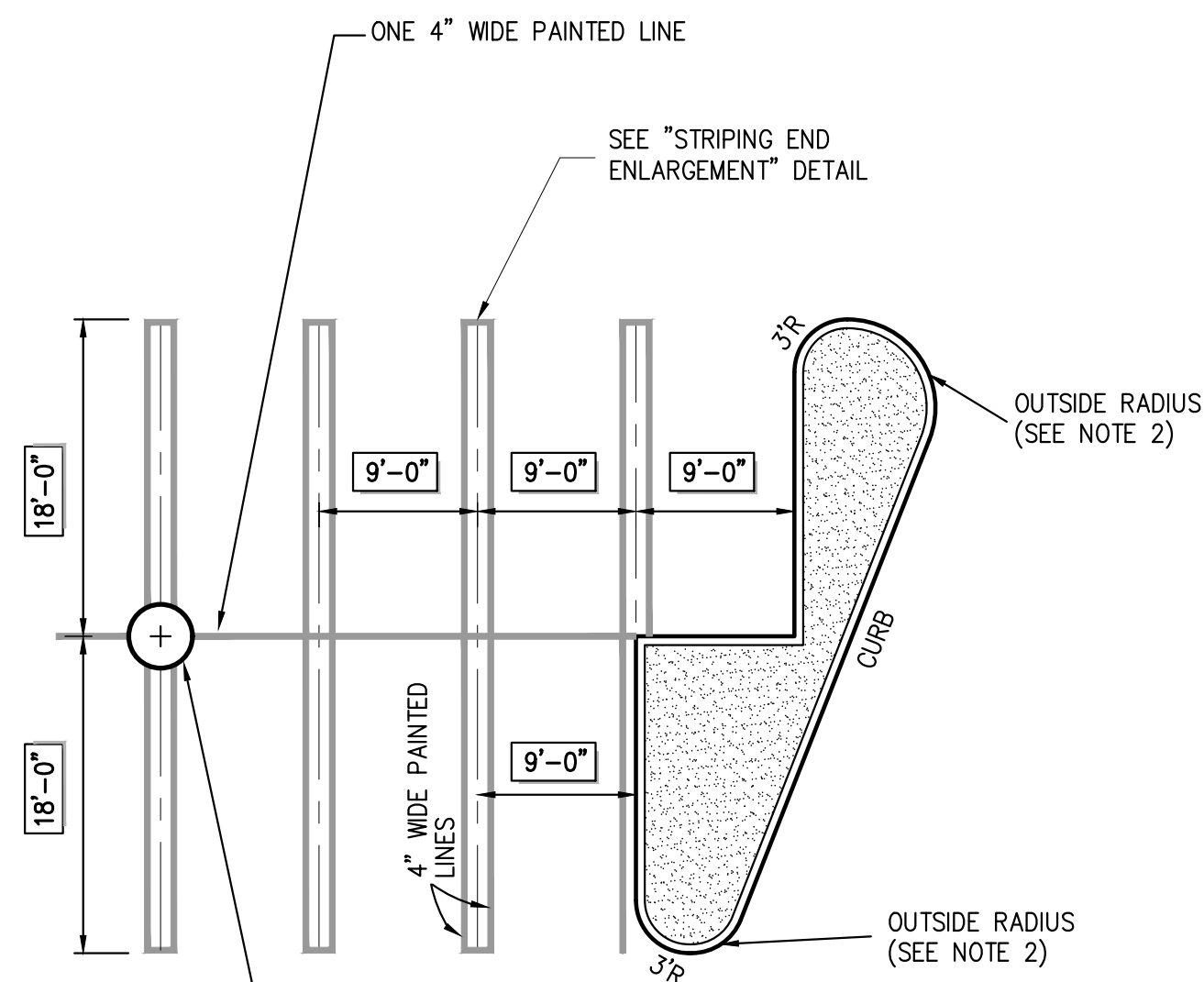
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 voice 914.273.5225 • fax 914.273.2102  
 www.jmcplic.com

**CONSTRUCTION DETAILS**  
 500 COMMERCE STREET REDEVELOPMENT  
 500 COMMERCE STREET HAWTHORNE, NY 10532

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Drawn: JR Approved: RA  
 Scale: NOT TO SCALE  
 Date: 01/06/2020  
 Project No: 18158  
 1859-REVIS C-904 -  
 Drawing No: C-904

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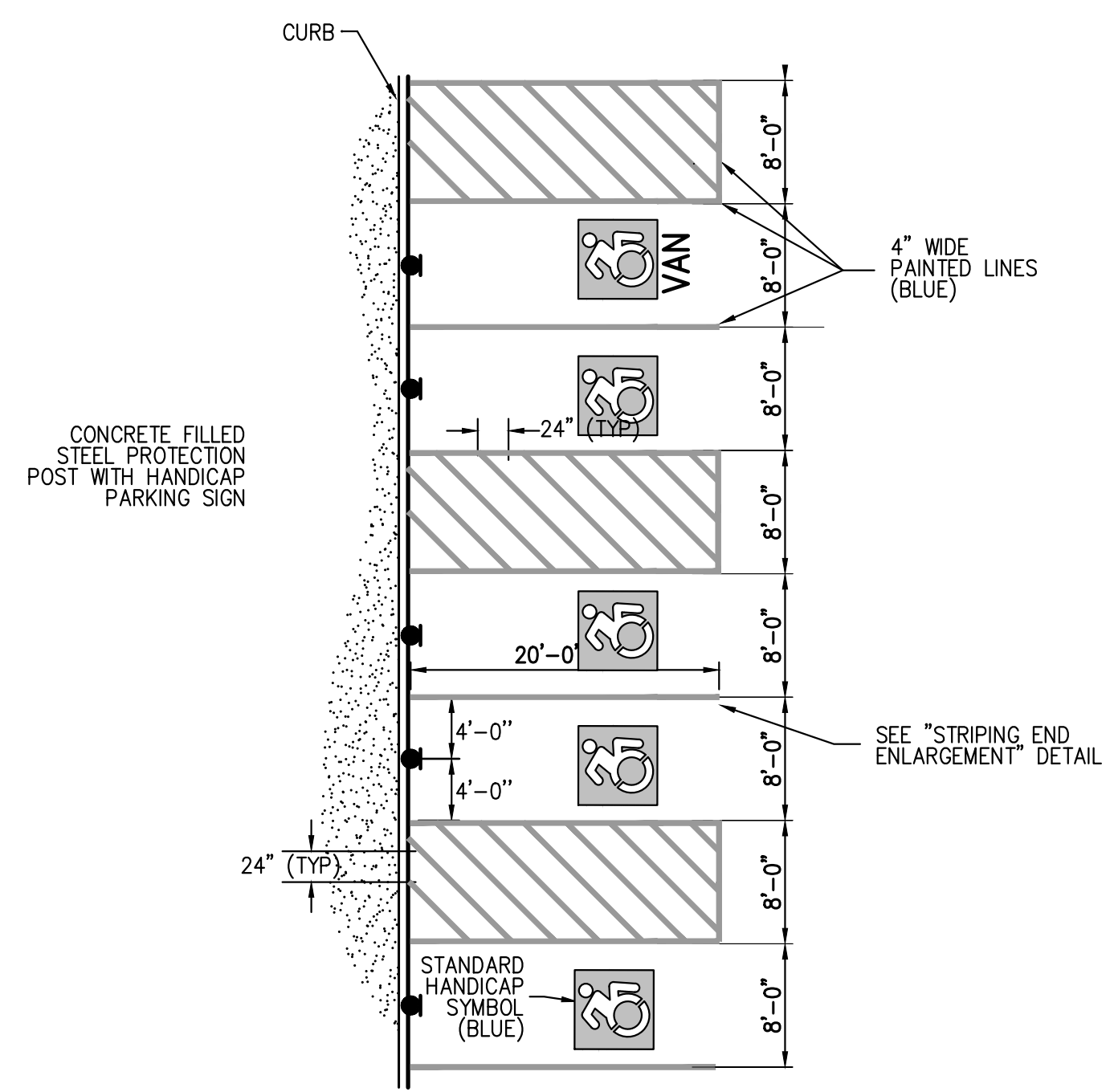
NOTES

- COLOR OF PAINT SHALL BE WHITE
- OUTSIDE RADIUS MAY VARY DEPENDING ON SHAPE OF ISLAND. RADIUS SHALL BE AS SHOWN ON LAYOUT PLAN.

LIGHTING STANDARD FOUNDATION TO BE CENTERED ON BAY LINE BETWEEN PARKING STALLS (SEE PLAN FOR LIGHTING STANDARD LOCATIONS)

**90° PARKING**  
(DOUBLE STRIPING - CURBED END)

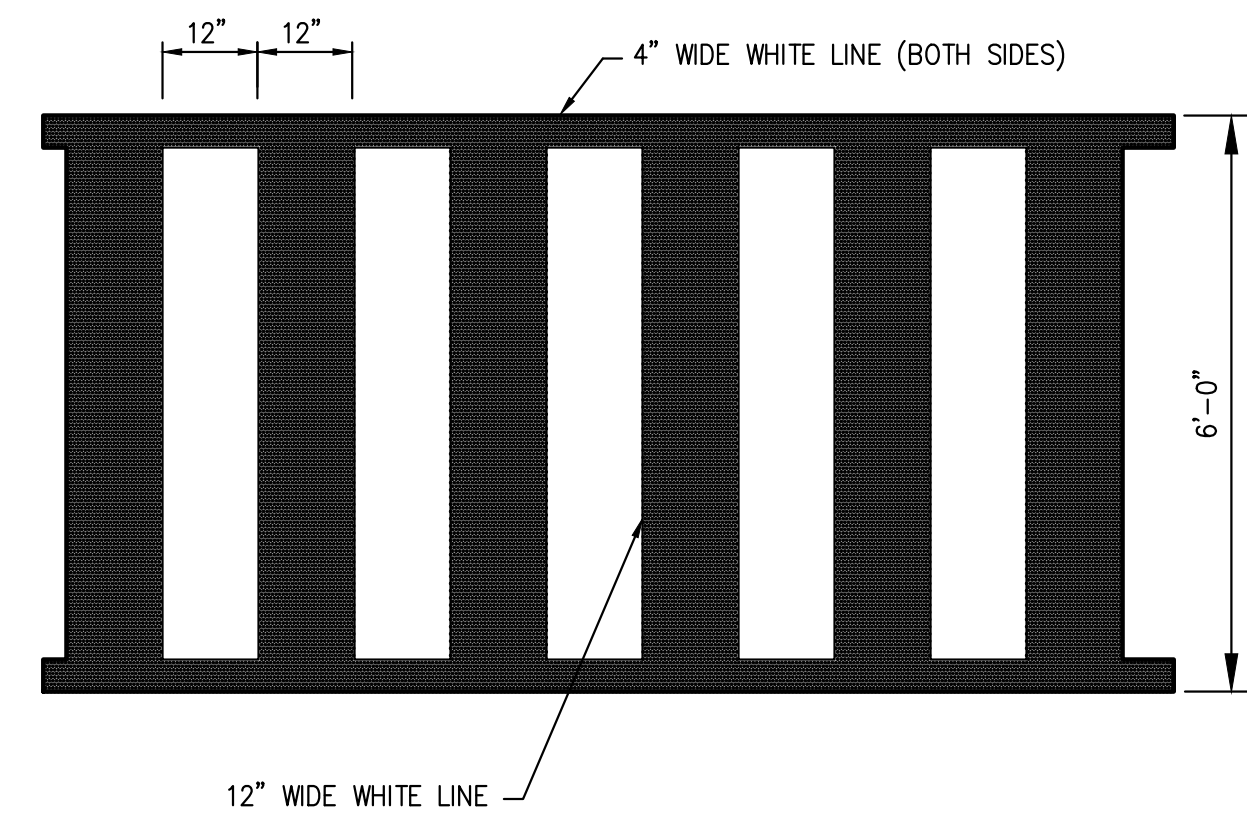
35



NOTE: SLOPES IN HANDICAP PARKING AREAS SHALL NOT EXCEED 2%

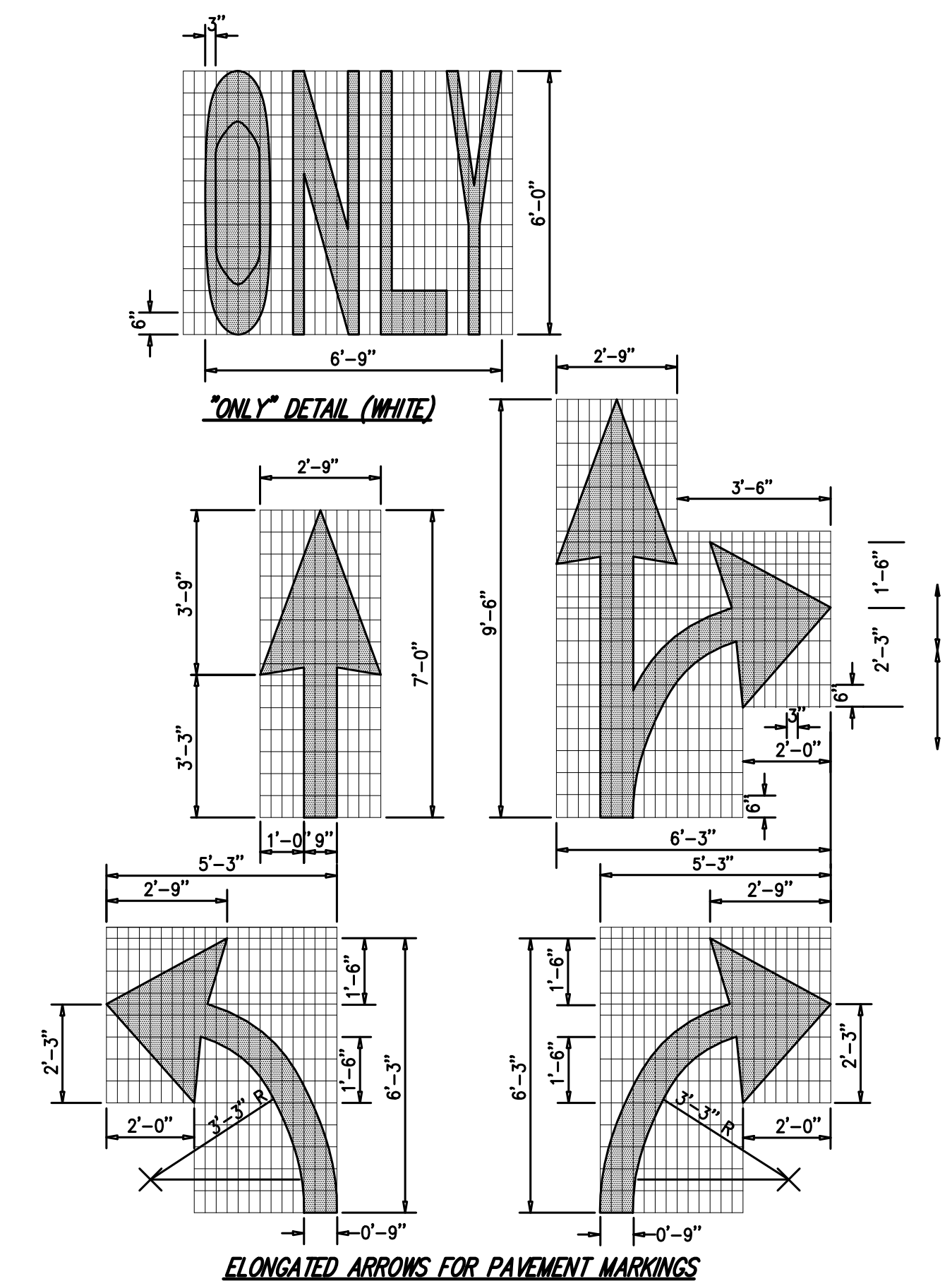
**HANDICAP PARKING**  
(SINGLE STRIPING - CURBLINE ALIGNMENT - W/O SIDEWALK) (NEW YORK)

36



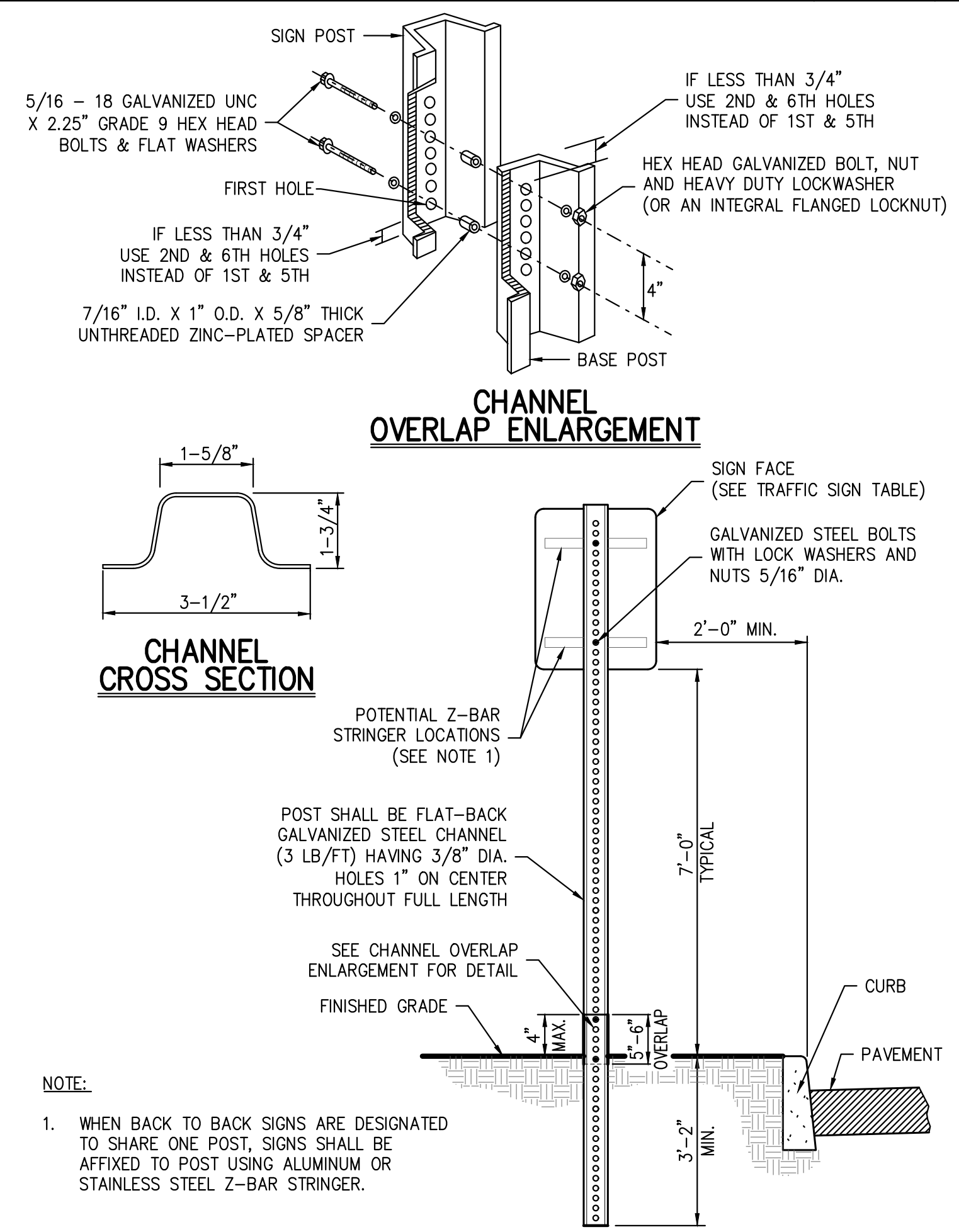
**PEDESTRIAN CROSSING**

37



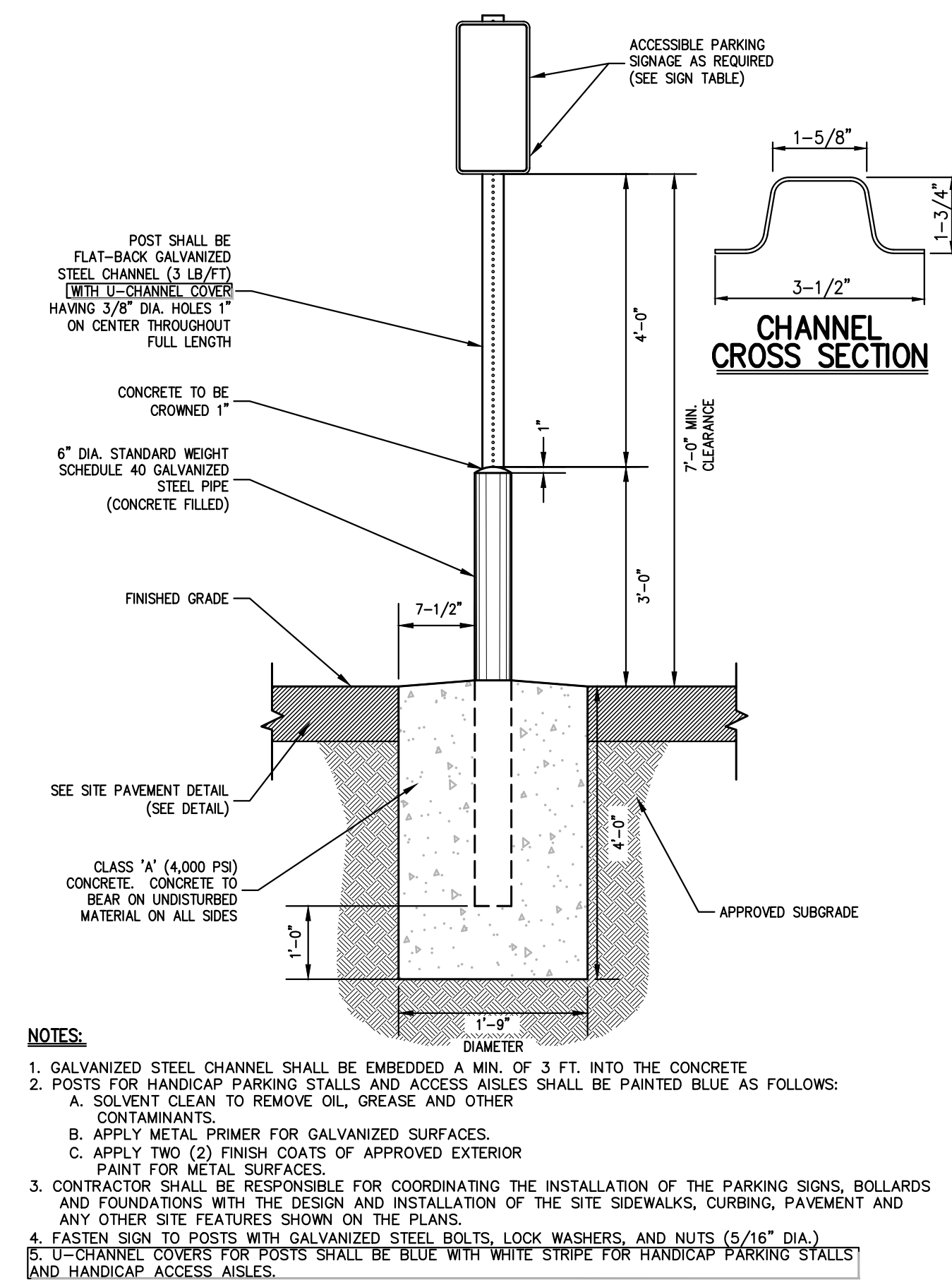
**PAVEMENT TEXT & ARROWS**  
(ON-SITE)

38



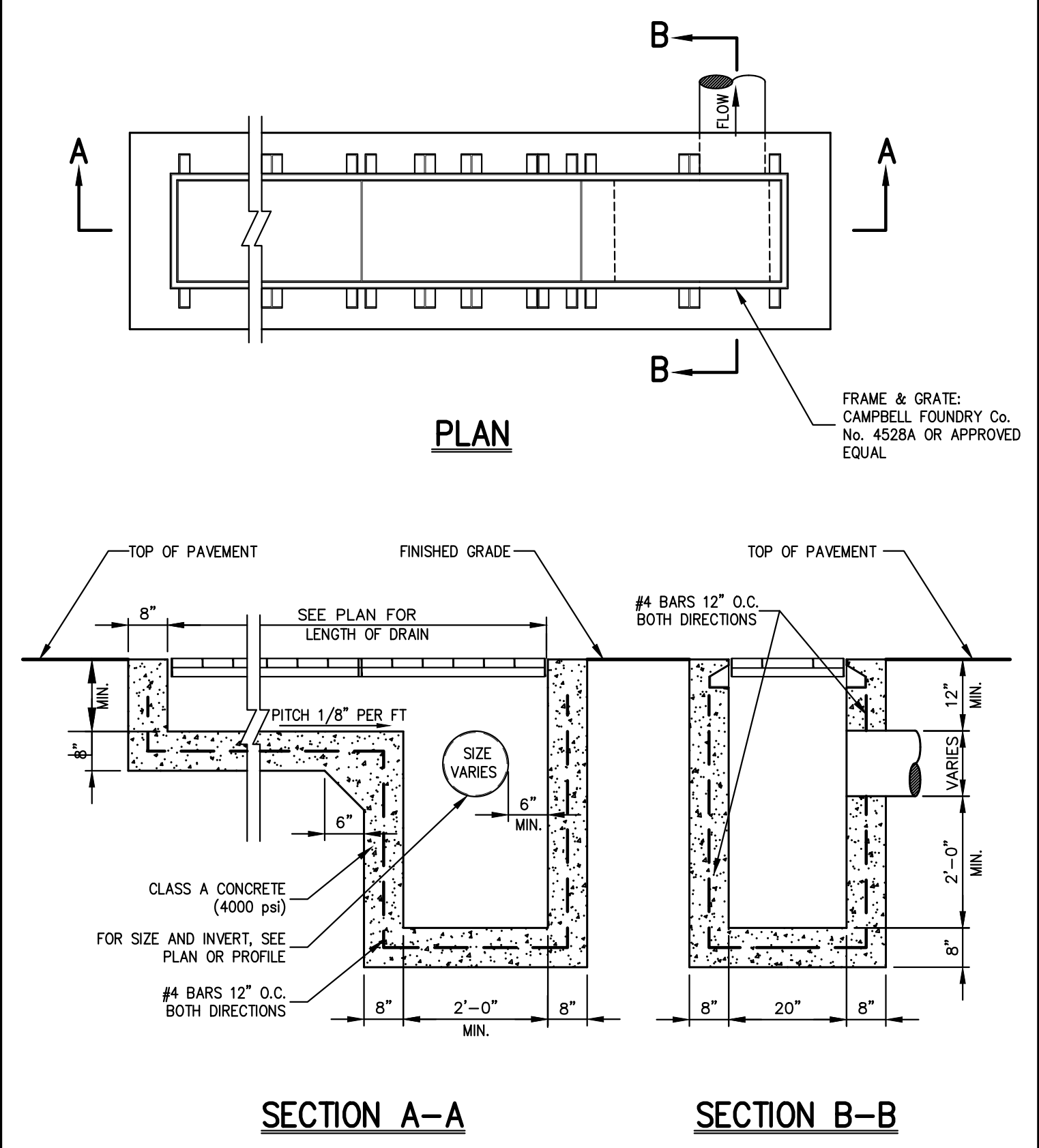
**TRAFFIC SIGN POST**  
(BREAKAWAY STEEL CHANNEL)

39



**ACCESSIBLE PARKING SIGN DETAIL**

40



**TRENCH DRAIN**  
(END OUTLET)

41

NOT FOR CONSTRUCTION

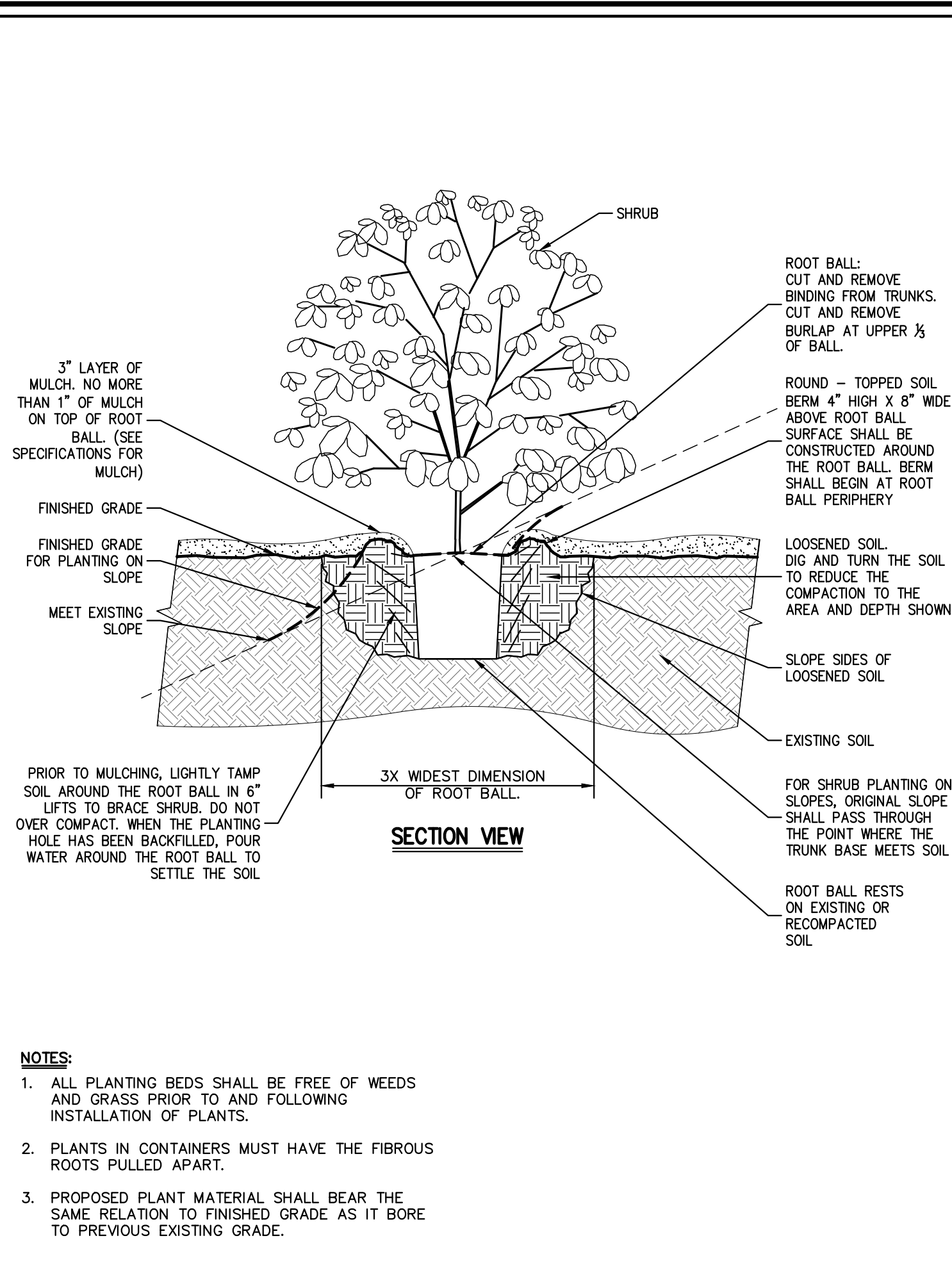
Revision	Date
1. TOWN HIGHWAY DEPARTMENT SUBMISSION	12/15/2020
2. ISSUED FOR BUILDING PERMIT	03/12/2021
3. ISSUE FOR PRICING	03/16/2021
4. STOPWATER PERMIT SUBMISSION	05/25/2021
5. ISSUE FOR UPDATED PRICING	06/11/2021

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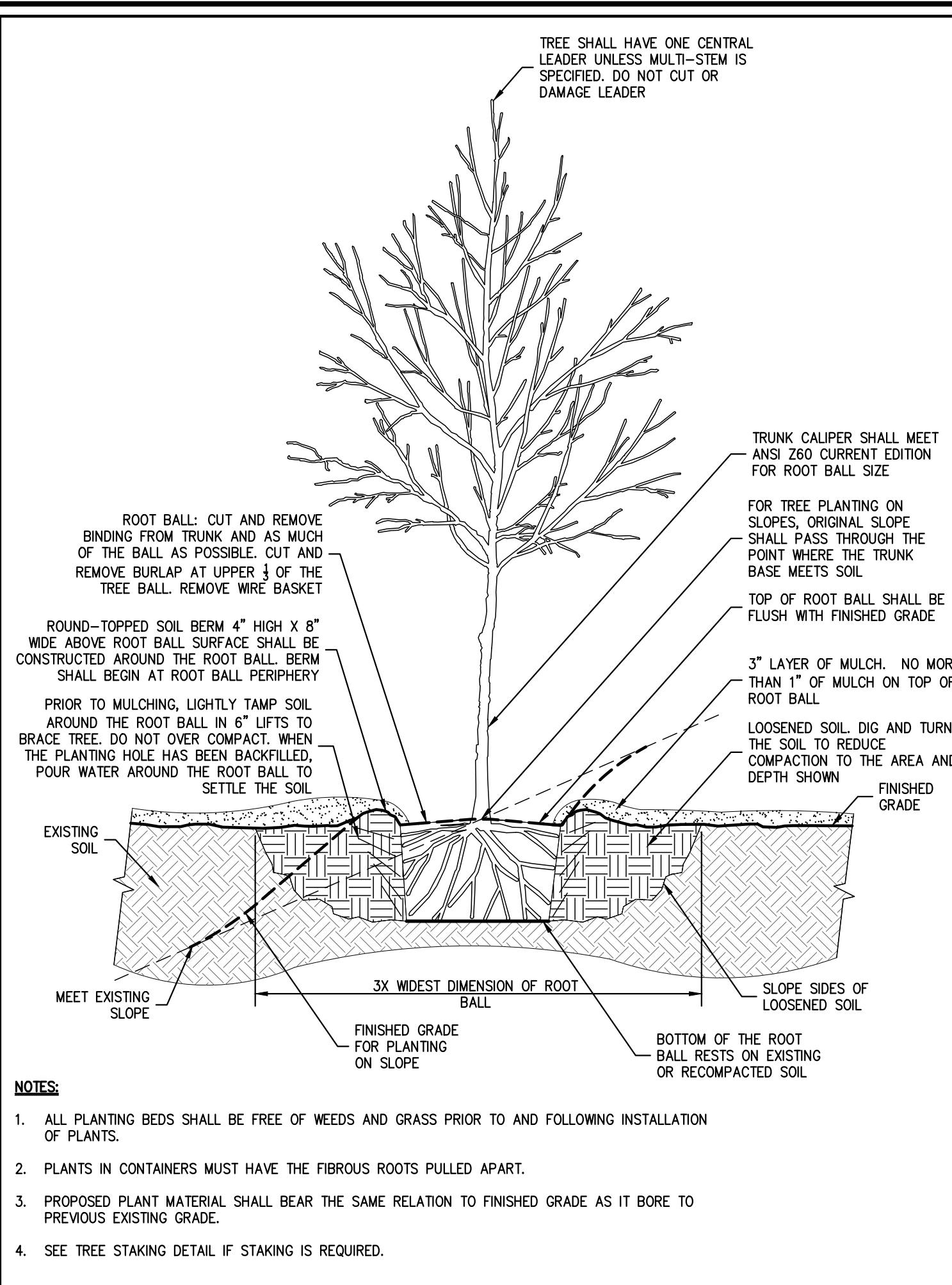
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500 COMMERCE STREET HAWTHORNE, NY 10532

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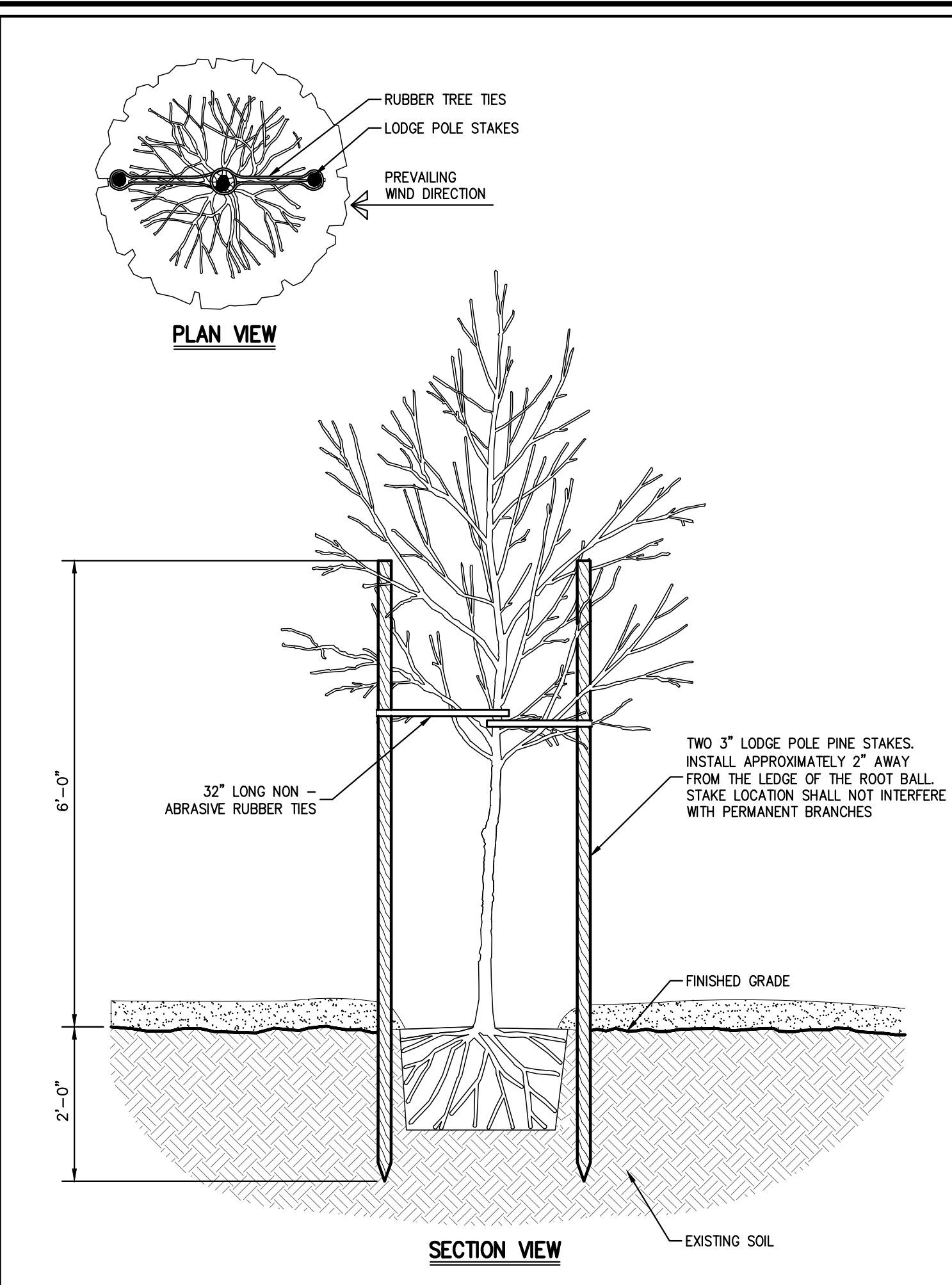
Drawn: JR	Approved: RA
Scale: NOT TO SCALE	
Date: 01/06/2020	
Project No: 18158	
18158-ITEMS C-905	
Drawing No: C-905	



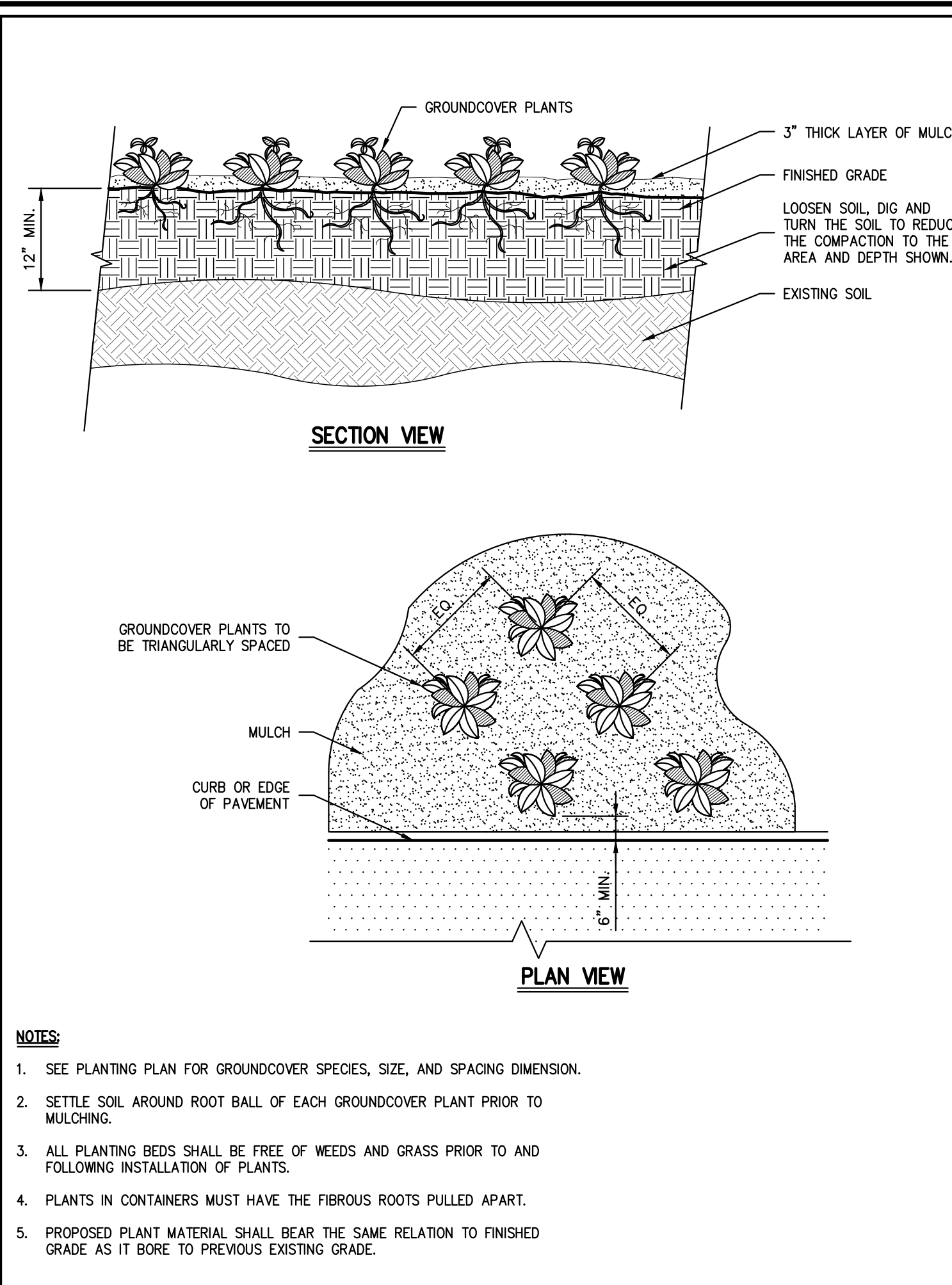
- NOTES:**
1. ALL PLANTING BEDS SHALL BE FREE OF WEEDS AND GRASS PRIOR TO AND FOLLOWING INSTALLATION OF PLANTS.
  2. PLANTS IN CONTAINERS MUST HAVE THE FIBROUS ROOTS PULLED APART.
  3. PROPOSED PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.



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  3. PROPOSED PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.
  4. SEE TREE STAKING DETAIL IF STAKING IS REQUIRED.



- NOTES:**
1. SEE PLANTING PLAN FOR GROUNDCOVER SPECIES, SIZE, AND SPACING DIMENSION.
  2. SETTLE SOIL AROUND ROOT BALL OF EACH GROUNDCOVER PLANT PRIOR TO MULCHING.
  3. ALL PLANTING BEDS SHALL BE FREE OF WEEDS AND GRASS PRIOR TO AND FOLLOWING INSTALLATION OF PLANTS.
  4. PLANTS IN CONTAINERS MUST HAVE THE FIBROUS ROOTS PULLED APART.
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  5. PROPOSED PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.

**SHRUB PLANTING**

**42**

**TREE PLANTING (DECIDUOUS AND EVERGREEN)**

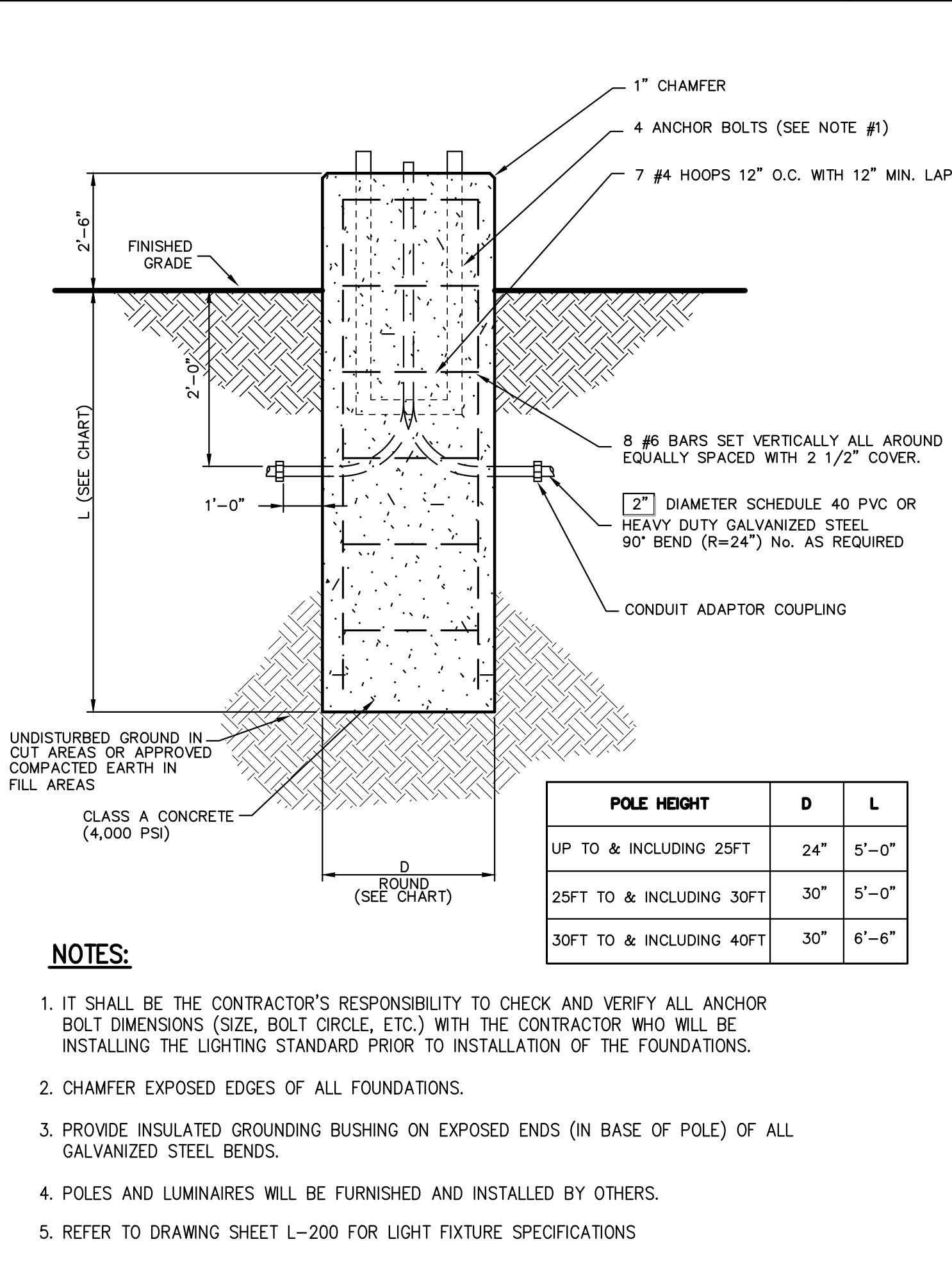
**43**

**TREE STAKING**

**44**

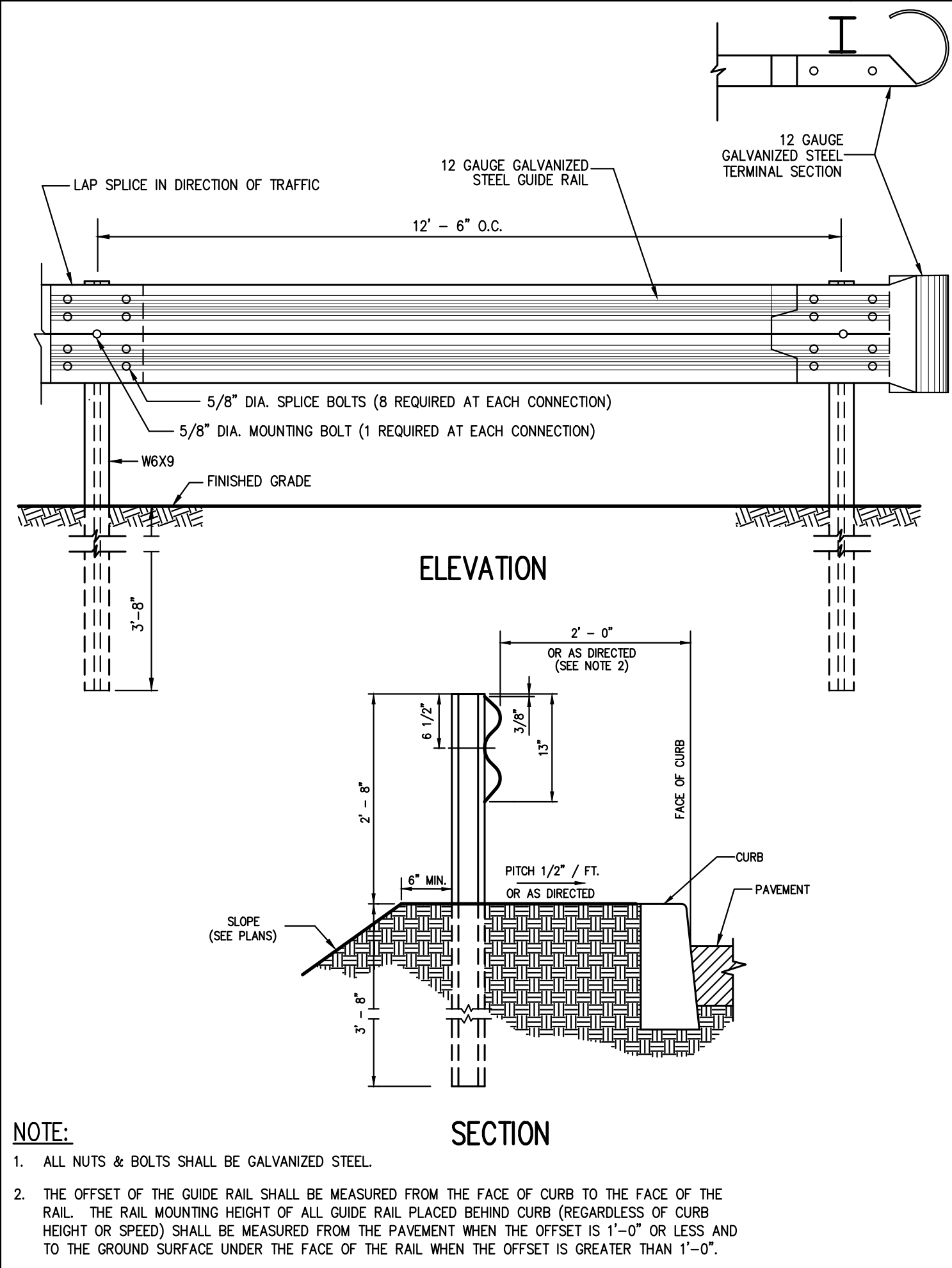
**GROUNDCOVER**

**45**



- NOTES:**
1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL ANCHOR BOLT DIMENSIONS (SIZE, BOLT CIRCLE, ETC.) WITH THE CONTRACTOR WHO WILL BE INSTALLING THE LIGHTING STANDARD PRIOR TO INSTALLATION OF THE FOUNDATIONS.
  2. CHAMFER EXPOSED EDGES OF ALL FOUNDATIONS.
  3. PROVIDE INSULATED GROUNDING BUSHING ON EXPOSED ENDS (IN BASE OF POLE) OF ALL GALVANIZED STEEL BENDS.
  4. POLES AND LUMINAIRES WILL BE FURNISHED AND INSTALLED BY OTHERS.
  5. REFER TO DRAWING SHEET L-200 FOR LIGHT FIXTURE SPECIFICATIONS

POLE HEIGHT	D	L
UP TO & INCLUDING 25FT	24"	5'-0"
25FT TO & INCLUDING 30FT	30"	5'-0"
30FT TO & INCLUDING 40FT	30"	6'-6"



- NOTE:**
1. ALL NUTS & BOLTS SHALL BE GALVANIZED STEEL.
  2. THE OFFSET OF THE GUIDE RAIL SHALL BE MEASURED FROM THE FACE OF CURB TO THE FACE OF THE RAIL. THE RAIL MOUNTING HEIGHT OF ALL GUIDE RAIL PLACED BEHIND CURB (REGARDLESS OF CURB HEIGHT OR SPEED) SHALL BE MEASURED FROM THE PAVEMENT WHEN THE OFFSET IS 1'-0" OR LESS AND TO THE GROUND SURFACE UNDER THE FACE OF THE RAIL WHEN THE OFFSET IS GREATER THAN 1'-0".

**LIGHTING STANDARD FOUNDATION (ROUND)**

**46**

**CORRUGATED STEEL GUIDE RAIL**

**47**

**XX**

**CONSTRUCTION DETAILS**

**XX**

Date: 12/15/2020  
 Revision: 03/12/2021  
 1. TOWN HIGHWAY DEPARTMENT SUBMISSION  
 03/12/2021  
 2. ISSUED FOR BUILDING PERMIT  
 03/16/2021  
 3. ISSUE FOR PRICING  
 05/25/2021  
 4. STORMWATER PERMIT SUBMISSION  
 06/11/2021  
 5. ISSUE FOR UPDATED PRICING

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 HAWTHORNE, NY 10532

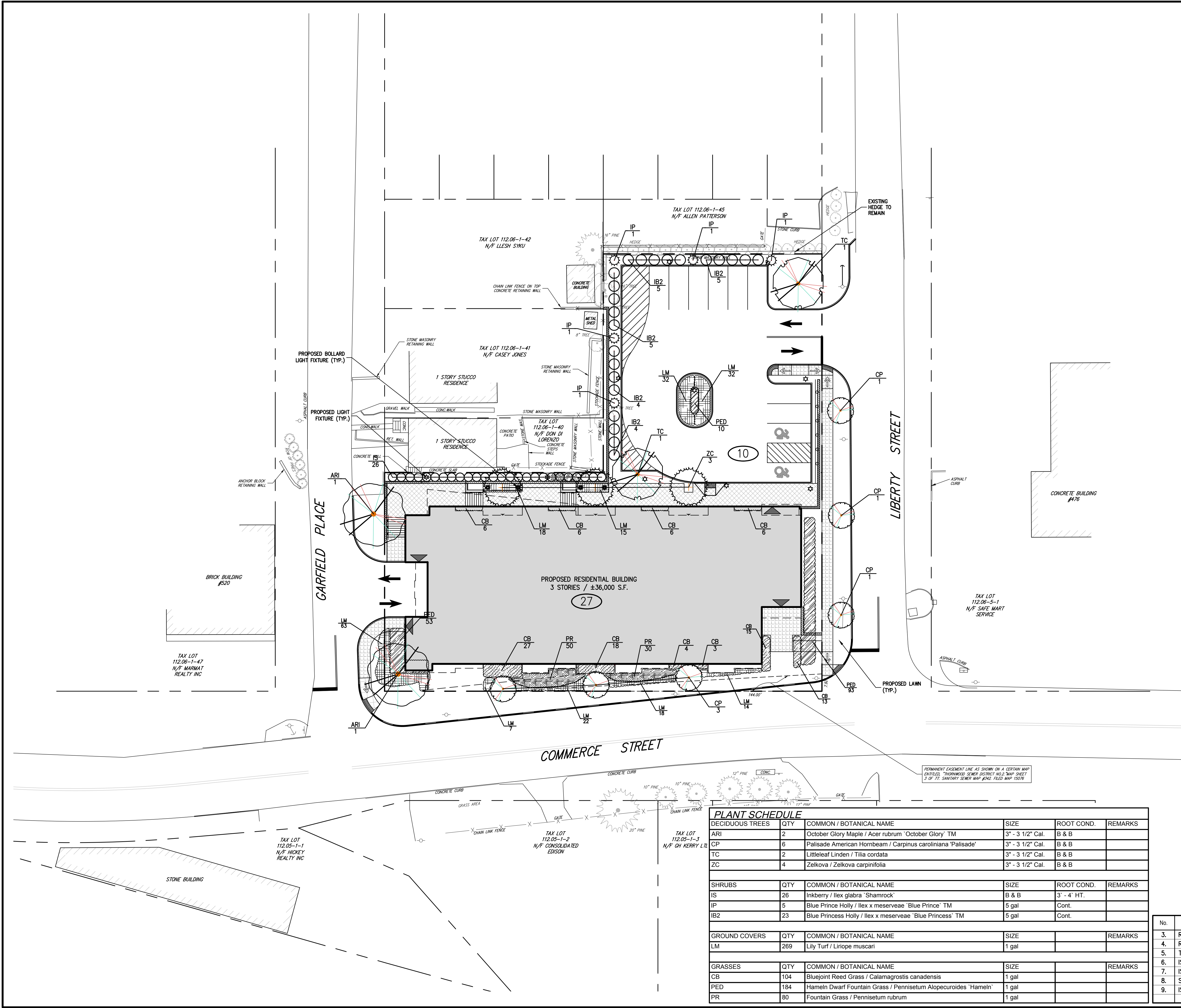
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Drawn: JR Approved: RA  
 Scale: NOT TO SCALE  
 Date: 01/06/2020  
 Project No: 18158  
 1858-RTMS C-906  
 Drawing No: C-906

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PERMANENT EASEMENT LINE AS SHOWN ON A CERTAIN MAP DIVIDED TOWNHOMES SEWER DISTRICT MAP SHEET 3 OF 77 SANITARY SEWER MAP #342, FILED MAP 15076

**LEGEND**

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING SETBACK LINE
- EXISTING BUILDING OVERHANG
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING FENCE
- EXISTING TREE AND DESIGNATION
- EXISTING TREE LINE
- EXISTING DIRECTIONAL ARROWS
- EXISTING PAINT
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED BUILDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED CONCRETE SIDEWALK
- PROPOSED PAVERS
- PROPOSED PAVEMENT
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- TRAFFIC SIGN LOCATION & DESIGNATION
- PROPOSED SHADE TREE
- PROPOSED FLOWERING TREE
- PROPOSED CONIFEROUS TREE
- PROPOSED SHRUBS
- PROPOSED SHRUB MASSING

- NOTES:**
- ALL PLANT MATERIAL SHALL BE FIRST QUALITY STOCK. PLANTED MATERIAL AND METHODS OF INSTALLATION SHALL CONFORM TO THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
  - ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING OR PAVEMENT AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE LAWN.
  - ALL PLANTING BEDS SHALL BE MULCHED WITH 3" OF BROWN MULCH. MULCH SHALL BE CLEAN, NON-DYED, TOXIC FREE, SHREDDED HARDWOOD.
  - PLANT MATERIALS AS SPECIFIED ON THE DRAWINGS AND DELIVERED TO THE SITE SHALL BE NURSERY GROWN AND CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY. SUBSTITUTIONS ARE NOT PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
  - ALL LANDSCAPING SHALL CONTINUE TO BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING, GROWING SEASON.
  - ALL TREES AND SHRUBS SHALL BE PRUNED AND SHAPED AND BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
  - PLANTING STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALE, WINDBURN, ABRASION, AND HARMFUL INSECTS OR INSECT EGGS, AND SHALL HAVE HEALTHY, NORMAL UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM OBJECTIONABLE DISFIGUREMENTS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY VINES AND GROUND COVER PLANTS WELL ESTABLISHED IN REMOVAL CONTAINERS, INTEGRAL CONTAINERS, OR FORMED HOMOGENEOUS SOIL SECTIONS SHALL BE USED. PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
  - ALL STOCK SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, UNLESS OTHERWISE SPECIFIED. BARERoot STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
  - ALL PLANTING BEDS, LAWNS AND LANDSCAPED AREAS SHALL RECEIVE A MINIMUM 4" THICK LAYER OF TOPSOIL, UNLESS OTHERWISE SPECIFIED.

**PLANT SCHEDULE**

DECIDUOUS TREES	QTY	COMMON / BOTANICAL NAME	SIZE	ROOT COND.	REMARKS
ARI	2	October Glory Maple / <i>Acer rubrum</i> 'October Glory'™	3" - 3 1/2" Cal.	B & B	
CP	6	Palisade American Hornbeam / <i>Carpinus caroliniana</i> 'Palisade'	3" - 3 1/2" Cal.	B & B	
TC	2	Littleleaf Linden / <i>Tilia cordata</i>	3" - 3 1/2" Cal.	B & B	
ZC	4	Zelkova / <i>Zelkova carpinifolia</i>	3" - 3 1/2" Cal.	B & B	
SHRUBS	QTY	COMMON / BOTANICAL NAME	SIZE	ROOT COND.	REMARKS
IS	26	Inkberry / <i>Ilex glabra</i> 'Shamrock'	B & B	3" - 4" HT.	
IP	5	Blue Prince Holly / <i>Ilex x meserveae</i> 'Blue Prince'™	5 gal	Cont.	
IB2	23	Blue Princess Holly / <i>Ilex x meserveae</i> 'Blue Princess'™	5 gal	Cont.	
GROUND COVERS	QTY	COMMON / BOTANICAL NAME	SIZE	REMARKS	
LM	269	Lily Turf / <i>Liriope muscari</i>	1 gal		
GRASSES	QTY	COMMON / BOTANICAL NAME	SIZE	REMARKS	
CB	104	Bluejoint Reed Grass / <i>Calamagrostis canadensis</i>	1 gal		
PED	184	Hamel Dwarf Fountain Grass / <i>Pennisetum Alopecuroides</i> 'Hamel'	1 gal		
PR	80	Fountain Grass / <i>Pennisetum rubrum</i>	1 gal		

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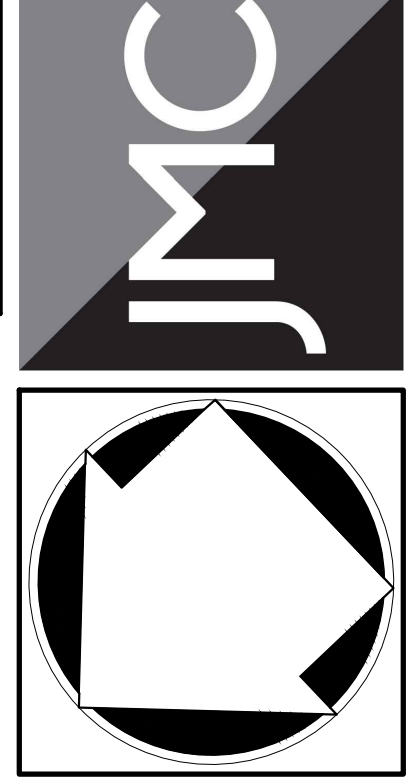
No.	Revision	Date	By
3.	REVISED PER TOWN ENGINEER COMMENTS	10/01/2019	TK
4.	REVISED PER TOWN ENGINEER COMMENTS	12/13/2019	JJ
5.	TOWN HIGHWAY DEPARTMENT SUBMISSION	12/15/2020	JJ
6.	ISSUED FOR BUILDING PERMIT	03/12/2021	JJ
7.	ISSUE FOR PRICING	03/16/2021	JJ
8.	STORMWATER PERMIT SUBMISSION	05/25/2021	JJ
9.	ISSUE FOR UPDATED PRICING	06/11/2021	JJ

*Previous Editions Obsolete*

APPLICANT/OWNER:  
**500 COMMERCE LLC**  
 3 WEST STEVENS AVENUE  
 HAWTHORNE, NY 10532

ARCHITECT:  
**DIMOVSKI ARCHITECTURE PLLC**  
 59 KENSICO ROAD  
 THORNTON, NY 10594

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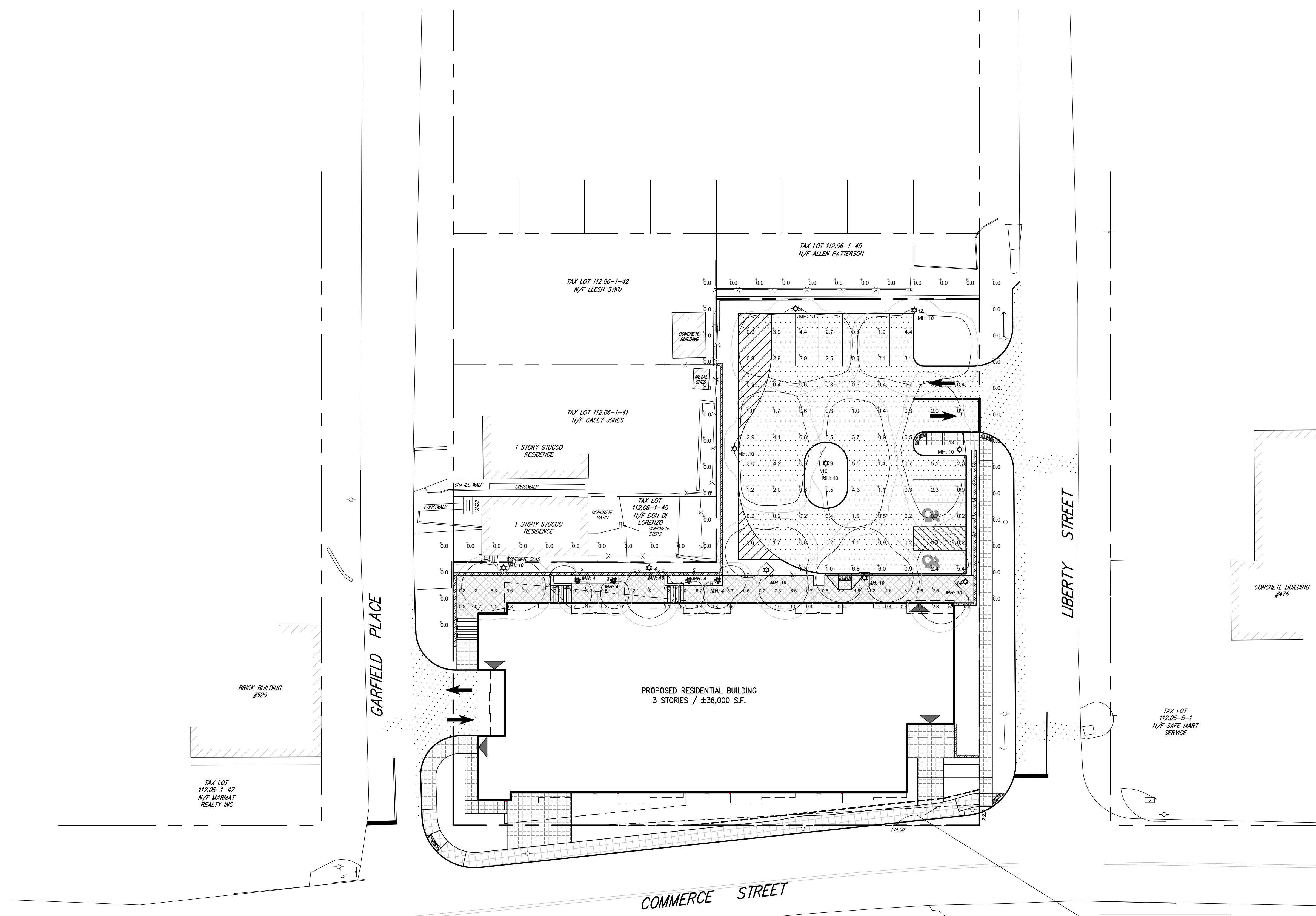


**LANDSCAPE PLAN**  
**500 COMMERCE STREET REDEVELOPMENT**  
 500 COMMERCE STREET  
 HAWTHORNE, NY 10532

Drawn: JJ Approved: RA  
 Scale: 1" = 20'  
 Date: 01/16/2019  
 Project No: 18158  
 18158-LND L-100 LAND-PRJ.sxd  
 Drawing No: **L-100**

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**LEGEND**

- EXISTING UTILITY POLE
- ☆ EXISTING LIGHT POLE
- ★ PROPOSED LIGHTING STANDARD (DESIGN BY OTHERS)
- PROPOSED BOLLARD LIGHTING STANDARD
- 0.1 PROPOSED ILLUMINANCE IN FOOT-CANDELS
- [Symbol] PROPOSED STANDARD LIGHTING AND ISOLUX PATTERNS
- EXISTING FEATURE TO BE REMOVED

- NOTES:**
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES TO BE DEMOLISHED AND ALL EXISTING UTILITIES TO REMAIN AND BE PROTECTED. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER, THE GENERAL CONTRACTOR AND THE SITE ENGINEER.
  - THE LIGHTING PATTERNS DEPICTED ON THIS PLAN REPRESENT ILLUMINATION LEVELS CALCULATED UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.
  - ELECTRIC, TELE/COMM, SECURITY AND SITE LIGHTING LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
  - ALL CABLES AND WIRING SHALL BE INSTALLED UNDERGROUND IN CONDUIT. CONDUIT SHALL BE SCHEDULE 40 PVC CONDUIT INSTALLED WITH TWO (2) FEET OF COVER. MINIMUM SIZE OF CONDUIT SHALL BE TWO (2) INCH DIAMETER.
  - ANY AND ALL DAMAGE TO THE EXISTING IRRIGATION SYSTEM DURING CONSTRUCTION SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER AND SHALL BE REPAIRED IN-KIND AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.
  - LIGHTING CALCULATIONS SHOWN HEREON WERE PREPARED BY SELUX, DATED 12/13/2019.
  - REFER TO THE TABLES BELOW BASED FOR CORRESPONDING LABELS ON PLAN FOR FIXTURE SPECIFICATIONS. UNDER LUMINAIRE LOCATION SUMMARY COLUMN Z EQUATES TO FIXTURE MOUNT HEIGHT.

**Luminaire Location Summary**

LumNo	Label	Z
1	ICL-X-2Q90-XX-XX-30-XX-UNV	10
2	IBL-X-2Q90-30-XX-UNV	4
3	IBL-X-1Q-30-XX-UNV	4
4	ICL-X-1Q-XX-XX-30-XX-UNV	10
5	IBL-X-1Q-30-XX-UNV	4
6	IBL-X-2Q90-30-XX-UNV	4
7	U5-R4-S1-5G350-30-UNV-HS	10
8	ICL-X-3Q-XX-XX-30-XX-UNV	10
9	U5-R4-S1-5G350-30-UNV-HS	10
10	U5-R3-S1-5G350-30-UNV-HS	10
11	ICL-X-3Q-XX-XX-30-XX-UNV	10
12	U5-R4-S1-5G350-30-UNV-HS	10
13	U5-R2-S1-5G350-30-UNV-HS	10
14	ICL-X-2Q90-XX-XX-30-XX-UNV	10

**Calculation Summary**

Label	CalcType	Units	Max	Min	Avg	Avg/Min	Max/Min
1_Parking and Roadway Area	Illuminance	Fc	6.8	0.2	1.60	8.00	34.00
2_Walkway Areas	Illuminance	Fc	8.2	0.2	2.23	11.15	41.00
3_Perimeter (fade-to-zero) Grid	Illuminance	Fc	0.0	0.0	0.00	N.A.	N.A.

**Luminaire Schedule**

Symbol	Qty	Label	Arrangement	LLF	Description
[Symbol]	2	IBL-X-1Q-30-XX-UNV	SINGLE	0.800	Inula Bollard LED, 1Q (7.6W), 3000K
[Symbol]	2	IBL-X-2Q90-30-XX-UNV	SINGLE	0.800	Inula Bollard LED, 2Q90 (14W), 3000K
[Symbol]	1	ICL-X-1Q-XX-XX-30-XX-UNV	SINGLE	0.800	Inula Column LED, 1Q (15.2W), 3000K
[Symbol]	2	ICL-X-2Q90-XX-XX-30-XX-UNV	SINGLE	0.800	Inula Column LED, 2Q90 (28.5W), 3000K
[Symbol]	2	ICL-X-3Q-XX-XX-30-XX-UNV	SINGLE	0.800	Inula Column LED, 3Q (42W), 3000K
[Symbol]	1	U5-R2-S1-5G350-30-UNV-HS	SINGLE	0.800	Ouray 500 LED, Type II, S1 Arm, 5G350 (44W), 3000K, House Shield
[Symbol]	1	U5-R3-S1-5G350-30-UNV-HS	SINGLE	0.800	Ouray 500 LED, Type III, S1 Arm, 5G350 (44W), 3000K, House Shield
[Symbol]	3	U5-R4-S1-5G350-30-UNV-HS	SINGLE	0.800	Ouray 500 LED, Type IV, S1 Arm, 5G350 (44W), 3000K, House Shield

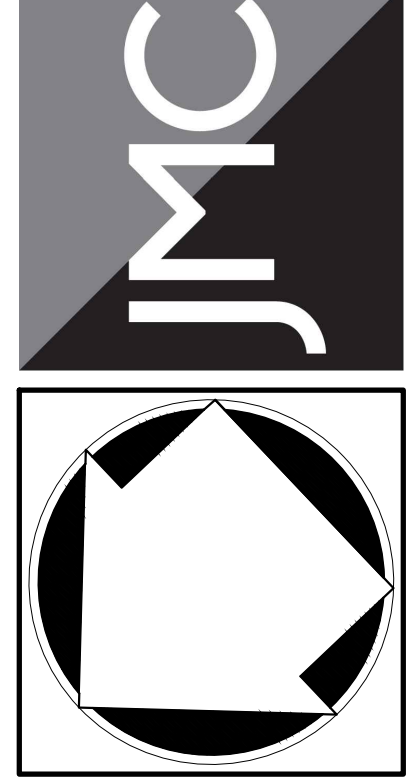
No.	Revision	Date	By
1.	PLANNING BOARD SUBMISSION	06/06/2019	JJ
2.	REVISED PER TOWN ENGINEER COMMENTS	12/13/2019	JJ
3.	TOWN HIGHWAY DEPARTMENT SUBMISSION	12/15/2020	JJ
4.	ISSUED FOR BUILDING PERMIT	03/12/2021	JJ
5.	ISSUE FOR PRICING	03/16/2021	JJ
6.	STORMWATER PERMIT SUBMISSION	05/25/2021	JJ
7.	ISSUE FOR UPDATED PRICING	06/11/2021	JJ

Previous Editions Obsolete

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**LIGHTING PLAN**

**500 COMMERCE STREET REDEVELOPMENT**  
 500 COMMERCE STREET  
 HAWTHORNE, NY 10532

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn: JJ Approved: RA

Scale: 1" = 20'

Date: 06/06/2019

Project No: 18158

1815-LND L-200 UGH-PH2.dwg

Drawing No: **L-200**