1 03/12/2025 BID ADDENDUM No. 3

BEDFORD CENTRAL DISTRICT

DISTRICT ADMINISTRATION OFFICES

632 SOUTH BEDFORD ROAD, BEDFORD, NY 10506

PHASE 2 - BOND IMPROVEMENTS

AT

FOX LANE HIGH SCHOOL

632 SOUTH BEDFORD ROAD,
BEDFORD, NY 10506
SED No.: 66-01-02-06-0-003-024 (23-131a)

FOX LANE MIDDLE SCHOOL

SOUTH BEDFORD ROAD
BEDFORD, NY 10506
SED No.: 66-01-02-06-0-007-013 (23-131b)

ADMINISTRATION BUILDING

632 SOUTH BEDFORD ROAD
BEDFORD, NY 10506
SED No.: 66-01-02-06-1-008-014 (23-131c)

VOLUME II OF II

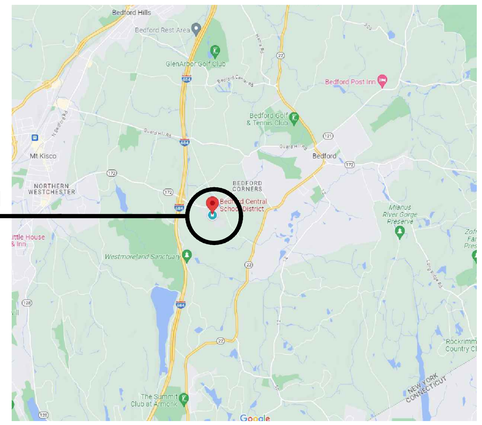
FOX LANE HIGH SCHOOL

FOX LANE HIGH SCHOOL (CONT.)

FOX LANE MIDDLE SCHOOL

ADMINISTRATION BUILDING

LOCATION MAP



PROJECT LOCATION

MAP DATA ©GOOGLE

BBS ARCHITECTS
LANDSCAPE ARCHITECTS
ENGINEERS

244 EAST MAIN STREET I PATCHOGUE I NEW YORK 11772 I T. 631.475.0349 I F. 631.475.0361
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www.BBSARCHITECTURE.COM

ARCHITECTS CERTIFICATION
THE UNDERSIGNED CERTIFIES THAT TO THE BEST OF HIS KNOWLEDGE, INFORMATION, AND BELIEF, THE PLANS AND SPECIFICATIONS ARE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE, THE CONSTRUCTION STANDARDS OF THE EDUCATION DEPARTMENT, NEW YORK STATE DEPARTMENT OF LABOR RULE 56, EPA AND AHERA REQUIREMENTS.

LAWRENCE SALVESEN, A.I.A. LIC. No. 020623

BBS FILE No. 23-131 a-c
BID PACKAGE No. 1: FEBRUARY 24, 2025
CONFORMED SET

BBS PROJECT 23-131B - DWG. CS0.01 FLMS TOPOGRAPHIC SURVEY

+ ..... INDICATES SPOT ELEVATION
t.c. ..... TOP CURB
b.c. ..... BOTTOM CURB
t.w. ..... TOP WALL
b.w. ..... BOTTOM WALL
b.o.b. ..... BOTTOM OF BANK
t.o.b. ..... TOP OF BANK
F.F. ..... FINISHED FLOOR
S.M.R.W. ..... STONE MASONRY RETAINING WALL
S.R.W. ..... STONE RETAINING WALL
C.B.R.W. ..... CONC. BLOCK RETAINING WALL
C.R.W. ..... CONC. RETAINING WALL
LEADER DRAIN
2'x 4' STORM DRAIN
CATCH BASIN (TYP.)
4'x 4' STORM DRAIN
2'x 2' DRAIN INLET
1'x 1' DRAIN INLET
D.C. ..... DROP CURB
I.C.B ..... IRRIGATION CONTROL BOX
I.C.V. ..... IRRIGATION CONTROL VALVE
FIRE HYDRANT
WATER SHUT OFF VALVE
MANHOLE (COMMUNICATIONS)
CABLE BOX
STORM DRAIN
MANHOLE (DRAINAGE)
MANHOLE (ELEC. CON ED)
MANHOLE (TYPE UNKNOWN)
MANHOLE (SEWER)
SEWER CLEANOUT
MANHOLE (WATER)
PARKING BOLLARDS
MONITORING WELL
UTILITY POLE
UTILITY POLE W/ GUY WIRE
LIGHT POLE
LIGHT FIXTURE
GAS VALVE
ELECTRICAL OUTLET
CHAIN LINK FENCE
TRAFFIC SIGNS
PORTABLE TOILET (RESTROOM)
TRASH DUMPSTER
DECIDUOUS TREE
EVERGREEN TREE
EDGE OF WOODED AREA / BRUSH
HANDICAP SPACE

Abbreviations & Symbols

No.	Revision/Issue	Date
1		

North Direction

N

Firm Name and Address

Link Land Surveyors P.C.
21 Clark Place, Suite 1-B
Mahopac, NY 10541
Phone 845-628-5857
Fax 845-621-0013

ERIK J. LINK
NEW YORK STATE LICENSED
LAND SURVEYOR NO. 050542

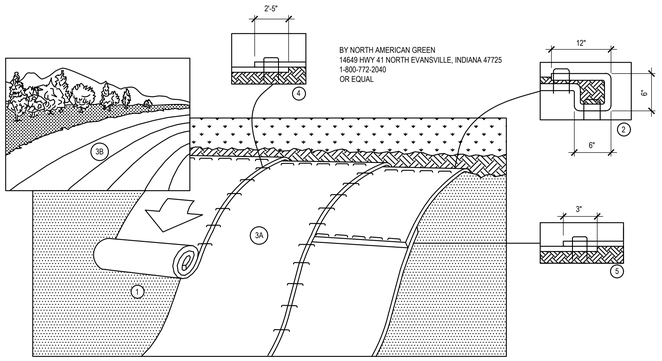
UNDERGROUND UTILITIES MARK-OUT BY
ENVIROPROBE SERVICES, INC.
81 Marter Avenue, Laurel, N.J.
(856) 858-8584 (800) 596-7472

ENVIROPROBE SERVICE INCORPORATED

FOX LANE HIGH SCHOOL
&
FOX LANE MIDDLE SCHOOL

632 South Bedford Rd, Bedford, NY 10506

Project	RKL JOB # 9241
Date	JUNE 21, 2023
Scale	1inch = 80 feet
Sheet	5



INSTALLATION

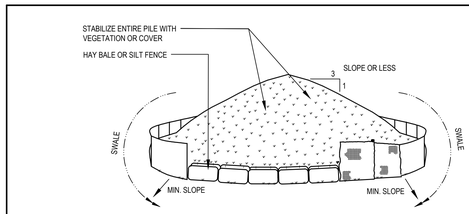
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15CM) DEEP X 6" (15CM) WIDE TRENCH WITH APPROXIMATELY 12" (30CM) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30CM) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES / STAKES SPACED APPROXIMATELY 12" (30CM) APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES / STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES / STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" (5CM-12.5CM) OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30CM) APART ACROSS ENTIRE BLANKET WIDTH.

NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWINGS.
3. IN LOOSE SOIL CONDITIONS THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15CM) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

5 EROSION CONTROL BLANKETS

SCALE: N.T.S.



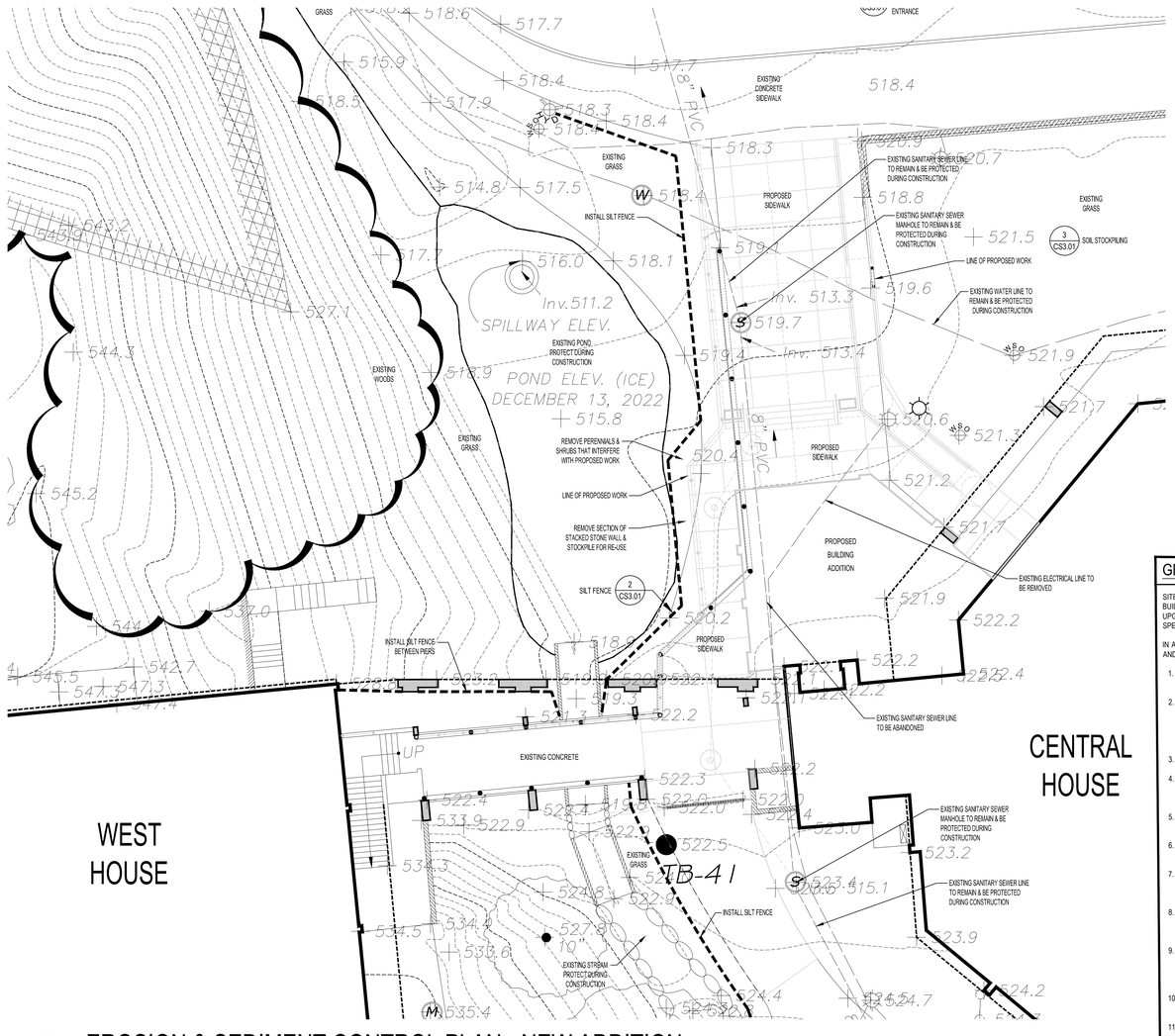
INSTALLATION NOTES

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE. STOCKPILES SHALL BE LOCATED A MINIMUM OF 50 FT. FROM STORMWATER FLOWS AND INLETS.
2. WIND EROSION CONTROL PRACTICES SHALL BE USED ON ALL STOCKPILES AS APPROPRIATE.
3. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:3.
4. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES. THEN STABILIZED WITH VEGETATION OR COVERED.
5. SILT FENCE SHALL BE BURIED (6) SIX INCHES AT BASE.

SYMBOL ON PLAN

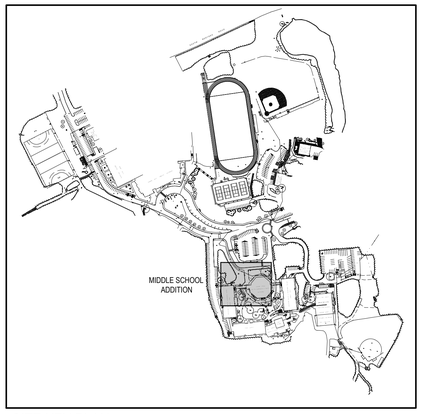
4 SOIL STOCKPILING

SCALE: N.T.S.



1 EROSION & SEDIMENT CONTROL PLAN - NEW ADDITION

SCALE: 1"=10'-0"



SITE KEY PLAN

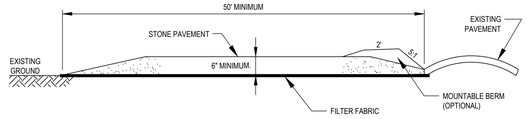
SCALE: NTS

GENERAL NOTES - EROSION & SEDIMENT CONTROL

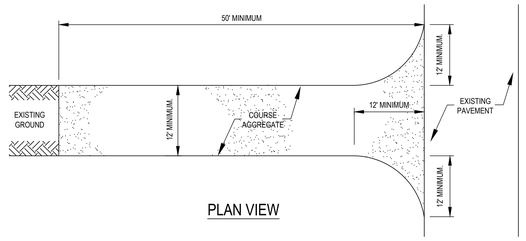
SITE DESCRIPTION: THE PROJECT CONSTRUCTION ACTIVITY INCLUDES THE CLEARING, GRADING, STABILIZATION AND CONSTRUCTION OF BUILDING ADDITION & RELATED SITE IMPROVEMENTS ALONG WITH THE ASSOCIATED STORM DRAINAGE COLLECTION SYSTEM AND PUBLIC UPGRADES REQUIRED FOR SUSTAINABILITY. ALL IMPROVEMENT TO CONFORM WITH STATE, COUNTY AND LOCAL STANDARDS AND SPECIFICATIONS.

IN ACCORDANCE WITH THE PROVISIONS OF THE NYSDEC GENERAL STORMWATER PERMIT, STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL MEASURES INCLUDING, BUT NOT LIMITED TO THE FOLLOWING SHALL BE EMPLOYED DURING CONSTRUCTION.

1. EXISTING VEGETATION TO REMAIN SHALL BE PROTECTED (BY INSTALLATION OF CONSTRUCTION FENCE OR OTHER APPROVED MEANS) AND SHALL REMAIN UNDISTURBED.
2. CLEARING AND GRADING SHALL BE SCHEDULED SO AS TO MINIMIZE THE EXTENT OF PROPOSED AREAS AND THE LENGTH OF TIME THAT AREAS ARE EXPOSED, GRADED OR STRIPPED. AREAS SHALL BE KEPT STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AS REQUIRED. SEED MIXTURES SHALL BE IN ACCORDANCE WITH SOIL CONSERVATION SERVICE RECOMMENDATIONS. IN AREAS WHERE SOIL DISTURBANCE HAS TEMPORARILY OR PERMANENTLY CEASED, TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES SHALL BE INSTALLED AND/OR IMPLEMENTED WITHIN SEVEN DAYS.
3. THE LENGTH AND STEEPNESS OF CLEARED SLOPES SHALL BE DIVERTED AWAY FROM CLEARED SLOPES.
4. SEDIMENT SHALL BE TRAPPED ON THE SITE AND NOT PERMITTED TO ENTER ADJACENT PROPERTIES OR PUBLIC ROADS OR DRAINAGE SYSTEMS. SEDIMENT BARRIERS SHALL BE INSTALLED ALONG THE LIMITS OF DISTURBANCE PRIOR TO THE START OF CONSTRUCTION AND SHALL BE MAINTAINED UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED.
5. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED TO PREVENT SOIL AND LOOSE DEBRIS FROM BEING TRACKED ONTO LOCAL ROADS. THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED
6. ALL RUNOFF SHALL BE RETAINED ON-SITE IN ACCORDANCE WITH LOCAL REGULATIONS AND APPROVALS. DRAINAGE INLETS INSTALLED ON-SITE SHALL BE PROTECTED FROM SEDIMENT BUILDUP THROUGH THE USE OF APPROPRIATE INLET PROTECTION.
7. THE FOLLOWING MEANS SHALL BE USED TO CONTROL DUST DURING CONSTRUCTION: A WATER DOWN ACCESS WAYS, STOCKPILES, AND MATERIAL PRIOR TO LOADING: B. LIMIT ON SITE VEHICULAR SPEEDS TO 5 MPH: C. PROPERLY COVER TRUCKS CARTING LOOSE MATERIAL AND CONSTRUCTION DEBRIS.
8. SEDIMENT BARRIERS AND OTHER EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL UPLAND DISTURBED AREAS ARE PERMANENTLY STABILIZED. FOLLOWING PERMANENT STABILIZATION, PAVED AREAS SHALL BE CLEANED OF SOIL AND DEBRIS AND DRAINAGE SYSTEMS SHALL BE CLEANED AND FLUSHED AS NECESSARY.
9. PROPER MAINTENANCE OF EROSION CONTROL MEASURES IS TO BE PERFORMED AS INDICATED BY PERIODIC INSPECTION AND AFTER HEAVY OR PROLONGED STORMS. MAINTENANCE MEASURES ARE TO INCLUDE, BUT NOT BE LIMITED TO CLEANING OF RECHARGE BASINS, SEDIMENT TRAPS AND DRYWELLS, CLEANING AND REPAIR OF SEDIMENT BARRIERS, REPAIR OF BERMS AND RUNOFF DIVERTERS, AND CLEANING AND REPAIR OF INLET PROTECTION DEVICES.
10. DURING CONSTRUCTION THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL REGULATIONS CONCERNING THE DISPOSAL OF SOLID WASTE AND DEBRIS AND TOXIC AND HAZARDOUS WASTE AS WELL AS SANITARY SEWER AND SEPTIC SYSTEM REGULATIONS.
11. CONCRETE WASH-OUT OF READY-MIX TRUCKS SHOULD NOT BE PERMITTED AT THIS SITE. APPROPRIATE CONCRETE WASHOUT TO BE PROVIDED, IF PERMITTED.
12. UNLESS OTHERWISE DIRECTED BY THE OWNER THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE NECESSARY RECORDS OF CONSTRUCTION ACTIVITIES, PREPARATION OF INSPECTION REPORTS, AND REPORTING RELEASE OF POLLUTANTS TO THE PROPER AUTHORITIES AS NECESSARY TO COMPLY WITH THE NYSDEC GENERAL STORMWATER PERMIT. THE CONTRACTOR SHALL REPORT ANY REQUIRED MODIFICATIONS TO THE ESC PLAN NECESSITATED BY FIELD CONDITIONS OR CONSTRUCTION ACTIVITIES TO THE ENGINEER FOR REVISION OF THE SWPPP WHERE APPROPRIATE.



PROFILE



PLAN VIEW

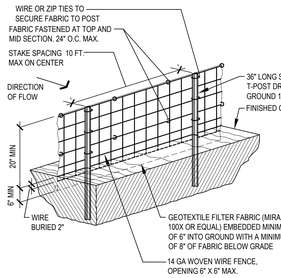
CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 2 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELEVE (12) FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

SCE SYMBOL ON PLAN

3 STABILIZED CONSTRUCTION ENTRANCE (S.C.E)

SCALE: N.T.S.



CONSTRUCTION SPECIFICATIONS

1. SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE GROUND COVER IS REMOVED, CLEARING, GRUBBING, AND STUMPING CAN OCCUR BEFORE SILT FENCE INSTALLATION IF GROUND COVER IS NOT REMOVED.
2. WHERE POSSIBLE, SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
3. A RUN OF SILT FENCE SHOULD FOLLOW THE CONTOUR AS CLOSE AS POSSIBLE WITH THE ENDS TURNED UPSLOPE TO POND WATER BEHIND THE FENCE.
4. THE STAKES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE GEOTEXTILE.
5. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW).
6. WHERE TWO SILT FENCE SECTIONS ARE COMBINED INTO ONE RUN THE END STAKES SHALL BE CONNECTED TOGETHER, NOT SIMPLY OVERLAPPED.
7. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE :
   - AN ADDITIONAL RUN OF SILT FENCE SHALL BE PLACED UPSTREAM
   - THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED.
   - ACCUMULATED SEDIMENT SHALL BE REMOVED
   - OTHER PRACTICES SHALL BE IMPLEMENTED.
8. THE CONTRACTOR SHALL SUBMIT TECHNICAL DATA FROM MANUFACTURER STATING THAT IT MEETS THE SPECIFICATIONS IN PROJECT MANUAL SECTION

GRAB TENSILE STRENGTH 90 LBS ASTM D 4632
GRAB TENSILE ELONGATION 50% ASTM D 4632
TRAPEZOID TEAR STRENGTH 50 LBS ASTM D 4533
MULLEN BURST STRENGTH 225 PSI ASTM D 3786
CBR PUNCTURE STRENGTH 406 LBS AS 3706.4-2001
UV RESISTANT AFTER 500 HOURS 70 % ASTM D 4355
APPARENT OPENING SIZE 70 US SIEVE ASTM D 4751
PERMITTIVITY 1.8 SEC ASTM D 4491
PERMEABILITY 0.21 CM/SEC ASTM D 4491
FLOW RATE 135 GAL/MIN/FT SQUARED ASTM D 4491

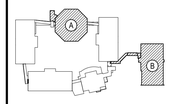
2 SILT FENCE

SCALE: N.T.S.

REV.	DATE	ITEM

NOTICE

THESE DRAWINGS ARE BASED ON CONSTRUCTION DRAWINGS NOT PREPARED BY BBS ARCHITECTS, LANDSCAPE ARCHITECTS AND ENGINEERS, P.C. AND, THEREFORE, MAY NOT ARCHITECT THE CONDITIONS AS CONSTRUCTED AT THE TIME. ALL EXISTING CONDITIONS SHOWN ARE REPRESENTED AS SUGGESTIVE INFORMATION AS THEY MAY NOT HAVE BEEN BUILT AND DETAILED PER THE ORIGINAL DOCUMENTS OR PER THE OWNER'S INFORMATION.



KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

EROSION & SEDIMENT CONTROL PLAN
NEW ADDITION AREA

DRAWING BY: CTC
CHECK BY: JP

NOTICE

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SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	SEDIMENT AND EROSION CONTROL PLAN
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

CS0.02 OF J

1 EXISTING CONDITIONS & DEMOLITION PLAN

SCALE: 1"=20'-0"

GENERAL NOTES

1. EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY BY LINK LAND SURVEYORS, PC, DATED DECEMBER 20, 2022. CONTRACTOR IS REQUIRED TO INSPECT THE SITE PRIOR TO BIDDING. NO ADDITIONAL PAYMENT SHALL BE MADE FOR CONDITIONS NOT SHOWN ON THE PLAN.
2. ALL LAYOUT AND ESTABLISHMENT OF GRADES SHALL BE DONE BY A NYS LICENSED LAND SURVEYOR. PROPOSED GRADES SHALL BE STAKED FOR REVIEW AND ADJUSTMENT BY ENGINEER PRIOR TO START OF EXCAVATION.
3. SEE CIP DRAWING FOR TEMPORARY FENCE, SITE ACCESS, STAGING, AND STOCKPILE REQUIREMENTS.
4. THE CONTRACTOR IS RESPONSIBLE TO HAVE ALL EXISTING UTILITIES (PRIVATE AND PUBLIC) MARKED OUT PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS, DIMENSIONS, SIZES AND QUANTITIES OF ALL MATERIALS PRIOR TO THE START OF ANY WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR A DECISION.
5. THE ARCHITECT AND THEIR CONSULTANTS SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS & METHODS OR PROCEDURES UTILIZED BY THE CONTRACTOR; NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE CONTRACTOR SHALL DEFINE AND SECURE A SINGLE ROUTE OF ACCESS ACROSS OWNER'S PROPERTY TO AND FROM THE WORK AREAS, WHICH SHALL BE APPROVED BY THE CONSTRUCTION MANANGER PRIOR TO THE START OF ANY WORK. ALL AREAS DAMAGED BY THE USE OF THIS ROUTE OF ACCESS (OR ANY OTHER AREAS) SHALL BE REPAIRED IN KIND BY THE CONTRACTOR WITHOUT ADDITIONAL EXPENSE TO THE OWNER. PARKING AREA MUST ALSO BE RESTORED.
7. THE CONTRACTOR SHALL ENCLOSE ALL WORK AREAS AND PROVIDE 6'-0" HIGH INDUSTRIAL CHAIN LINK FENCING W/ GATES (EXACT LOCATION OF FENCING TO BE VERIFIED WITH OWNER AND ARCHITECT). THIS FENCING SHALL BE CONSTRUCTED OF NINE GAUGE GALV. STEEL WIRE W/ 2" GALV. LINE POST & 2" END/CORNER POST, WITH TOP RAIL & BOTTOM WIRE. PROVIDE TRAFFIC & PEDESTRIAN GATES WITH HARDWARE & LOCKS. ALL FENCING SHALL HAVE A CLOTH WOVEN, WINDSCREEN MESH INSTALLED ON THE "SCHOOL" SIDE OF THE FENCE. MESH TO BE DARK GREEN OR BLACK. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THIS FABRIC AND ALL RELATED MATERIALS AFTER CONSTRUCTION.
8. THE CONTRACTOR SHALL EXERCISE CARE DURING REMOVAL OPERATIONS TO PROTECT EXISTING FACILITIES TO REMAIN. INCLUDING PAVEMENTS, UTILITIES, STRUCTURES, TREES, ETC. ANY FACILITIES THAT ARE DAMAGED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE RESTORED AT THE CONTRACTORS EXPENSE, TO THE SATISFACTION OF THE ARCHITECT AND OWNER.
9. ALL WORK AND MATERIAL OF THIS PROJECT AND ADJACENT SURFACES SHALL BE PROTECTED FROM DAMAGE. IN THE EVENT OF DAMAGE, THE CONTRACTOR SHALL IMMEDIATELY MAKE ALL REPAIRS AND REPLACEMENTS NECESSARY TO THE APPROVAL OF THE ARCHITECT AND OWNER AT NO ADDITIONAL COST TO THE OWNER.
10. WHERE EXCAVATION IS REQUIRED ADJACENT TO EXISTING TREES, THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR REMEDIAL WORK, SUCH AS ROOT & TOP PRUNING REQUIRED OR NECESSARY TO PREVENT TREE LOSS. SUCH REPAIR SHALL INCLUDE COMPENSATORY PRUNING AND FERTILIZATION COMPLETED PRIOR TO INSTALL OF THE WORK. CORRECTIVE WORK SHALL BE DONE BY A NYS LIC. ARBORIST.
11. NO STOCKPILING OF CONSTRUCTION MATERIALS SHALL TAKE PLACE UNDER THE DRIP LINE OF EXISTING TREES TO REMAIN.
12. ALL DEMOLISHED MATERIALS SHALL BE REMOVED FROM THE SITE AND SHALL BE DISPOSED OF IN A LEGAL MANNER.
13. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, PAY ALL FEES, ETC. AS REQUIRED TO PERFORM THE WORK AND FOLLOW ALL EROSION AND SEDIMENT CONTROL PROCEDURES.
14. THE CONTRACTOR IS RESPONSIBLE TO FOLLOW ALL NECESSARY MEASURES TO PREVENT SOIL EROSION, ALL DEBRIS, DUST AND DIRT CAUSED BY WORK OF THIS CONTRACT SHALL BE REMOVED FROM SITE BY APPROPRIATE MEANS. RESTORE ALL CONDITIONS TO THE STATE OF CLEANLINESS THAT EXISTED PRIOR TO COMMENCEMENT OF WORK. SEE EROSION AND SEDIMENT CONTROL PLAN FOR FURTHER REQUIREMENTS.

DEMOLITION KEY NOTES

1. SITE CONTRACTOR SHALL FIELD VERIFY AND MARK-OUT EXISTING IRRIGATION SYSTEM. RELOCATE VALVE BOXES, MODIFY (CUT, CAP AND RE-ROUTE) SYSTEM ZONES AND RUNS TO COINCIDE WITH PROPOSED FIELD LOCATION & PROVIDE IRRIGATION TO NATURAL GRASS AREAS.
2. CLEAR AND GRUB EXISTING GRASS. REMOVE EXISTING TOPSOIL TO IT'S FULL DEPTH. REMOVE ABANDONED / ENCOUNTERED IRRIGATION PIPING. SUBSOIL MAY BE AMENDED TO MEET SUBGRADE SPECIFICATIONS AND REUSED AS APPROVED BY THE ENGINEER.
3. CLEAN & PROTECT EXISTING DRAINAGE STRUCTURES TO REMAIN.
4. SAWCUT AND REMOVE EXISTING CONCRETE OR ASPHALT PAVEMENT (TOP AND BINDER COURSES) AND BASE. SUITABLE BASE MATERIAL MEETING THE SPECIFICATIONS (AFTER TESTING) MAY BE STOCKPILED ON SITE FOR RE-USE. ALL UNSUITABLE MATERIALS ARE TO BE REMOVED FROM THE SITE.
5. REMOVE TREES & PLANTS INCLUDING ROOTS WHERE SHOWN ON THE PLAN.
6. REMOVE ROCK OUTCROPPINGS TO THE DEPTH OF PROPOSED SUBGRADE.
7. ASPHALT PAVEMENT TO REMAIN & BE PROTECTED DURING CONSTRUCTION.
8. GRASS & TOPSOIL TO REMAIN & BE PROTECTED DURING CONSTRUCTION. LOOSEN TOPSOIL, GRASS SEED & STABILZE ALL DISTURBED AREAS.

SYMBOL LEGEND

SYMBOL	DESCRIPTION
X	DEMOLITION NOTE TAG
	REMOVE EXISTING FENCE OR RAILING
	REMOVE EXISTING SEWER LINE
	PROTECT TREE- TEMPORARY TREE GUARD
	REMOVE TOPSOIL TO PROPOSED SUBGRADE
	REMOVE CONCRETE OR ASPHALT PAVEMENT
	REMOVE EXISTING SITE ITEM
	PROTECT DRAINAGE INLET
SCE	STABILIZED CONSTRUCTION ENTRANCE
	CONSTRUCTION VEHICLE ENTRANCE

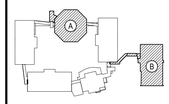
LIST OF ABBREVIATIONS

CLF	CHAIN LINK FENCE	SC	SITEWORK CONTRACTOR
DEMO.	DEMOLITION	TEMP.	TEMPORARY
E	EAST	(TYP.)	TYPICAL
ENC.	ENCLOSURE	VIF	VERIFY IN FIELD
EX.	EXISTING	W	WEST
G.C	GENERAL CONSTRUCTION CONTRACTOR	WD	WIDE
		&	AND
LF	LINEAR FEET		
LG	LONG		
LP	LIGHT POLE		
N	NORTH		
OPN.	OPENING		
S	SOUTH		

REV.	DATE	ITEM

NOTICE

THESE DRAWINGS ARE BASED ON CONSTRUCTION DRAWINGS NOT PREPARED BY BBS ARCHITECTS, LANDSCAPE ARCHITECTS AND ENGINEERS, PC. THEREFORE, WE CANNOT REPRESENT THE CONDITIONS CONSTRUCTED AT THE SITE. EXISTING CONDITIONS SHOWN ARE REPRESENTED AS SUGGESTIVE INFORMATION AS THEY MAY NOT HAVE BEEN BUILT AND DETAILED PER THE ORIGINAL DOCUMENTS OR PER THE OWNER'S INFORMATION.



KEY PLAN

NOT TO SCALE

PROJECT: BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE: EXISITNG CONDITIONS and DEMOLITION PLANS

DRAWING BY: CTC
CHECK BY: JP

NOTICE

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SED No. 66-01-02-06-0-007-013

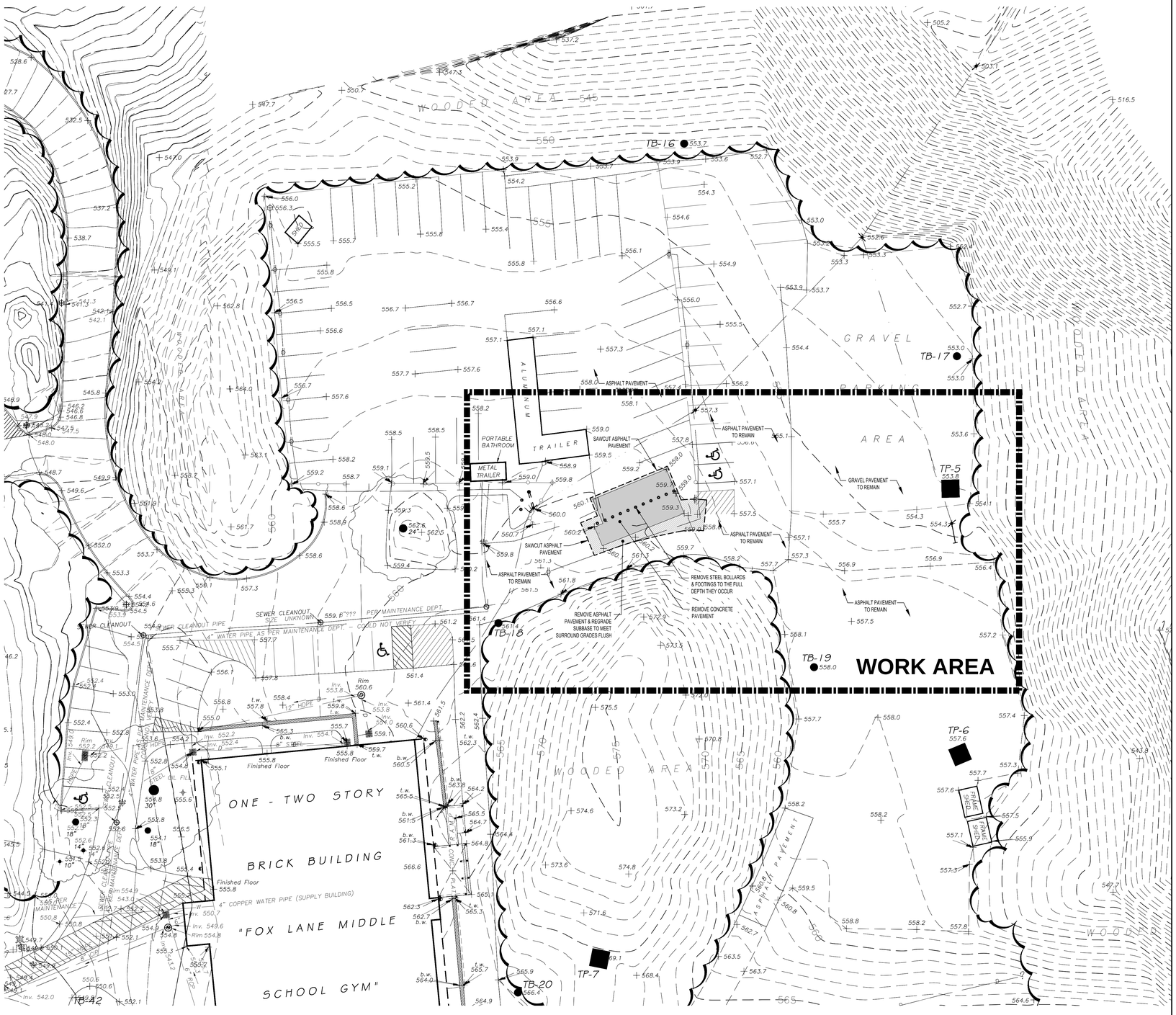
DISTRICT: BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT: PHASE 2 - BOND IMPROVEMENTS

DWG TITLE: EXISTING CONDITIONS and DEMOLITION PLANS

SCALE: AS NOTED
DATE: APRIL 2024
BID PICK-UP: FEBRUARY 24, 2025
FILE No: 23-131b FLMS

CS1.01 OF J



1 EXISTING CONDITIONS & DEMOLITION PLAN - SOFTBALL PARKING AREA ACCESS IMPROVEMENTS

SCALE: 1"=20'-0"

GENERAL NOTES

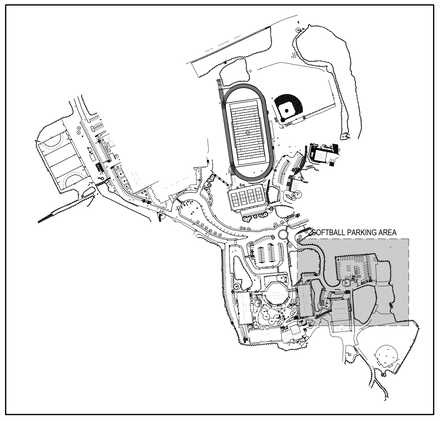
1. EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY BY LINK LAND SURVEYORS, PC, DATED DECEMBER 20, 2022. CONTRACTOR IS REQUIRED TO INSPECT THE SITE PRIOR TO BIDDING. NO ADDITIONAL PAYMENT SHALL BE MADE FOR CONDITIONS NOT SHOWN ON THE PLAN.
2. ALL LAYOUT AND ESTABLISHMENT OF GRADES SHALL BE DONE BY A NYS LICENSED LAND SURVEYOR. PROPOSED GRADES SHALL BE STAKED FOR REVIEW AND ADJUSTMENT BY ENGINEER PRIOR TO START OF EXCAVATION.
3. SEE CIP DRAWING FOR TEMPORARY FENCE, SITE ACCESS, STAGING, AND STOCKPILE REQUIREMENTS.
4. THE CONTRACTOR IS RESPONSIBLE TO HAVE ALL EXISTING UTILITIES (PRIVATE AND PUBLIC) MARKED OUT PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS, DIMENSIONS, SIZES AND QUANTITIES OF ALL MATERIALS PRIOR TO THE START OF ANY WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR A DECISION.
5. THE ARCHITECT AND THEIR CONSULTANTS SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS & METHODS OR PROCEDURES UTILIZED BY THE CONTRACTOR; NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE CONTRACTOR SHALL DEFINE AND SECURE A SINGLE ROUTE OF ACCESS ACROSS OWNER'S PROPERTY TO AND FROM THE WORK AREAS, WHICH SHALL BE APPROVED BY THE CONSTRUCTION MANANGER PRIOR TO THE START OF ANY WORK. ALL AREAS DAMAGED BY THE USE OF THIS ROUTE OF ACCESS (OR ANY OTHER AREAS) SHALL BE REPAIRED IN KIND BY THE CONTRACTOR WITHOUT ADDITIONAL EXPENSE TO THE OWNER. PARKING AREA MUST ALSO BE RESTORED.
7. THE CONTRACTOR SHALL ENCLOSE ALL WORK AREAS AND PROVIDE 6'-0" HIGH INDUSTRIAL CHAIN LINK FENCING W/ GATES (EXACT LOCATION OF FENCING TO BE VERIFIED WITH OWNER AND ARCHITECT). THIS FENCING SHALL BE CONSTRUCTED OF NINE GAUGE GALV. STEEL WIRE W/ 2" GALV. LINE POST & 2" END/CORNER POST, WITH TOP RAIL & BOTTOM WIRE. PROVIDE TRAFFIC & PEDESTRIAN GATES WITH HARDWARE & LOCKS. ALL FENCING SHALL HAVE A CLOTH WOVEN, WINDSCREEN MESH INSTALLED ON THE "SCHOOL" SIDE OF THE FENCE. MESH TO BE DARK GREEN OR BLACK. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THIS FABRIC AND ALL RELATED MATERIALS AFTER CONSTRUCTION.
8. THE CONTRACTOR SHALL EXERCISE CARE DURING REMOVAL OPERATIONS TO PROTECT EXISTING FACILITIES TO REMAIN. INCLUDING PAVEMENTS, UTILITIES, STRUCTURES, TREES, ETC. ANY FACILITIES THAT ARE DAMAGED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE RESTORED AT THE CONTRACTORS EXPENSE, TO THE SATISFACTION OF THE ARCHITECT AND OWNER.
9. ALL WORK AND MATERIAL OF THIS PROJECT AND ADJACENT SURFACES SHALL BE PROTECTED FROM DAMAGE. IN THE EVENT OF DAMAGE, THE CONTRACTOR SHALL IMMEDIATELY MAKE ALL REPAIRS AND REPLACEMENTS NECESSARY TO THE APPROVAL OF THE ARCHITECT AND OWNER AT NO ADDITIONAL COST TO THE OWNER.
10. WHERE EXCAVATION IS REQUIRED ADJACENT TO EXISTING TREES, THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR REMEDIAL WORK, SUCH AS ROOT & TOP PRUNING REQUIRED OR NECESSARY TO PREVENT TREE LOSS. SUCH REPAIR SHALL INCLUDE COMPENSATORY PRUNING AND FERTILIZATION COMPLETED PRIOR TO INSTALL OF THE WORK. CORRECTIVE WORK SHALL BE DONE BY A NYS LIC. ARBORIST.
11. NO STOCKPILING OF CONSTRUCTION MATERIALS SHALL TAKE PLACE UNDER THE DRIP LINE OF EXISTING TREES TO REMAIN.
12. ALL DEMOLISHED MATERIALS SHALL BE REMOVED FROM THE SITE AND SHALL BE DISPOSED OF IN A LEGAL MANNER.
13. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, PAY ALL FEES, ETC. AS REQUIRED TO PERFORM THE WORK AND FOLLOW ALL EROSION AND SEDIMENT CONTROL PROCEDURES.
14. THE CONTRACTOR IS RESPONSIBLE TO FOLLOW ALL NECESSARY MEASURES TO PREVENT SOIL EROSION. ALL DEBRIS, DUST AND DIRT CAUSED BY WORK OF THIS CONTRACT SHALL BE REMOVED FROM SITE BY APPROPRIATE MEANS. RESTORE ALL CONDITIONS TO THE STATE OF CLEANLINESS THAT EXISTED PRIOR TO COMMENCEMENT OF WORK. SEE EROSION AND SEDIMENT CONTROL PLAN FOR FURTHER REQUIREMENTS.

SYMBOL LEGEND

SYMBOL	DESCRIPTION
- - - -	SAWCUT PAVEMENT
	REMOVE CONCRETE PAVEMENT
	REMOVE ASPHALT PAVEMENT

LIST OF ABBREVIATIONS

CLF	CHAIN LINK FENCE	SC	SITEWORK CONTRACTOR
DEMO.	DEMOLITION	TEMP.	TEMPORARY
E	EAST	(TYP.)	TYPICAL
ENC.	ENCLOSURE	VIF	VERIFY IN FIELD
EX.	EXISTING	W	WEST
G.C	GENERAL CONSTRUCTION CONTRACTOR	WD	WIDE
		&	AND
LF	LINEAR FEET		
LG	LONG		
LP	LIGHT POLE		
N	NORTH		
OPN.	OPENING		
S	SOUTH		



SITE KEY PLAN

SCALE: NTS

REV.	DATE	ITEM

NOTICE

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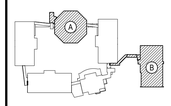

KEY PLAN

NOT TO SCALE

PROJECT: BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE: EXISTING CONDITIONS & DEMOLITION PLAN
SOFTBALL PARKING AREA ACCESS IMPROVEMENTS

DRAWING BY: CTC
CHECK BY: J.P.

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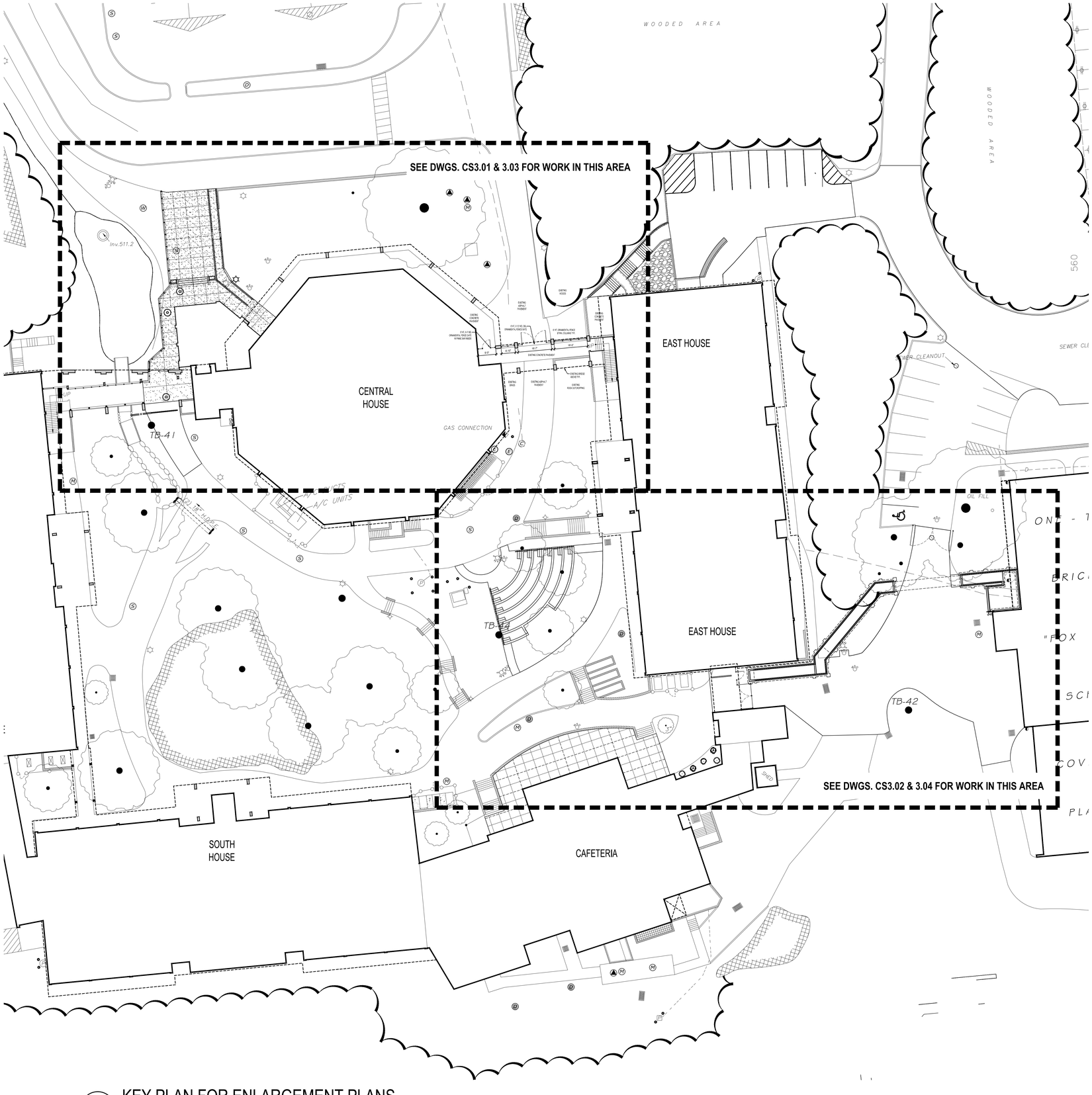
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	EXISTING CONDITIONS & DEMOLITION PLAN
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

CS1.02



1 KEY PLAN FOR ENLARGEMENT PLANS

SCALE: 1"=20'-0"

GENERAL NOTES - ALIGNMENT

1. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS, DIMENSIONS, SIZES AND QUANTITIES OF ALL MATERIALS PRIOR TO THE START OF ANY WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR A DECISION. ALL WORK SHALL BE LOCATED AND MARKED OUT FOR APPROVAL BY THE ARCHITECT PRIOR TO THE START OF ANY CONSTRUCTION.
2. THE CONTRACTOR SHALL EXECUTE THE WORK IN SUCH MANNER THAT NO DAMAGE OR INJURY SHALL OCCUR TO PERSONS, EXISTING BUILDINGS AND STRUCTURES, CURBS, ROADS, ATHLETIC FIELDS, WALKS, PIPES, CONDUITS, POLES AND ANY AND ALL OTHER PROPERTY ABOVE AND BELOW GRADE. ANY DAMAGE OR INJURY RESULTING FROM THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL MAKE GOOD SUCH DAMAGE AND ASSUME ALL RESPONSIBILITY FOR EACH INJURY WITHOUT ADDITIONAL COST TO THE OWNER.
3. THE ARCHITECT AND THEIR CONSULTANTS SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS OR PROCEDURES UTILIZED BY THE CONTRACTOR; NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
4. CONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING PRIOR TO START OF WORK.
5. IN ACCORDANCE WITH STATE AND LOCAL CODES, THE REQUIRED EXITS IN THE EXISTING BUILDING MUST BE KEPT CLEAR, MAINTAINED AND PROTECTED DURING THE CONSTRUCTION PERIOD.
6. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL EXISTING DIMENSIONS AND CONDITIONS.
7. ALL WORK AND MATERIAL OF THIS PROJECT AND ADJACENT SURFACES SHALL BE PROTECTED FROM DAMAGE. IN THE EVENT OF DAMAGE, THE CONTRACTOR SHALL IMMEDIATELY MAKE ALL REPAIRS AND REPLACEMENT NECESSARY TO THE APPROVAL OF THE ARCHITECT AND OWNER AND AT NO ADDITIONAL COST TO OWNER.
8. CONTRACTOR TO PROTECT ALL AREAS OF WORK FROM INCLEMENT WEATHER DURING AND AT THE END OF DAILY WORK OPERATIONS.
9. ALL PROJECT WASTE MATERIAL AND RUBBISH TO BE DISPOSED IN CONTAINERS PROVIDED BY THE CONTRACTOR FOR SUBSEQUENT LEGAL OFF-SITE DISPOSAL. CONTAINER LOCATION TO BE COORDINATED WITH THE CONSTRUCTION MANAGER. OFF-SITE DISPOSAL TO BE ON A REGULAR BASIS.
10. ALL DEBRIS, DUST AND DIRT CAUSED BY WORK OF THIS CONTRACT SHALL BE REMOVED FROM SITE BY APPROPRIATE MEANS. RESTORE ALL CONDITIONS TO THE STATE OF CLEANLINESS THAT EXISTED PRIOR TO COMMENCEMENT OF WORK.
11. ALL DEMOLITION AND CONSTRUCTION WORK TO BE PREFORMED WITHOUT INTERRUPTION OF OWNER OPERATIONS. IF INTERRUPTION IS NECESSARY, WORK MUST NOT PROCEED UNTIL WRITTEN APPROVAL HAS BEEN OBTAINED FROM THE OWNER.

NEW WORK KEY NOTES

1. REFER TO DRAWING CS600 SERIES DRAWINGS FOR SITE DETAILS AND PAVEMENT SCHEDULE.
2. REFER TO SYMBOL LEGEND FOR NEW WORK TAGS AND SYMBOLS.
3. WALKS STRUCTURES AND OTHER MAJOR ITEMS SHALL BE STAKED FOR THE APPROVAL OF THE ENGINEER PRIOR TO INSTALLATION.
4. N.Y.S. LICENSED LAND SURVEYOR SHALL PERFORM ALL LAYOUT WORK, INCLUDING BASELINE ESTABLISHMENT. LAYOUT OF THE WORK MAY BE ADJUSTED IN THE FIELD TO MEET SITE CONDITIONS AS APPROVED BY THE ENGINEER.
5. LOOSEN TOPSOIL, TOP-DRESS AND SEED ALL DISTURBED AREAS NOT SCHEDULED FOR IMPROVEMENT.
6. CONTRACTOR SHALL REMOVE ALL TEMPORARY FENCING AND EROSION AND SEDIMENT CONTROL UPON COMPLETION OF THE WORK. RESTORE PROJECT SITE TO ITS EXISTING CONDITION INCLUDING REPAIRS TO PAVEMENT, TOP DRESSING AND SEEDING OF DISTURBED AREAS.
7. CONTRACTOR SHALL CONTINUE TO MAINTAIN ALL NEWLY SEEDED AREAS UNTIL SEED IS FULLY GROWN AND DEEMED USEABLE FOR RECREATION BY ARCHITECT.
8. ALL EXISTING RAILINGS AT PERIMETER OF CAFETERIA PLAZA SHALL BE REMOVED, PAINTED & REINSTALLED AFTER CONCRETE WORK IS COMPLETED. CONTRACTOR SHALL CUT AND WELD SPLICE TUBES TO PROPERLY SECURE THE EXISTING RAILINGS INTO NEW SLEEVES.
9. CONTRACTOR IS SPECIFICALLY NOTIFIED THAT THE EXISTING CONCRETE DECK AT THE CAFETERIA PLAZA HAS SOME CRACKS AND HAS SETTLED IN CERTAIN AREAS. ONCE THE CONCRETE IS REMOVED ALL VOIDS SHALL BE BACKFILLED WITH STRUCTURAL FILL AND COMPACTED TO PROPOSED SUBGRADE AT NO ADDITIONAL COST. THE CONTRACTOR SHALL SHORE EXISTING CONCRETE WALLS TO INSURE THEY ARE NOT DISPLACED DURING COMPACTION ACTIVITIES.
10. CONTRACTOR SHALL PITCH CONCRETE AT CAFETERIA PLAZA TO MEET SURROUNDING PAVEMENTS, DOORS & GRATINGS FLUSH.
11. CONTRACTOR SHALL SAWCUT & REPAVE ASPHALT AT BOTTOM OF RECONSTRUCTED STAIRWAYS TO MEET EXISTING PAVEMENT FLUSH

SYMBOL LEGEND

SYMBOL	DESCRIPTION
EJ	EXPANSION JOINT
A	NEW PAVEMENT TYPE SCHEDULE - SEE SCHEDULE ON CS6.01
C08.01	NEW ITEM DETAIL TAG - SEE DETAILS ON CS600 SERIES
A	NEW ASPHALT PAVEMENT WALKWAYS
C	NEW CONCRETE PAVEMENT

LIST OF ABBREVIATIONS

ALT.	ALTERNATE	LG	LONG
ASPH.	ASPHALT	LP	LIGHT POLE
BC	BOTTOM CURB	N	NORTH
CB	CATCH BASIN	OPN.	OPENING
CONC.	CONCRETE	PAVT	PAVEMENT
DEMO.	DEMOLITION	S	SOUTH
E	EAST	SC	SITEWORK CONTRACTOR
E.C.	ELECTRICAL CONTRACTOR	TC	TOP CURB
ENC.	ENCLOSURE	TEMP.	TEMPORARY
EX.	EXISTING	(TYP.)	TYPICAL
GALV.	GALVANIZED	VIF	VERIFY IN FIELD
G.C.	GENERAL CONSTRUCTION CONTRACTOR	W	WEST
HT.	HEIGHT	WD	WIDE
LB	LEACHING BASIN	&	AND
LF	LINEAR FEET		

REV.	DATE	ITEM

NOTICE

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KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

KEY PLAN FOR ENLARGEMENT PLANS

DRAWING BY: CTC

CHECK BY: JP

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SED No. 66-01-02-06-0-007-013

DISTRICT: BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT: PHASE 2 - BOND IMPROVEMENTS

DWG TITLE: ALIGNMENT AND SCHEDULE PLAN

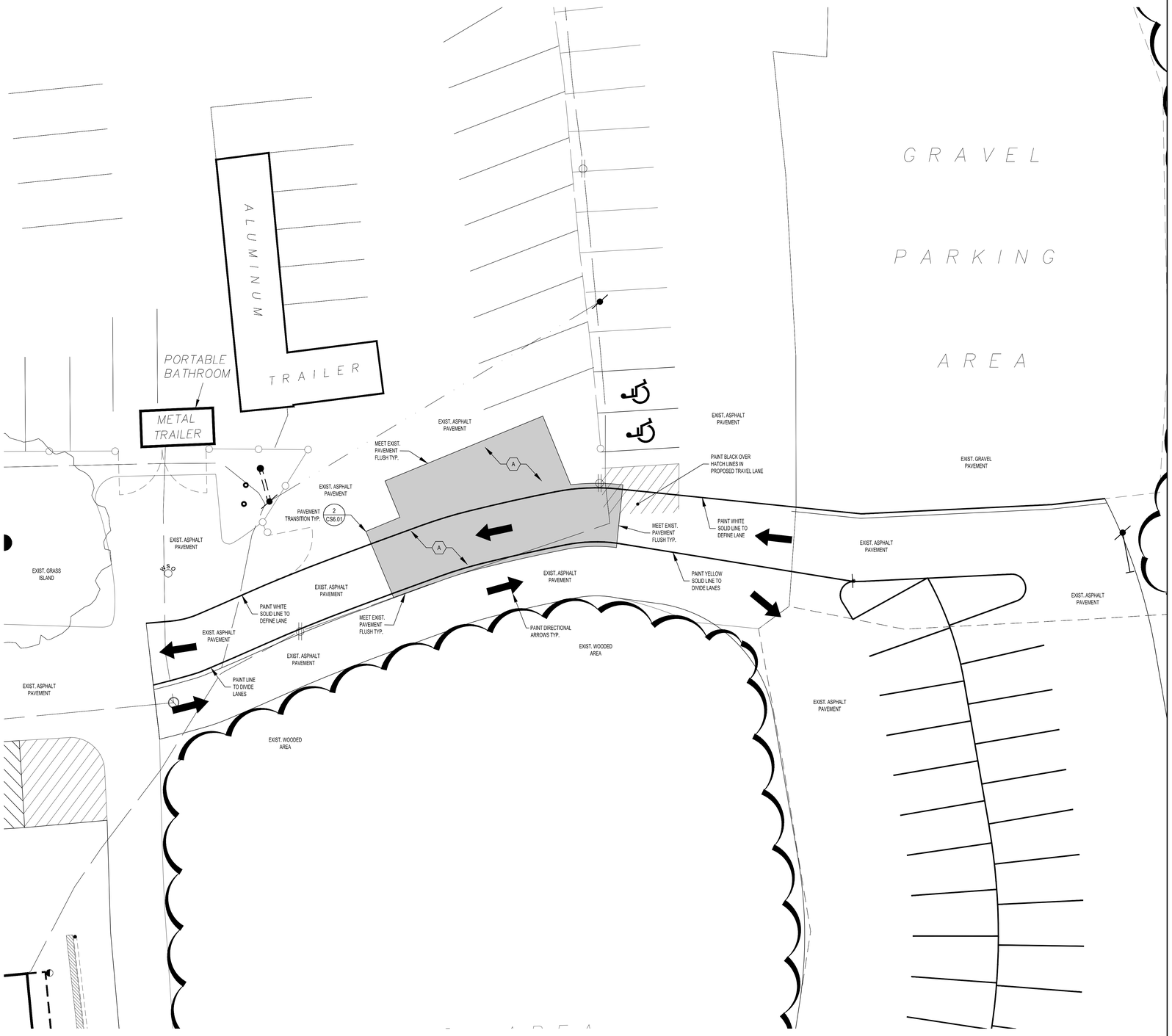
SCALE: AS NOTED

DATE: APRIL 2024

BID PICK-UP: FEBRUARY 24, 2025

FILE No: 23-131b FLMS

CS2.01 OF J



1 ALIGNMENT AND SCHEDULE PLAN - SOFTBALL PARKING AREA ACCESS IMPROVEMENTS

SCALE: 1"=10'-0"

GENERAL NOTES - ALIGNMENT

1. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS, DIMENSIONS, SIZES AND QUANTITIES OF ALL MATERIALS PRIOR TO THE START OF ANY WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR A DECISION. ALL WORK SHALL BE LOCATED AND MARKED OUT FOR APPROVAL BY THE ARCHITECT PRIOR TO THE START OF ANY CONSTRUCTION.
2. THE CONTRACTOR SHALL EXECUTE THE WORK IN SUCH MANNER THAT NO DAMAGE OR INJURY SHALL OCCUR TO PERSONS, EXISTING BUILDINGS AND STRUCTURES, CURBS, ROADS, ATHLETIC FIELDS, WALKS, PIPES, CONDUITS, POLES AND ANY AND ALL OTHER PROPERTY ABOVE AND BELOW GRADE. ANY DAMAGE OR INJURY RESULTING FROM THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL MAKE GOOD SUCH DAMAGE AND ASSUME ALL RESPONSIBILITY FOR EACH INJURY WITHOUT ADDITIONAL COST TO THE OWNER.
3. THE ARCHITECT AND THEIR CONSULTANTS SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS OR PROCEDURES UTILIZED BY THE CONTRACTOR; NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
4. CONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING PRIOR TO START OF WORK.
5. IN ACCORDANCE WITH STATE AND LOCAL CODES, THE REQUIRED EXITS IN THE EXISTING BUILDING MUST BE KEPT CLEAR, MAINTAINED AND PROTECTED DURING THE CONSTRUCTION PERIOD.
6. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL EXISTING DIMENSIONS AND CONDITIONS.
7. ALL WORK AND MATERIAL OF THIS PROJECT AND ADJACENT SURFACES SHALL BE PROTECTED FROM DAMAGE. IN THE EVENT OF DAMAGE, THE CONTRACTOR SHALL IMMEDIATELY MAKE ALL REPAIRS AND REPLACEMENT NECESSARY TO THE APPROVAL OF THE ARCHITECT AND OWNER AND AT NO ADDITIONAL COST TO OWNER.
8. CONTRACTOR TO PROTECT ALL AREAS OF WORK FROM INCLEMENT WEATHER DURING AND AT THE END OF DAILY WORK OPERATIONS.
9. ALL PROJECT WASTE MATERIAL AND RUBBISH TO BE DISPOSED IN CONTAINERS PROVIDED BY THE CONTRACTOR FOR SUBSEQUENT LEGAL OFF-SITE DISPOSAL. CONTAINER LOCATION TO BE COORDINATED WITH THE CONSTRUCTION MANAGER. OFF-SITE DISPOSAL TO BE ON A REGULAR BASIS.
10. ALL DEBRIS, DUST AND DIRT CAUSED BY WORK OF THIS CONTRACT SHALL BE REMOVED FROM SITE BY APPROPRIATE MEANS. RESTORE ALL CONDITIONS TO THE STATE OF CLEANLINESS THAT EXISTED PRIOR TO COMMENCEMENT OF WORK.
11. ALL DEMOLITION AND CONSTRUCTION WORK TO BE PREFORMED WITHOUT INTERRUPTION OF OWNER OPERATIONS. IF INTERRUPTION IS NECESSARY, WORK MUST NOT PROCEED UNTIL WRITTEN APPROVAL HAS BEEN OBTAINED FROM THE OWNER.

NEW WORK KEY NOTES

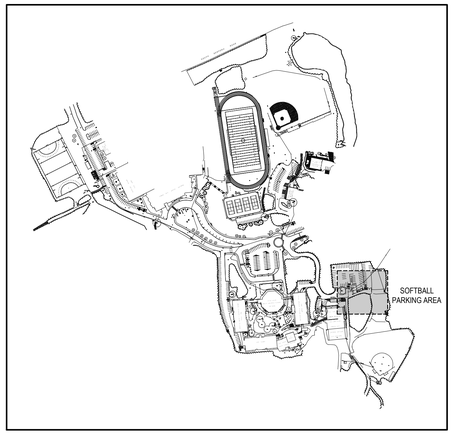
1. REFER TO DRAWING CS600 SERIES DRAWINGS FOR SITE DETAILS AND PAVEMENT SCHEDULE.
2. REFER TO DRAWING CS3.01 FOR ALL REQUIRED FIELD MARKINGS.
3. REFER TO SYMBOL LEGEND FOR NEW WORK TAGS AND SYMBOLS.
4. CURBS, WALKS, FENCES, DRAINAGE STRUCTURES AND OTHER MAJOR ITEMS SHALL BE STAKED FOR THE APPROVAL OF THE ENGINEER PRIOR TO INSTALLATION.
5. N.Y.S. LICENSED LAND SURVEYOR SHALL PERFORM ALL LAYOUT WORK, INCLUDING BASELINE ESTABLISHMENT. LAYOUT OF THE WORK MAY BE ADJUSTED IN THE FIELD TO MEET SITE CONDITIONS AS APPROVED BY THE ENGINEER.
6. LOOSEN TOPSOIL, TOP-DRESS AND SEED ALL DISTURBED AREAS NOT SCHEDULED FOR IMPROVEMENT.
7. CONTRACTOR SHALL REMOVE ALL TEMPORARY FENCING AND EROSION AND SEDIMENT CONTROL UPON COMPLETION OF THE WORK. RESTORE PROJECT SITE TO ITS EXISTING CONDITION INCLUDING REPAIRS TO PAVEMENT, TOP DRESSING AND SEEDING OF DISTURBED AREAS.
8. CONTRACTOR SHALL CONTINUE TO MAINTAIN ALL NEWLY SEEDED AREAS UNTIL SEED IS FULLY GROWN AND DEEMED USEABLE FOR RECREATION BY ARCHITECT.

SYMBOL LEGEND

SYMBOL	DESCRIPTION
2 →	NEW CURB TYPE - SEE DETAILS ON CS6.01
A	NEW PAVEMENT TYPE SCHEDULE - SEE SCHEDULE ON CS6.01
2/CS6.01	NEW ITEM DETAIL TAG - SEE DETAILS ON CS600 SERIES
	NEW ASPHALT PAVEMENT
	NEW CONCRETE PAVEMENT

LIST OF ABBREVIATIONS

ALT.	ALTERNATE	LB	LEACHING BASIN
ASPH.	ASPHALT	LF	LINEAR FEET
BC	BOTTOM CURB	LG	LONG
CB	CATCH BASIN	LP	LIGHT POLE
CLF	CHAIN LINK FENCE	N	NORTH
CONC.	CONCRETE	OPN.	OPENING
DEMO.	DEMOLITION	PAVT	PAVEMENT
E	EAST	S	SOUTH
E.C.	ELECTRICAL CONTRACTOR	SC	SITEWORK CONTRACTOR
ENC.	ENCLOSURE	TC	TOP CURB
EX.	EXISTING	TEMP.	TEMPORARY
GALV.	GALVANIZED	(TYP.)	TYPICAL
G.C	GENERAL CONSTRUCTION CONTRACTOR	VIF	VERIFY IN FIELD
		VCCLF	VINLY CLAD CHAIN LINK FENCE
HT.	HEIGHT	W	WEST
		WD	WIDE
		&	AND



SITE KEY PLAN

SCALE: NTS

REV.	DATE	ITEM

NOTICE

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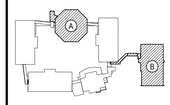

KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

ALIGNMENT & SCHEDULE PLAN
SOFTBALL PARKING AREA ACCESS IMPROVEMENTS

DRAWING BY: CTC

CHECK BY: J.P.

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SED No. 66-01-02-06-0-007-013

DISTRICT BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT PHASE 2 - BOND IMPROVEMENTS

DWG TITLE SITE PLAN

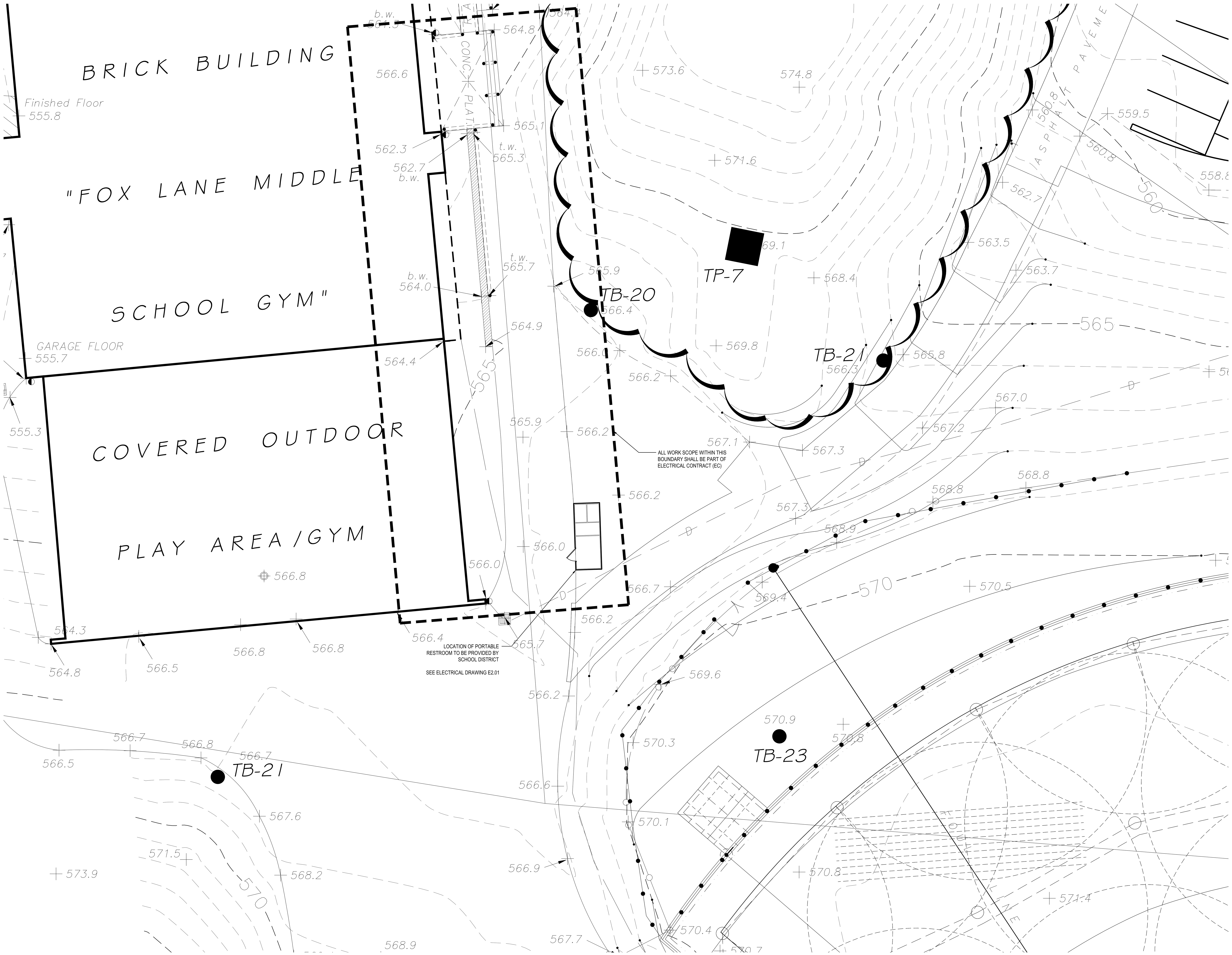
SCALE: AS NOTED

DATE: APRIL 2024

BID PICK-UP: FEBRUARY 24, 2025

FILE No: 23-131b FLMS

CS2.02



1 SITE PLAN - SOFTBALL FIELD REST ROOM BUILDING

SCALE: 1"=10'-0"

REV.	DATE	ITEM

NOTICE

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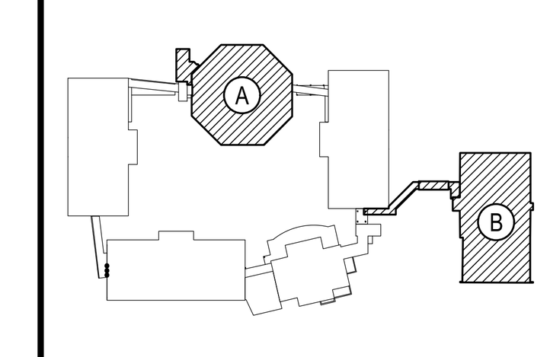

KEY PLAN
NOT TO SCALE

PROJECT
BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE
SITE PLAN
SOFTBALL FIELD REST ROOM BUILDING

DRAWING BY: CTC
CHECK BY: J.P.

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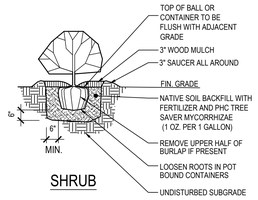
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	SITE PLAN
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

CS2.03

NOTES:
1. REMOVE ALL TAGS, LABELS, ETC. FROM PLANTS.
2. ROOT FLARE SHALL BE VISIBLE AND LEVEL WITH SURROUNDING SOIL.
3. DO NOT PLACE MULCH ON ROOT FLARE OF TREES.



SHRUB

2 SHRUB PLANTING

SCALE: N.T.S.

REV. 7-2022

1

SYMBOL LEGEND

SYMBOL	DESCRIPTION
EJ	EXPANSION JOINT
A	NEW PAVEMENT TYPE SCHEDULE - SEE SCHEDULE ON CS6.01
1 CS6.01	NEW ITEM DETAIL TAG - SEE DETAILS ON CS600 SERIES
A	NEW ASPHALT PAVEMENT WALKWAYS
C	NEW CONCRETE PAVEMENT

PLANT SCHEDULE

SYMBOL	BOTANICAL (LATIN) NAME	COMMON NAME	SIZE	SPACING	CONDITION	QTY.
SHRUBS, GRASSES & PERRENIALS						
RP	Rosa palustrus	SWAMP ROSE	3 GALLON	4' O.C.	CONT	12
TL	Typha latifolia	BROAD-LEAVED CATTAIL	3 GALLON	4' O.C.	CONT	8
SA	Rhododendron viscosum	SWAMP AZALEA	3 GALLON	4' O.C.	CONT	8
RM	Rhododendron maximum 'Roseum'	PINK ROSEBAY RHODY	5 GALLON	5' O.C.	CONT	7
AI	Asclepias incarnata	SWAMP MILKWEED	3 GALLON	18" O.C.	CONT	10

1

NEW WORK KEY NOTES

1. REFER TO DRAWING CS600 SERIES DRAWINGS FOR SITE DETAILS AND PAVEMENT SCHEDULE.
2. REFER TO SYMBOL LEGEND FOR NEW WORK TAGS AND SYMBOLS.
3. WALKS STRUCTURES AND OTHER MAJOR ITEMS SHALL BE STAKED FOR THE APPROVAL OF THE ENGINEER PRIOR TO INSTALLATION.
4. N.Y.S. LICENSED LAND SURVEYOR SHALL PERFORM ALL LAYOUT WORK, INCLUDING BASELINE ESTABLISHMENT. LAYOUT OF THE WORK MAY BE ADJUSTED IN THE FIELD TO MEET SITE CONDITIONS AS APPROVED BY THE ENGINEER.
5. LOOSEN TOPSOIL, TOP-DRESS AND SEED ALL DISTURBED AREAS NOT SCHEDULED FOR IMPROVEMENT.
6. CONTRACTOR SHALL REMOVE ALL TEMPORARY FENCING AND EROSION AND SEDIMENT CONTROL UPON COMPLETION OF THE WORK. RESTORE PROJECT SITE TO ITS EXISTING CONDITION INCLUDING REPAIRS TO PAVEMENT, TOP DRESSING AND SEEDING OF DISTURBED AREAS.
7. CONTRACTOR SHALL CONTINUE TO MAINTAIN ALL NEWLY SEEDED AREAS UNTIL SEED IS FULLY GROWN AND DEEMED USEABLE FOR RECREATION BY ARCHITECT.
8. ALL EXISTING RAILINGS AT PERIMETER OF CAFETERIA PLAZA SHALL BE REMOVED, PAINTED & REINSTALLED AFTER CONCRETE WORK IS COMPLETED. CONTRACTOR SHALL CUT AND WELD SPLICE TUBES TO PROPERLY SECURE THE EXISTING RAILINGS INTO NEW SLEEVES.
9. CONTRACTOR IS SPECIFICALLY NOTIFIED THAT THE EXISTING CONCRETE DECK AT THE CAFETERIA PLAZA HAS SOME CRACKS AND HAS SETTLED IN CERTAIN AREAS. ONCE THE CONCRETE IS REMOVED ALL VOIDS SHALL BE BACKFILLED WITH STRUCTURAL FILL AND COMPACTED TO PROPOSED SUBGRADE AT NO ADDITIONAL COST. THE CONTRACTOR SHALL SHORE EXISTING CONCRETE WALLS TO INSURE THEY ARE NOT DISPLACED DURING COMPACTION ACTIVITIES.
10. CONTRACTOR SHALL PITCH CONCRETE AT CAFETERIA PLAZA TO MEET SURROUNDING PAVEMENTS, DOORS & GRATINGS FLUSH.
11. CONTRACTOR SHALL SAWCUT & REPAVE ASPHALT AT BOTTOM OF RECONSTRUCTED STAIRWAYS TO MEET EXISTING PAVEMENT FLUSH

GENERAL NOTES - ALIGNMENT

1. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS, DIMENSIONS, SIZES AND QUANTITIES OF ALL MATERIALS PRIOR TO THE START OF ANY WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR A DECISION. ALL WORK SHALL BE LOCATED AND MARKED OUT FOR APPROVAL BY THE ARCHITECT PRIOR TO THE START OF ANY CONSTRUCTION.
2. THE CONTRACTOR SHALL EXECUTE THE WORK IN SUCH MANNER THAT NO DAMAGE OR INJURY SHALL OCCUR TO PERSONS, EXISTING BUILDINGS AND STRUCTURES, CURBS, ROADS, ATHLETIC FIELDS, WALKS, PIPES, CONDUITS, POLES AND ANY AND ALL OTHER PROPERTY ABOVE AND BELOW GRADE. ANY DAMAGE OR INJURY RESULTING FROM THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL MAKE GOOD SUCH DAMAGE AND ASSUME ALL RESPONSIBILITY FOR EACH INJURY WITHOUT ADDITIONAL COST TO THE OWNER.
3. THE ARCHITECT AND THEIR CONSULTANTS SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS OR PROCEDURES UTILIZED BY THE CONTRACTOR; NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
4. CONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING PRIOR TO START OF WORK.
5. IN ACCORDANCE WITH STATE AND LOCAL CODES, THE REQUIRED EXITS IN THE EXISTING BUILDING MUST BE KEPT CLEAR, MAINTAINED AND PROTECTED DURING THE CONSTRUCTION PERIOD.
6. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL EXISTING DIMENSIONS AND CONDITIONS.
7. ALL WORK AND MATERIAL OF THIS PROJECT AND ADJACENT SURFACES SHALL BE PROTECTED FROM DAMAGE. IN THE EVENT OF DAMAGE, THE CONTRACTOR SHALL IMMEDIATELY MAKE ALL REPAIRS AND REPLACEMENT NECESSARY TO THE APPROVAL OF THE ARCHITECT AND OWNER AND AT NO ADDITIONAL COST TO OWNER.
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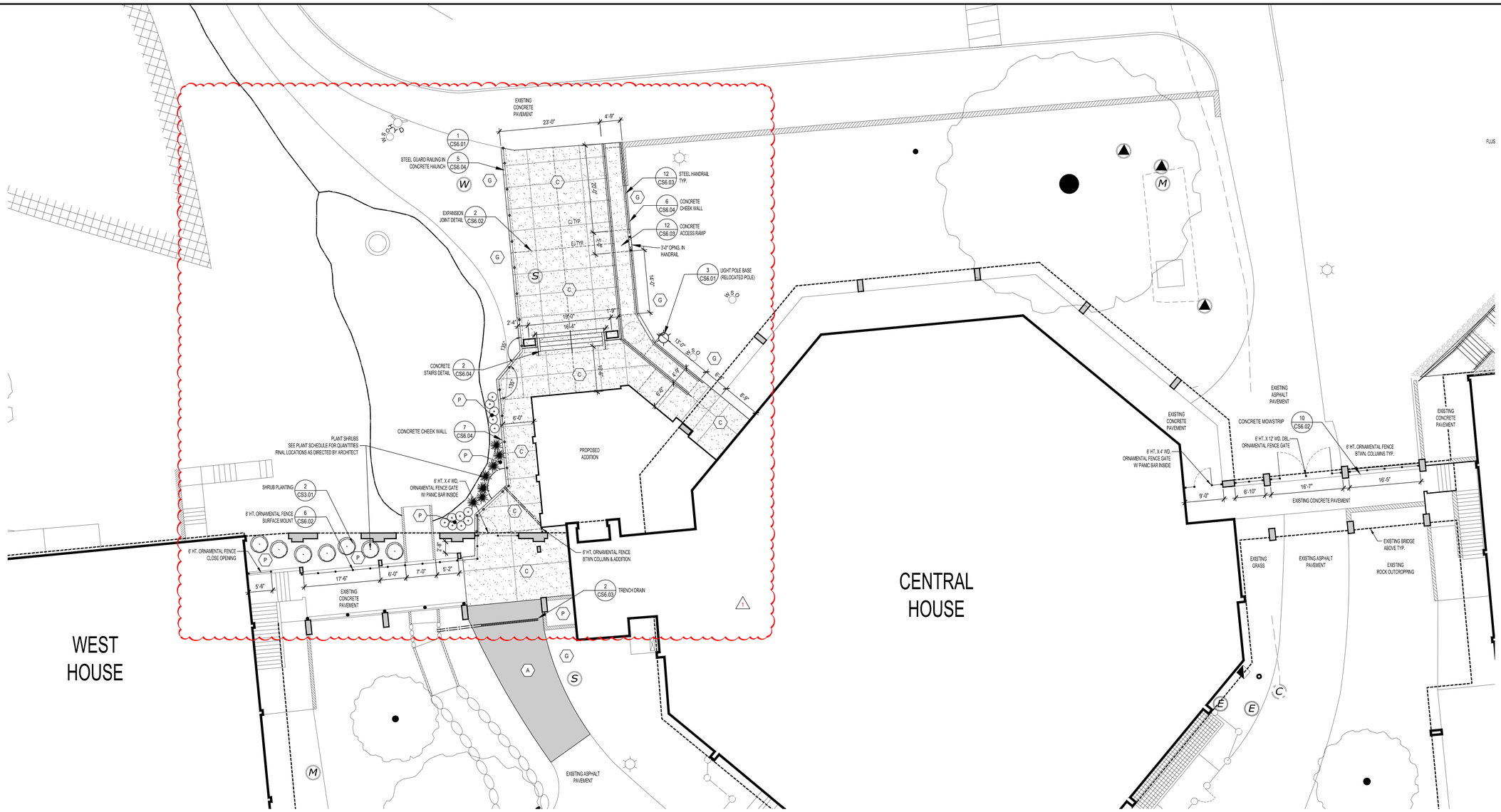
10. ALL DEBRIS, DUST AND DIRT CAUSED BY WORK OF THIS CONTRACT SHALL BE REMOVED FROM SITE BY APPROPRIATE MEANS. RESTORE ALL CONDITIONS TO THE STATE OF CLEANLINESS THAT EXISTED PRIOR TO COMMENCEMENT OF WORK.
11. ALL DEMOLITION AND CONSTRUCTION WORK TO BE PREFORMED WITHOUT INTERRUPTION OF OWNER OPERATIONS. IF INTERRUPTION IS NECESSARY, WORK MUST NOT PROCEED UNTIL WRITTEN APPROVAL HAS BEEN OBTAINED FROM THE OWNER.



1 ENLARGEMENT PLAN - NEW ADDITION & NORTH SIDE SECURITY FENCING

SCALE: 1"=10'-0"

REV.	DATE	ITEM
01	03/19/25	BID ADD. NO. 04

NOTICE

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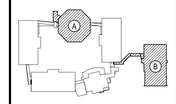

KEY PLAN

NOT TO SCALE

PROJECT
BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE
ENLARGEMENT PLANS
NEW ADDITION & NORTH SIDE SECURITY FENCING

DRAWING BY: CTC
CHECK BY: JP

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SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	ENLARGEMENT PLAN
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

CS3.01 OF J

SIGN SCHEDULE

SIGN PANEL	TYPE	N.Y.S. D.O.T. SIGN No.	SIZE	BACKGROUND COLOR	LEGEND COLOR	BORDER	LEGEND SIZES
STOP	S3	R3-1B	24" x 24"	RED	WHITE	½"	8-C"
DO NOT ENTER	S4	R3-15C	30" x 30"	RED / WHITE	WHITE	VAR.	4" - D 5" BAR 4" - D

NOTES:

1. SIGNS S3, AND S4 SHALL CONFORM TO THE N.Y.S. MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), SECTION 221, INCLUSIVE, AS APPLICABLE.
2. SEE PLANS FOR SIGN LOCATIONS TO DETERMINE ARROW DIRECTIONS ON SIGNS.

SYMBOL LEGEND

SYMBOL	DESCRIPTION
EJ	EXPANSION JOINT
A	NEW PAVEMENT TYPE SCHEDULE - SEE SCHEDULE ON CS6.01
CS6.01	NEW ITEM DETAIL TAG - SEE DETAILS ON CS600 SERIES
A	NEW ASPHALT PAVEMENT WALKWAYS
C	NEW CONCRETE PAVEMENT

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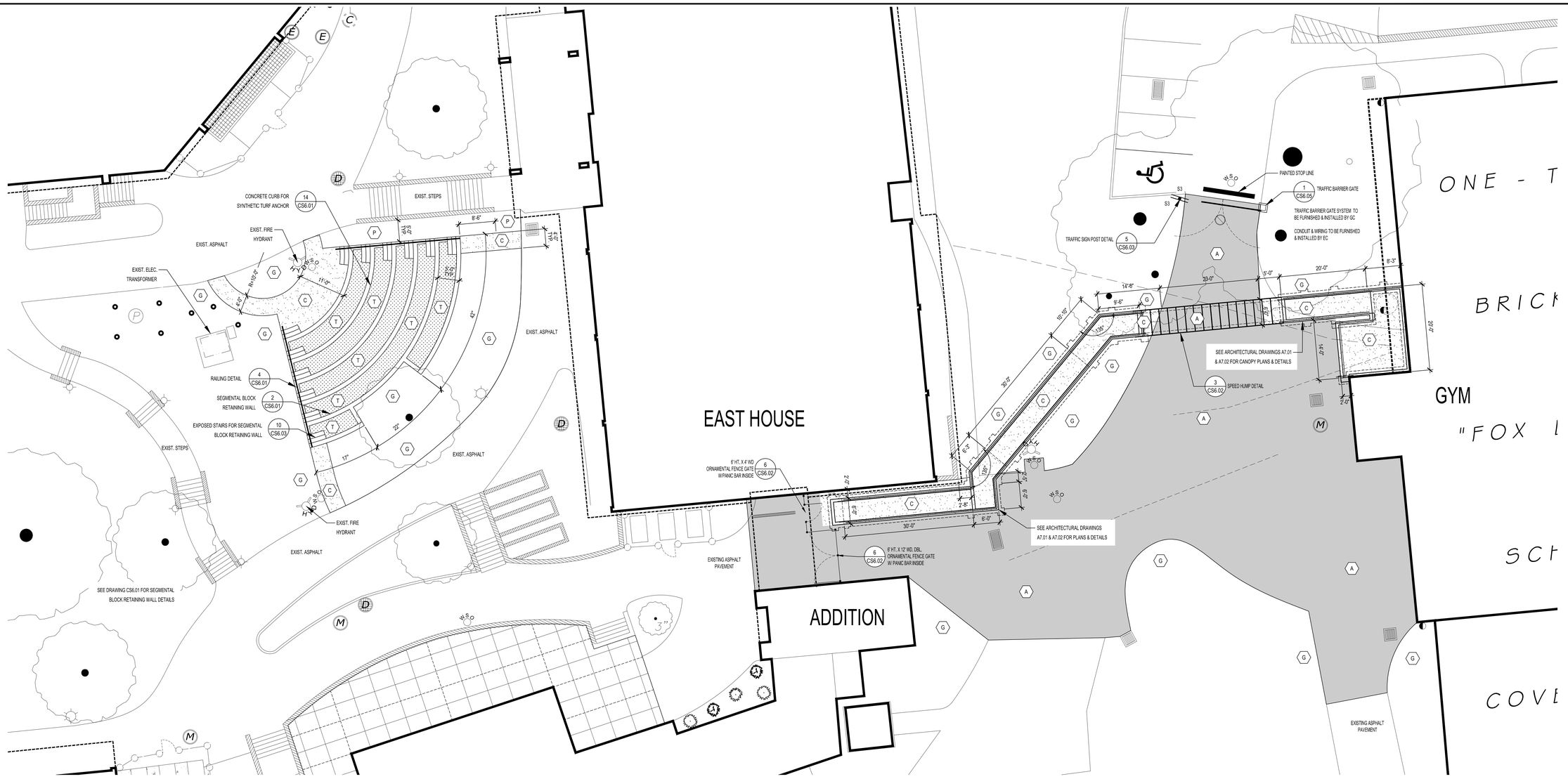

2 ENLARGEMENT PLAN - COURTYARD AMPHITHEATER & RAMP TO GYMNASIUM BUILDING

SCALE: 1"=10'-0"

REV.	DATE	ITEM

NOTICE

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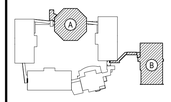

KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

ENLARGED PLANS -
COURTYARD AMPHITHEATER and WALKWAY RAMP

DRAWING BY: CTC
CHECK BY: JP

NOTICE

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SED No. 66-01-02-06-0-007-013

DISTRICT: BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT: PHASE 2 - BOND IMPROVEMENTS

DWG TITLE: ALIGNMENT AND SCHEDULE PLAN

SCALE: AS NOTED
DATE: APRIL 2024
BID PICK-UP: FEBRUARY 24, 2025
FILE No: 23-131b FLMS

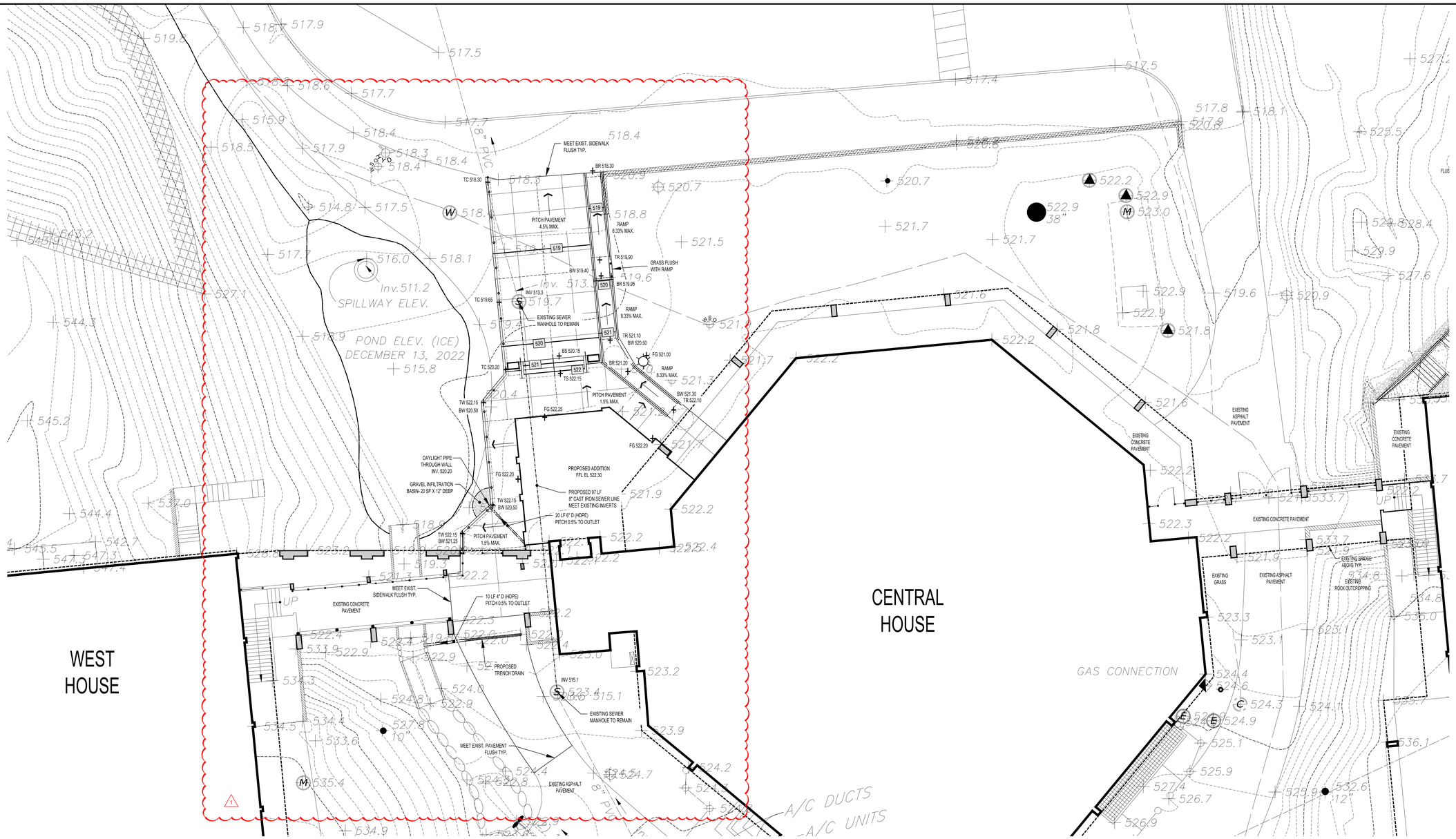
CS3.02 OF J

SYMBOL LEGEND

SYMBOL	DESCRIPTION
	PROPOSED DRAINAGE PIPING (HDPE)
	PROPOSED UNDER-DRAIN PIPING (HDPE)
	PROPOSED UNDER-DRAIN PIPING WITH END CAP
29	PROPOSED CONTOUR
30	PROPOSED INDEX CONTOUR
	PAVEMENT PITCH DIRECTION
	PIPE SLOPE DIRECTION
+ 100.00	PROPOSED SPOT ELEVATION
55	EXISTING SPOT CONTOUR
55.00	EXISTING SPOT ELEVATION
B50.00 T50.50	EXISTING SPOT ELEVATION

GENERAL NOTES

1. ALL PAVED SURFACES SHALL PITCH 1% MIN. IN THE DIRECTION OF THE NEAREST DRAIN INLET OR THE DIRECTION AS SHOWN ON THE PLANS.
2. ALL PAVED SURFACES ON AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM CROSS PITCH OF 2% UNLESS OTHERWISE NOTED. OUTSIDE OF ACCESSIBLE ROUTES THE PITCH SHALL NOT EXCEED 5%.
3. INDICATED SPOT GRADES REPRESENT FINISHED GRADES UNLESS OTHERWISE NOTED.
4. LANDSCAPED AREAS SHALL BE GRADED FLUSH WITH THE TOP OF CURBS AND PAVEMENTS TO MEET EXISTING GRADE EXCEPT WHERE OTHERWISE NOTED.
5. CAUTION SHALL BE EXERCISED DURING GRADING OPERATIONS SO AS NOT TO RAISE OR LOWER GRADE IN THE VICINITY OF EXISTING TREES TO THE EXTENT THAT ROOTS ARE EXPOSED OR BURIED.
6. ALL NEW PAVEMENT AREAS TO BE INSTALLED TO SMOOTH, EVEN GRADE. CORRECT LOW SPOTS AND GRADE DISCREPANCIES BY FILLING AND CUTTING AS REQUIRED.
7. MEET EXISTING GRADES AT PROPERTY LINES AND LIMIT OF WORK LINES WHERE INDICATED.
8. ALL EXISTING UTILITIES MAY NOT BE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES, CLEARLY MARK AND PROTECT DURING EXCAVATION.
9. SEE DRAWING CS600 SERIES DRAWINGS FOR PAVING AND DRAINAGE DETAILS.
10. DRAINAGE AND SANITARY PIPE LAYING LENGTHS ARE MEASURED TO THE CENTERLINE OF MANHOLES AND TO THE INSIDE FACE OF CATCH BASINS AND DRAIN INLETS.
11. CONTRACTOR SHALL CLEAN EXISTING DRAINAGE STRUCTURES AND PIPES TO REMAIN OF ALL SILT AND DEBRIS AS SHOWN.



1 GRADING, DRAINAGE & SEWER ENLARGEMENT PLAN - NEW ADDITION

SCALE: 1"=10'-0"

REV.	DATE	ITEM
01	03/19/25	BID ADD. NO. 04

NOTICE

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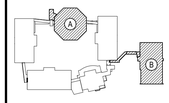

KEY PLAN

NOT TO SCALE

PROJECT: BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE: GRADING, DRAINAGE & SEWER ENLARGEMENT PLANS
NEW ADDITION

DRAWING BY: CTC
CHECK BY: JP

NOTICE

BBS
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LANDSCAPE ARCHITECTS
ENGINEERS

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SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	GRADING, DRAINAGE & SEWER ENLARGEMENT PLAN
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

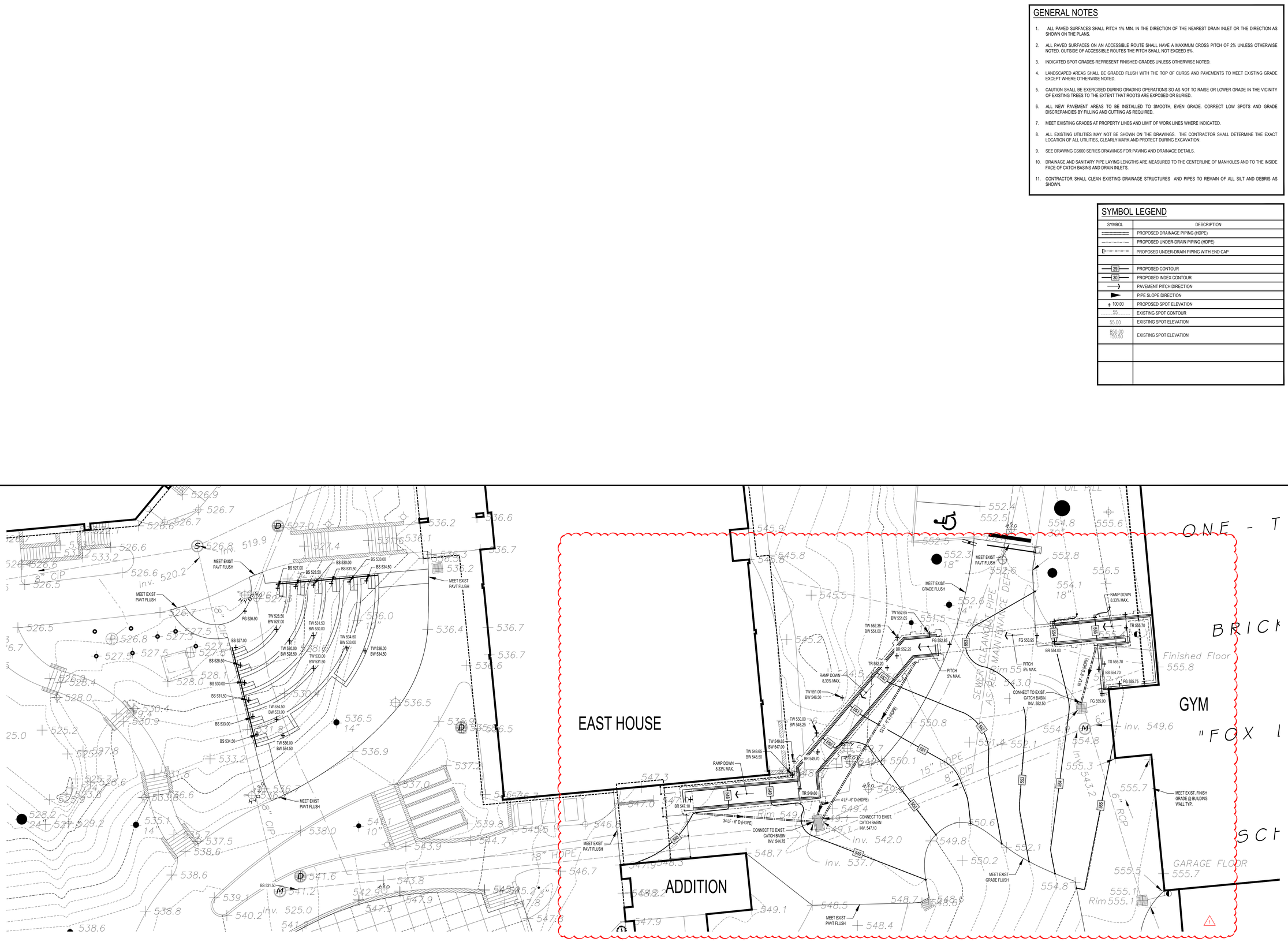
CS3.03 OF J

GENERAL NOTES

1. ALL PAVED SURFACES SHALL PITCH 1% MIN. IN THE DIRECTION OF THE NEAREST DRAIN INLET OR THE DIRECTION AS SHOWN ON THE PLANS.
2. ALL PAVED SURFACES ON AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM CROSS PITCH OF 2% UNLESS OTHERWISE NOTED. OUTSIDE OF ACCESSIBLE ROUTES THE PITCH SHALL NOT EXCEED 5%.
3. INDICATED SPOT GRADES REPRESENT FINISHED GRADES UNLESS OTHERWISE NOTED.
4. LANDSCAPED AREAS SHALL BE GRADED FLUSH WITH THE TOP OF CURBS AND PAVEMENTS TO MEET EXISTING GRADE EXCEPT WHERE OTHERWISE NOTED.
5. CAUTION SHALL BE EXERCISED DURING GRADING OPERATIONS SO AS NOT TO RAISE OR LOWER GRADE IN THE VICINITY OF EXISTING TREES TO THE EXTENT THAT ROOTS ARE EXPOSED OR BURIED.
6. ALL NEW PAVEMENT AREAS TO BE INSTALLED TO SMOOTH, EVEN GRADE. CORRECT LOW SPOTS AND GRADE DISCREPANCIES BY FILLING AND CUTTING AS REQUIRED.
7. MEET EXISTING GRADES AT PROPERTY LINES AND LIMIT OF WORK LINES WHERE INDICATED.
8. ALL EXISTING UTILITIES MAY NOT BE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES, CLEARLY MARK AND PROTECT DURING EXCAVATION.
9. SEE DRAWING CS600 SERIES DRAWINGS FOR PAVING AND DRAINAGE DETAILS.
10. DRAINAGE AND SANITARY PIPE LAYING LENGTHS ARE MEASURED TO THE CENTERLINE OF MANHOLES AND TO THE INSIDE FACE OF CATCH BASINS AND DRAIN INLETS.
11. CONTRACTOR SHALL CLEAN EXISTING DRAINAGE STRUCTURES AND PIPES TO REMAIN OF ALL SILT AND DEBRIS AS SHOWN.

SYMBOL LEGEND

SYMBOL	DESCRIPTION
	PROPOSED DRAINAGE PIPING (HDPE)
	PROPOSED UNDER-DRAIN PIPING (HDPE)
	PROPOSED UNDER-DRAIN PIPING WITH END CAP
29	PROPOSED CONTOUR
30	PROPOSED INDEX CONTOUR
	PAVEMENT PITCH DIRECTION
	PIPE SLOPE DIRECTION
+ 100.00	PROPOSED SPOT ELEVATION
55	EXISTING SPOT CONTOUR
55.00	EXISTING SPOT ELEVATION
B50.00 T50.50	EXISTING SPOT ELEVATION



1 GRADING ENLARGEMENT PLAN - COURTYARD AMPHITHEATER & RAMP TO GYMNASIUM BUILDING

SCALE: 1"=10'-0"

REV.	DATE	ITEM
01	03/19/25	BID ADD. NO. 04

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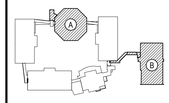

KEY PLAN

NOT TO SCALE

PROJECT: BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE: GRADING & DRAINAGE ENLARGEMENT PLANS
COURTYARD AMPHITHEATER & RAMP TO GYMNASIUM BUILDING

DRAWING BY: CTC
CHECK BY: JP

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SED No. 66-01-02-06-0-007-013

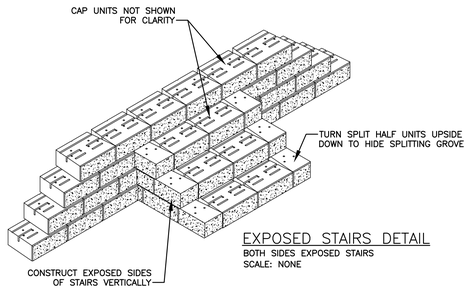
DISTRICT: BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT: PHASE 2 - BOND IMPROVEMENTS

DWG TITLE: GRADING & DRAINAGE ENLARGEMENT PLANS

SCALE: AS NOTED
DATE: APRIL 2024
BID PICK-UP: FEBRUARY 24, 2025
FILE No: 23-131b FLMS

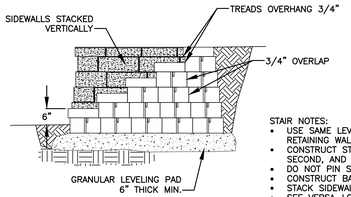
CS3.04 OF J



EXPOSED STAIRS DETAIL
BOTH SIDES EXPOSED STAIRS
SCALE: NONE

13 EXPOSED STAIRS FOR SEGMENTAL BLOCK RETAINING WALL

SCALE: N.T.S.

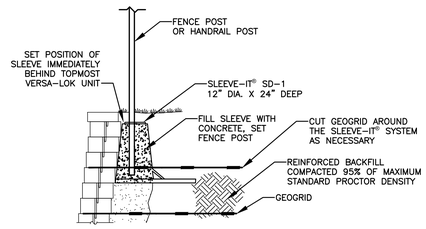


STAIR RISER DETAIL
BASE PEDESTAL METHOD
SCALE: NONE

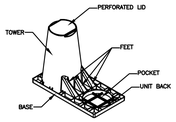
STAIR NOTES:
- USE SAME LEVELING PAD MATERIAL FOR STAIR PEDESTAL AS RETAINING WALL
- CONSTRUCT STAIR RISERS FIRST, INSTALL CAPS FOR TREADS SECOND, AND THEN INSTALL SIDEWALLS LAST
- DO NOT PIN STAIR UNITS
- CONSTRUCT BASE PEDESTAL IN 4 TO 5 RISER INCREMENTS
- STACK SIDEWALLS VERTICALLY, WITHOUT PINNING
- SEE VERSA-LOK TECH BULLETIN 2 FOR ADDITIONAL STAIR CONSTRUCTION DETAILS

12 STAIR RISER DETAIL FOR SEGMENTAL BLOCK RETAINING WALL

SCALE: N.T.S.



FENCE POST DETAIL W/ SLEEVE-IT® SD-1
STANDARD UNIT WITH SLEEVE-IT® SD-1
SCALE: NONE



SLEEVE-IT® SD-1
SYSTEM COMPONENTS
SCALE: NONE

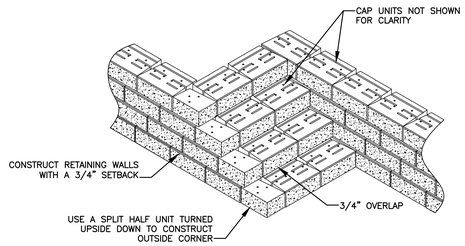
SEE SLEEVE-IT® SYSTEM MANUFACTURER, STRATA SYSTEMS FOR COMPLETE SPECIFICATIONS, AND TECHNICAL GUIDANCE

11 FENCE POST DETAIL FOR SEGMENTAL BLOCK RETAINING WALL

SCALE: N.T.S.

PAVEMENT SCHEDULE

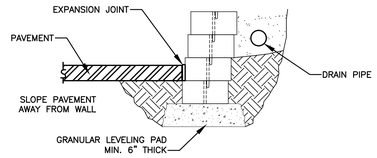
MARK	CONSTRUCTION	NOTES
A	1.5" TYPE 6 ASPHALT TOP 3.5" TYPE 3 ASPHALT BINDER PREPARING FINE GRADE 6" RCA BASE COURSE COMPACTED SUBGRADE (MIN. 95% DRY DENSITY)	NEW FULL DEPTH ASPHALT PAVEMENT ROADWAY
A1	1.5" ASPHALT TOP COURSE MILL 1.5" FROM EXIST. PAVEMENT SWEEP CLEAN, FILL & SEAL CRACKS EXISTING ASPHALT PAVEMENT	MILL AND CAP EXISTING ASPHALT PAVEMENT
T	SYNTHETIC GRASS w/ THATCH 1.5" MIN. POLYETHYLENE FOAM RESILIENT BASE 4 OZ. GEOTEXTILE FABRIC 6" COMPACTED RCA BASE COMPACTED SUBGRADE	SYNTHETIC GRASS
A3	ASPHALT EMULSION SEALCOAT 30 GALS / 1,000 SQUARE FEET SURFACE PREPARATION - CRACK FILLING / SEALING EXISTING ASPHALT PAVEMENT	SEALCOATING EXISTING PAVEMENT
C	LIGHT BROOM FINISH EXPANSION JOINT AS SHOWN 4" CONC. SLAB w/ 6"x6" W4.0 x W4.0 WWF 6" MIN. SELECT GRANULAR FILL COMPACTED SUBGRADE (MIN. 95% DRY DENSITY)	CEMENT CONCRETE PAVEMENT AND WALKWAYS
C1	STIFF BROOM FINISH 6" CONC. SLAB W/ #4 BARS AT 12" O.C.E.W. EXPANSION JOINT AS SHOWN 6" MIN. RCA BASE COURSE (MIN. 95% DRY DENSITY) COMPACTED SUBGRADE (MIN. 95% DRY DENSITY)	CEMENT CONCRETE BLEACHER PADS AND CONTAINER, DUMPSTER OR SERVICE ACCESS PADS
G	GRASS SEED (GENERAL MIX) 6" REHANDLED TOPSOIL (LIGHTLY ROLLED) ROLLED SUBGRADE (MAX. 80% DRY DENSITY)	NEW FIELD AREAS RE-HANDLED TOPSOIL IS EXISTING STRIPPED TOPSOIL FROM STOCKPILE(S)
G1	GRASS SEED (HYDROSEED) PREPARED SEED BED LOOSEN TOPSOIL 4" MIN. SUBGRADE	DISTURBED AREAS
P	3" DOUBLE SHREDDED DARK WOOD CHIP MULCH WEED CONTROL FABRIC 10" SCREENED / BLENDED TOPSOIL ROLLED SUBGRADE (MAX. 80% DRY DENSITY)	PLANT BEDS



EXPOSED STAIRS DETAIL
ONE SIDE EXPOSED STAIRS
SCALE: NONE

10 EXPOSED STAIRS FOR SEGMENTAL BLOCK RETAINING WALL

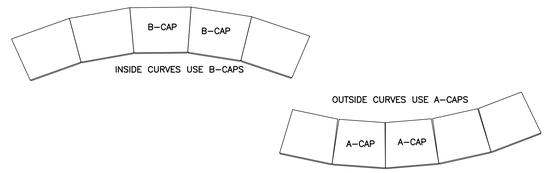
SCALE: N.T.S.



PAVEMENT AT BASE OF WALL
SCALE: NONE

9 PAVEMENT AT BASE OF SEGMENTAL BLOCK RETAINING WALL

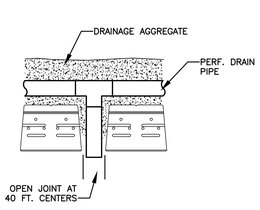
SCALE: N.T.S.



CAPPING DETAIL-PLAN VIEW
CURVES
SCALE: NONE

8 CAPPING DETAIL FOR SEGMENTAL BLOCK RETAINING WALL

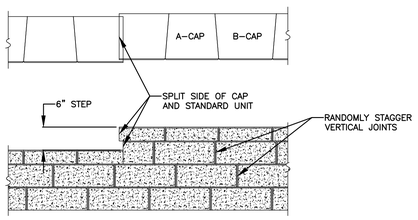
SCALE: N.T.S.



DRAIN DETAIL
SCALE: NONE

6 DRAIN DETAIL FOR SEGMENTAL BLOCK RETAINING WALL

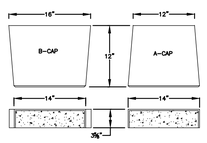
SCALE: N.T.S.



CAPPING DETAIL-PROFILE
STEP AT TOP OF WALL
SCALE: NONE

5 CAPPING DETAIL FOR SEGMENTAL BLOCK RETAINING WALL

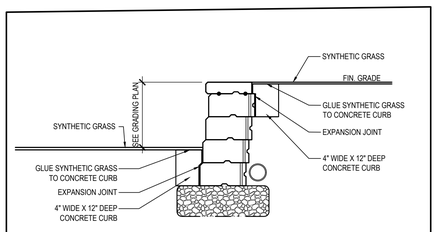
SCALE: N.T.S.



VERSA-LOK CAP UNITS
UNIT DIMENSIONS
SCALE: NONE

7 CAP UNITS FOR SEGMENTAL BLOCK RETAINING WALL

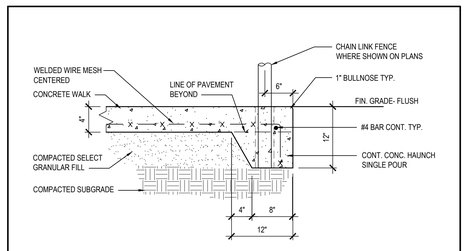
SCALE: N.T.S.



14 CONCRETE CURB FOR SYNTHETIC GRASS ANCHOR

SCALE: N.T.S.

REV: 1/2020

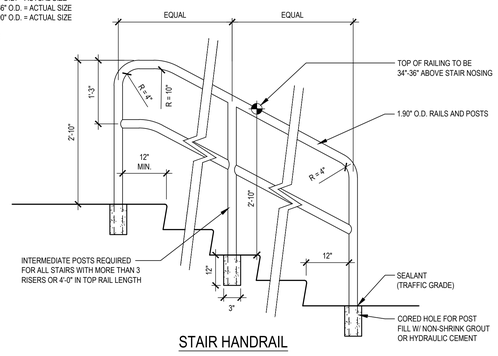


1 CONCRETE HAUNCH

SCALE: N.T.S.

3/4" O.D. = NPS SIZE = 1.05" O.D. = ACTUAL SIZE
1 1/4" O.D. = NPS SIZE = 1.66" O.D. = ACTUAL SIZE
1 1/2" O.D. = NPS SIZE = 1.90" O.D. = ACTUAL SIZE

NPS = NOMINAL PIPE SIZE



STAIR HANDRAIL

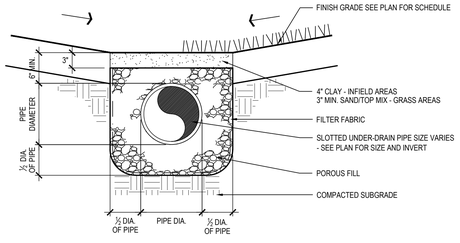
RAILING NOTES:

1. SEE SPECIFICATIONS FOR RAILING MATERIALS.
2. PROVIDE ALL WELDED CONNECTIONS. WELDS SHALL BE GROUND SMOOTH, AND SHALL NOT HAVE ANY VOIDS OR SHARP EDGES.
3. RAILINGS SHALL BE 1.90" OD X 0.140" WT. PROVIDE UPPER AND MID-RAILS, AND SMOOTH RADIUS BENDS AT ALL CORNERS, AS SHOWN ON THE PLANS.
4. PROVIDE ALL NEW RAILINGS WITH A PAINTED FINISH (1 COAT PRIMER AND 2 FINISH COATS). COLOR SHALL BE SELECTED BY OWNER.
5. RAILING HEIGHT SHALL BE AS SHOWN ON THE PLANS. MINIMUM PERMISSIBLE HEIGHT IS 2'-10". MAXIMUM PERMISSIBLE HEIGHT IS 3'-0".
6. WHERE SHOWN ON THE PLANS. FILL ANNULAR SPACE BETWEEN SLEEVES AND POSTS WITH NON-SHRINK GROUT. PROVIDE SEALANT AT TOP OF SLEEVES, AROUND ENTIRE PERIMETER OF POST.

REV: 1/2020

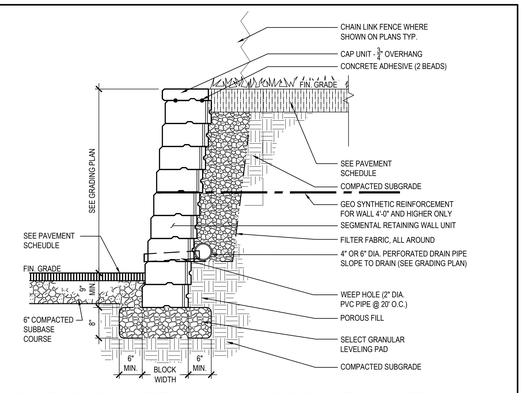
4 RAILING DETAIL

SCALE: N.T.S.



3 TYPICAL UNDER-DRAIN DETAIL

SCALE: N.T.S.



2 SEGMENTAL BLOCK RETAINING WALL - TYPE B (4' HT. & HIGHER)

SCALE: N.T.S.

REV: 1/2020

REV.	DATE	ITEM

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KEY PLAN
NOT TO SCALE

PROJECT
BEDFORD CENTRAL SCHOOL DISTRICT
CAPITAL IMPROVEMENTS - BOND PHASE 2
ALL SCHOOLS
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE
SITE DETAILS

DRAWING BY: CTC
CHECK BY: SG

BBS
ARCHITECTS
LANDSCAPE ARCHITECTS
ENGINEERS

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SED No. 66-01-02-06-0-007-013
DISTRICT: BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT: CAPITAL IMPROVEMENTS - BOND PHASE 2
DWG TITLE: SITE DETAILS

SCALE: AS NOTED
DATE: APRIL 2024
BID PICK-UP: FEBRUARY 24, 2025
FILE No: 23-131

CS6.01

FENCE / GATE FOOTING SCHEDULE

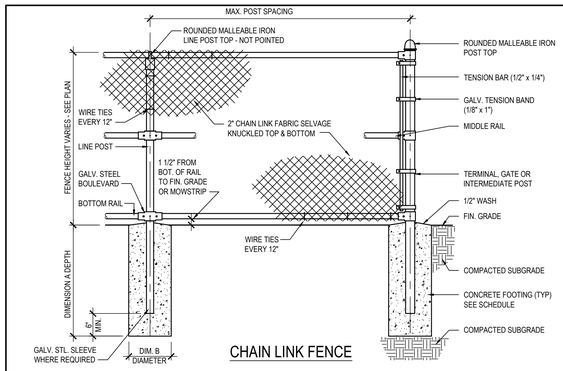
	4'-0" HEIGHT		6'-0" HEIGHT		8'-0" HEIGHT		10'-0" AND 12'-0" HEIGHT	
POST TYPE	DIM. 'A'	DIM. 'B'	DIM. 'A'	DIM. 'B'	DIM. 'A'	DIM. 'B'	DIM. 'A'	DIM. 'B'
LINE	3'-0"	12" DIA.	3'-0"	12" DIA.	3'-0"	15" DIA.	3'-6"	18" DIA.
GATE	3'-6"	15" DIA.	3'-6"	18" DIA.	3'-6"	18" DIA.	4'-0"	18" DIA.
CORNER / TERMINAL	3'-6"	15" DIA.	3'-6"	18" DIA.	3'-6"	18" DIA.	4'-0"	24" DIA.

SCHEDULE OF FENCE / GATE MEMBERS

FENCE HEIGHT	LINE POST		TERMINAL GATE, INTERMEDIATE POST		RAILS
	PIPE SIZE (O.D.)	SPACING (MAX.)	PIPE SIZE (O.D.)	SPACING (MAX.)	PIPE SIZE (O.D.)
4'-0"	2"	6'-0" O.C.	2½"	6'-0" O.C.	1⅝"
6'-0"	2½"	8'-0" O.C.	3"	8'-0" O.C.	1⅝"
8'-0"	2½"	8'-0" O.C.	3"	8'-0" O.C.	1⅝"
10'-0"	3"	10'-0" O.C.	4"	10'-0" O.C.	1⅝"
12'-0"	4"	10'-0" O.C.	4"	10'-0" O.C.	1⅝"

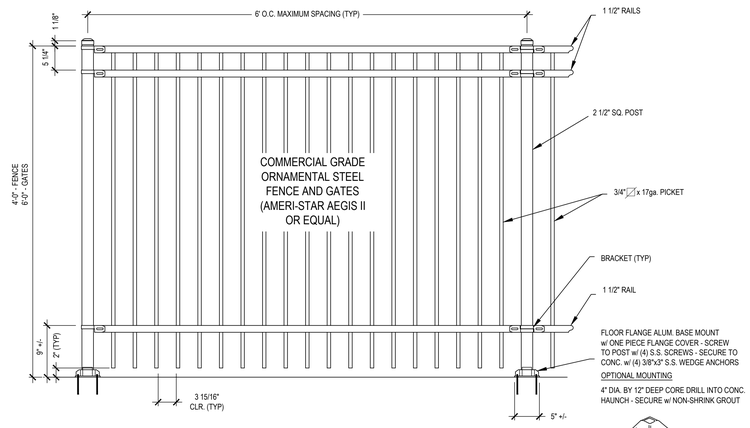
NOTES:

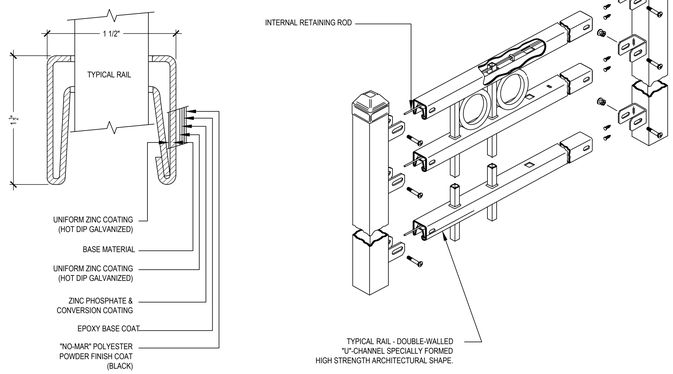
1. POSTS AND RAILS SHALL BE SCHEDULE 40 IN ACCORDANCE WITH ASTM F-1083.
2. FURNISH HOLD OPEN @ 180° FOR ALL GATES.
3. SEE WRITTEN SPECIFICATIONS FOR ADDITIONAL FENCE SPECIFICATIONS.
4. CHINESE PARTS, FITTINGS AND COMPONENTS SHALL NOT BE USED.
5. ALL FENCE SELVAGE (FABRIC) SHALL BE 6 GA., BLACK POLYESTER VINYL COATED.
6. ALL FENCE COMPONENTS SHALL BE BLACK PVC COATED (THERMALLY FUSED).



9 CHAIN LINK FENCE AND GATES

SCALE: N.T.S.

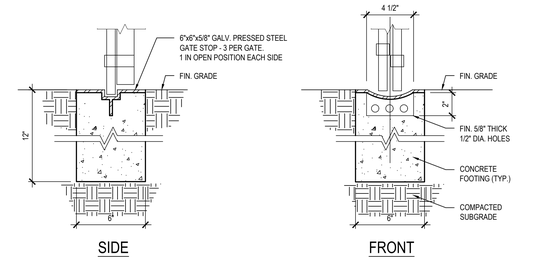




6 ORNAMENTAL FENCE AND GATES

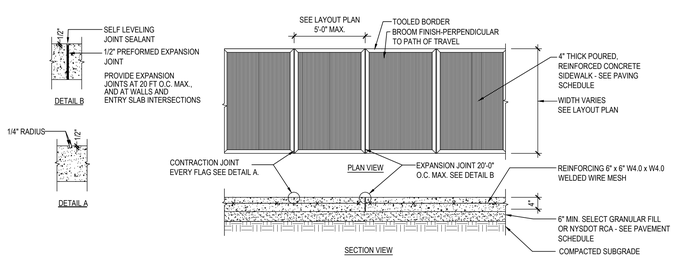
NOTE: ALL GATES SHALL SWING OUT AND BE FITTED WITH PUSH BAR PANIC HARDWARE, SIMILAR TO YALE 1800 SERIES OR EQUAL

SCALE: N.T.S.



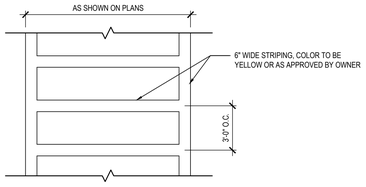
8 CENTER BLOCK FOR GATE DROP ROD

SCALE: N.T.S.



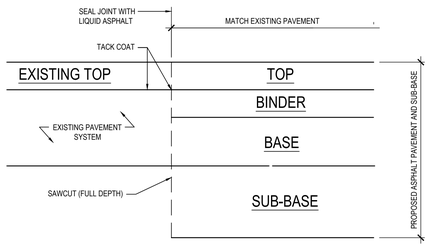
7 CONCRETE WALK DETAIL

SCALE: N.T.S.



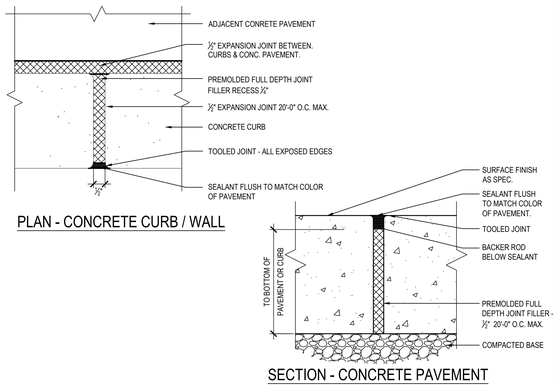
5 CROSSWALK DETAIL

SCALE: N.T.S.



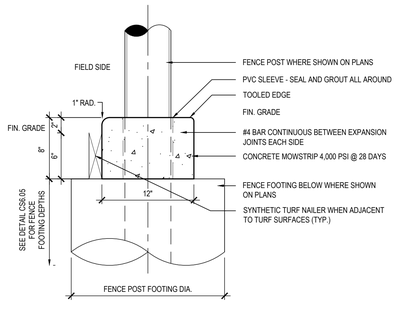
4 PAVEMENT JOINT DETAIL

SCALE: N.T.S.



2 EXPANSION JOINT DETAIL

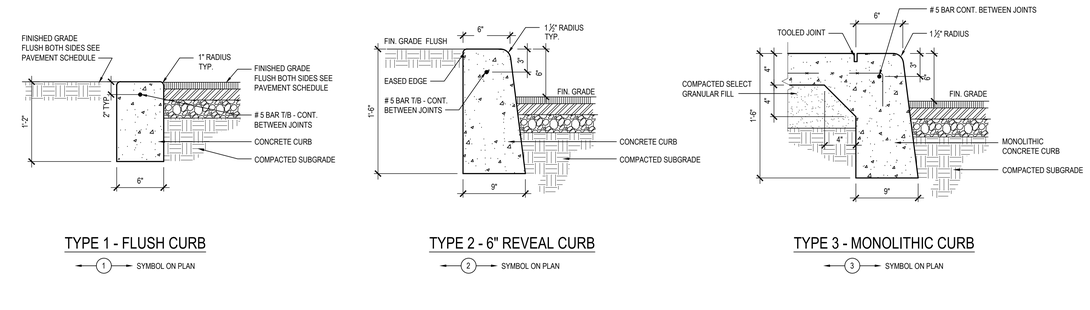
SCALE: N.T.S.



10 TYPE 4 MOW STRIP DETAIL

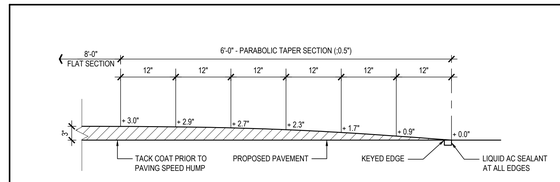
4 SYMBOL ON PLAN

SCALE: N.T.S.



1 CONCRETE CURBS

SCALE: N.T.S



3 SPEED HUMP DETAIL

SCALE: N.T.S.

REV.	DATE	ITEM

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KEY PLAN

NOT TO SCALE

PROJECT: BEDFORD CENTRAL SCHOOL DISTRICT
CAPITAL IMPROVEMENTS - BOND PHASE 2
ALL SCHOOLS
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE: SITE DETAILS

DRAWING BY: CTC
CHECK BY: SG

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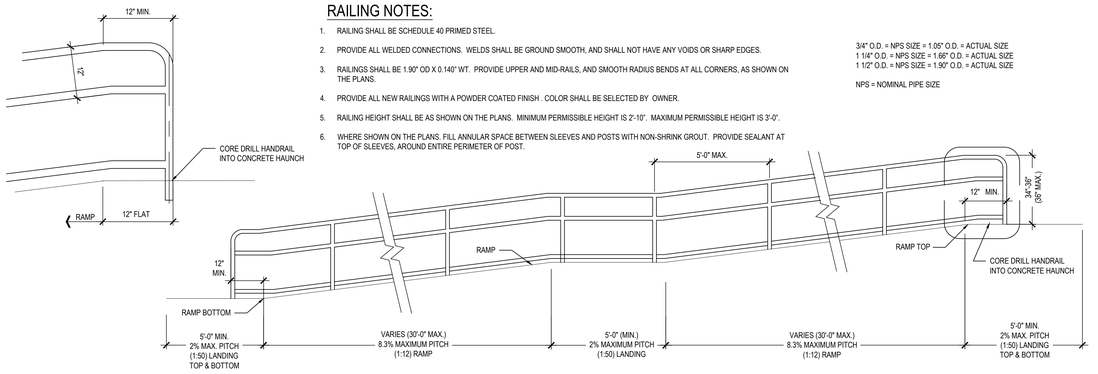
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	CAPITAL IMPROVEMENTS - BOND PHASE 2
DWG TITLE	SITE DETAILS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP.	FEBRUARY 24, 2025
FILE No:	23-131

CS6.02



RAILING NOTES:

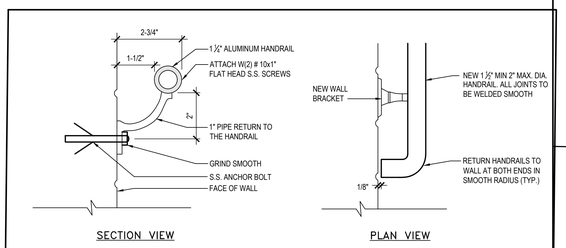
1. RAILING SHALL BE SCHEDULE 40 PRIMED STEEL.
2. PROVIDE ALL WELDED CONNECTIONS. WELDS SHALL BE GROUND SMOOTH, AND SHALL NOT HAVE ANY VOIDS OR SHARP EDGES.
3. RAILINGS SHALL BE 1.90" OD X 0.140" WT. PROVIDE UPPER AND MID-RAILS, AND SMOOTH RADIUS BENDS AT ALL CORNERS, AS SHOWN ON THE PLANS.
4. PROVIDE ALL NEW RAILINGS WITH A POWDER COATED FINISH . COLOR SHALL BE SELECTED BY OWNER.
5. RAILING HEIGHT SHALL BE AS SHOWN ON THE PLANS. MINIMUM PERMISSIBLE HEIGHT IS 2'-10". MAXIMUM PERMISSIBLE HEIGHT IS 3'-0".
6. WHERE SHOWN ON THE PLANS. FILL ANNULAR SPACE BETWEEN SLEEVES AND POSTS WITH NON-SHRINK GROUT. PROVIDE SEALANT AT TOP OF SLEEVES, AROUND ENTIRE PERIMETER OF POST.

3/4" O.D. = NPS SIZE = 1.05" O.D. = ACTUAL SIZE
1 1/4" O.D. = NPS SIZE = 1.66" O.D. = ACTUAL SIZE
1 1/2" O.D. = NPS SIZE = 1.90" O.D. = ACTUAL SIZE

NPS = NOMINAL PIPE SIZE

12 RAMP ELEVATION / TYPICAL HANDRAIL DETAIL

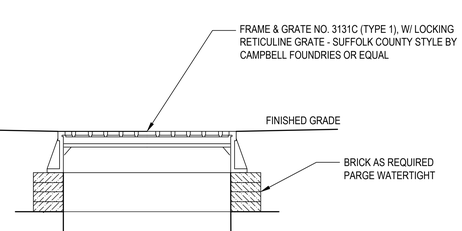
SCALE: N.T.S.



11 WALL MOUNTED HANDRAIL DETAIL

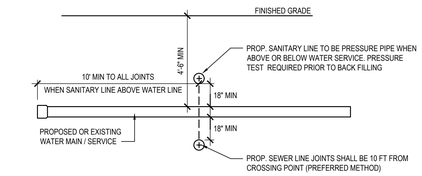
SCALE: N.T.S.

ALL CAST IRON DRAINAGE COMPONENTS SHALL BE MADE IN THE UNITED STATES OF AMERICA



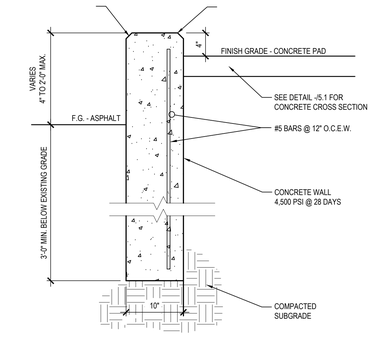
10 TYPE 2 FRAME AND GRATE FOR DRAINS

SCALE: N.T.S.



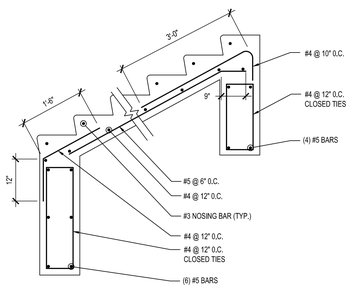
9 SANITARY / WATER CROSSING DETAIL

SCALE: N.T.S.



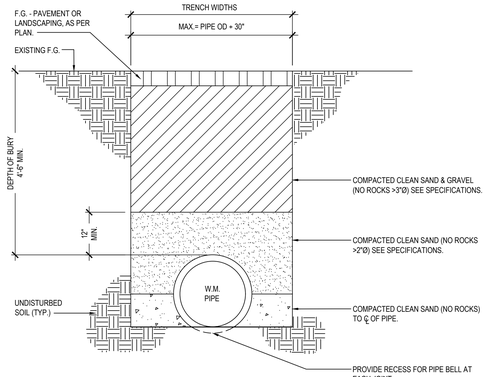
8 CHEEK WALL DETAIL

SCALE: N.T.S.



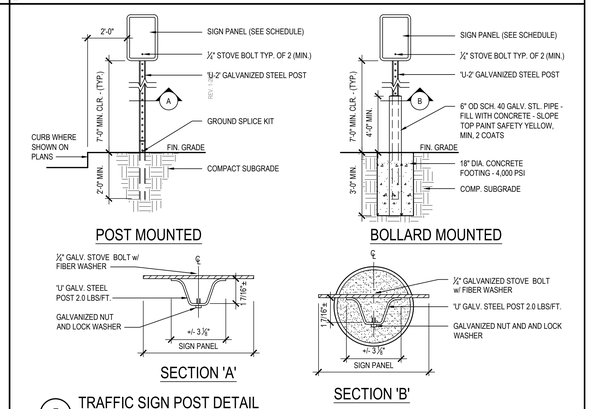
7 TYPICAL STAIR REINFORCEMENT

SCALE: N.T.S.



6 TYPICAL WATER PIPE TRENCH DETAIL

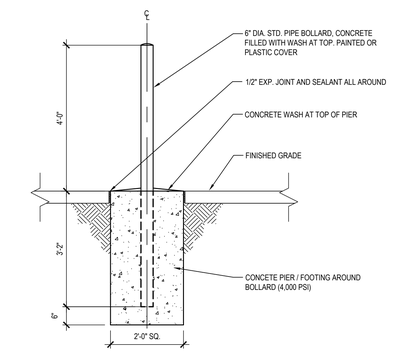
SCALE: N.T.S.



5 TRAFFIC SIGN POST DETAIL

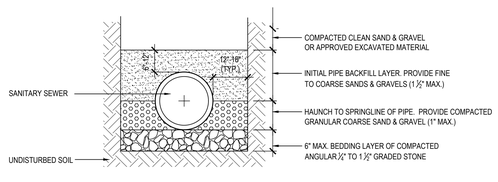
NOTE: ALL SIGNS LOCATED IN PAVEMENT OR WALKS SHALL BE BOLLARD MOUNTED STYLE. ALL POSTS IN PAVEMENT SHALL BE CORED AND MOUNTED IN A SCHEDULE 40 PVC SLEEVE.

SCALE: N.T.S.



4 STEEL BOLLARD

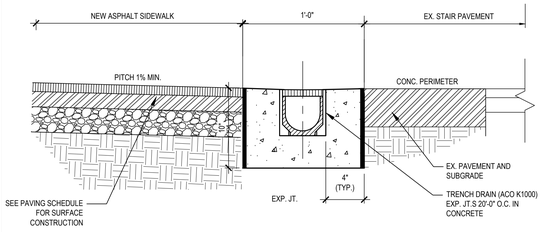
SCALE: N.T.S.



3 TYPICAL SECTION at SANITARY SEWER

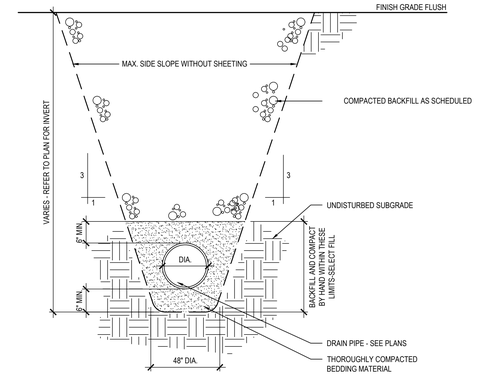
NOTE: ALL COMPACTION SHALL BE TO 95% OF PROCTOR DENSITY AT OPTIMUM MOISTURE CONTENT.

SCALE: N.T.S.



2 TRENCH DRAIN DETAIL

SCALE: N.T.S.



1 STORM DRAIN TRENCH DETAIL

NOTE: INSTALL SHEETING AS REQUIRED OVER 5'-0" DEEP.

SCALE: N.T.S.

REV.	DATE	ITEM

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KEY PLAN

NOT TO SCALE

PROJECT: BEDFORD CENTRAL SCHOOL DISTRICT
CAPITAL IMPROVEMENTS - BOND PHASE 2
ALL SCHOOLS
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE: SITE DETAILS

DRAWING BY: CTC
CHECK BY: SG

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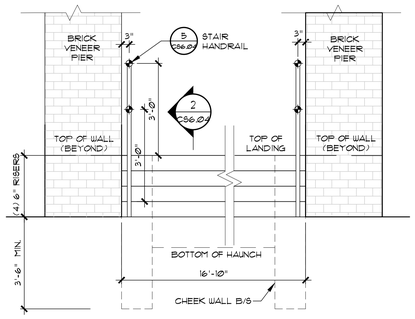
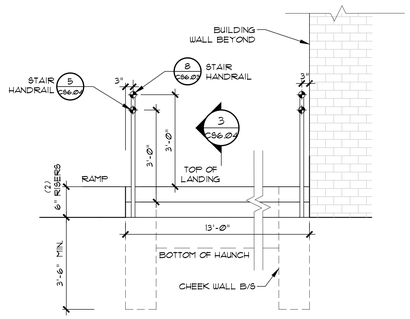
SCALE: AS NOTED
DATE: APRIL 2024
BID PICK-UP: FEBRUARY 24, 2025
FILE No: 23-131

CS6.03



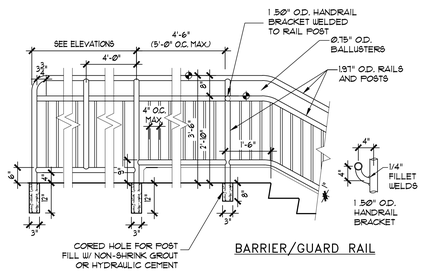
9 CS6.04 STAIR ELEVATION 1

SCALE: 1/2"= 1'-Ø"

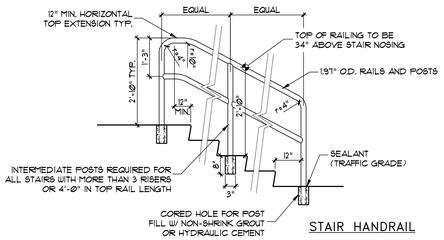


8 CS6.04 STAIR ELEVATION 2

SCALE: 1/2"= 1'-Ø"



BARRIER/GUARD RAIL



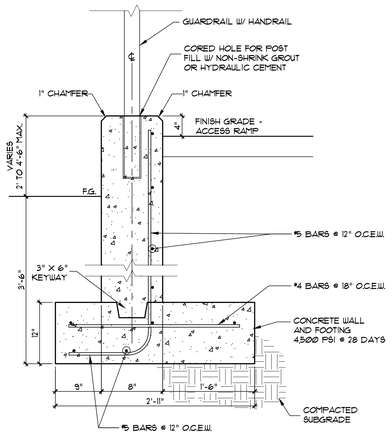
STAIR HANDRAIL

RAILING NOTES:

1. SEE SPECIFICATIONS FOR RAILING MATERIALS.
2. PROVIDE ALL WELDED CONNECTIONS. WELDS SHALL BE GROUND SMOOTH, AND SHALL NOT HAVE ANY VOIDS OR SHARP EDGES.
3. RAILINGS SHALL BE 1.91" OD X Ø.140" WT. PROVIDE UPPER AND MID-RAILS, AND SMOOTH RADIUS BENDS AT ALL CORNERS, AS SHOWN ON THE PLANS.
4. PROVIDE ALL NEW RAILINGS WITH A FACTORY APPLIED POLYESTER POUDER COAT FINISH.
5. RAILING HEIGHT SHALL BE AS SHOUN ON THE PLANS. MINIMUM PERMISIBLE HEIGHT IS 2'-10", MAXIMUM PERMISIBLE HEIGHT IS 3'-Ø".
6. WHERE SHOUN ON THE PLANS, FILL ANNULAR SPACE BETUEEN SLEEVES AND POSTS WITH NON-SHRINK GROUT. PROVIDE SEALANT AT TOP OF SLEEVES, AROUND ENTIRE PERIMETER OF POST.

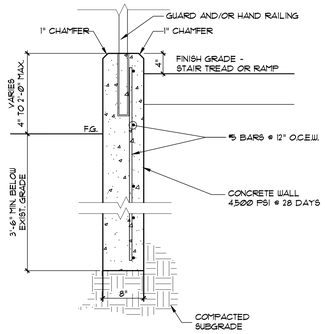
5 CS6.04 RAILING DETAILS

NOT TO SCALE



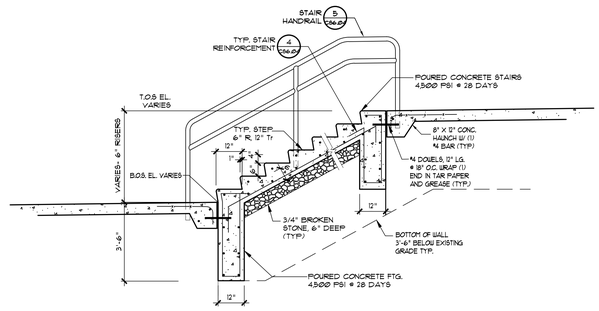
7 CS6.04 RAMP WALL 2 DETAIL

NOT TO SCALE



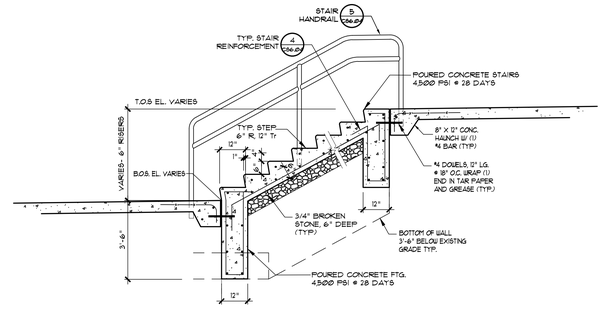
6 CS6.04 RAMP WALL 1 DETAIL

NOT TO SCALE



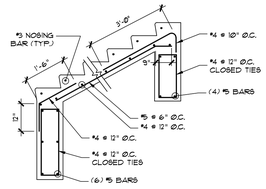
3 CS6.04 STAIR SECTION 2

SCALE: 1/2"= 1'-Ø"



2 CS6.04 STAIR SECTION 1

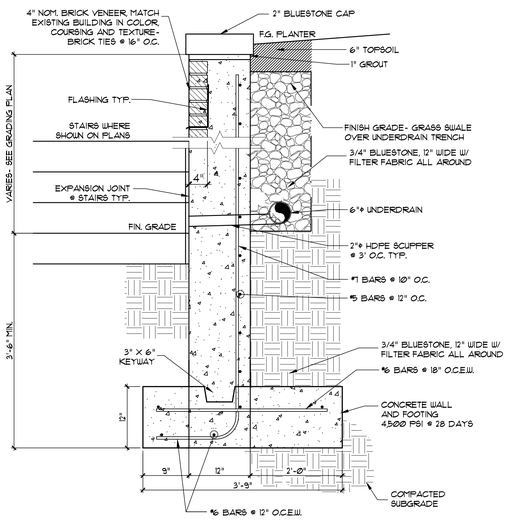
SCALE: 1/2"= 1'-Ø"



TYP. STAIR REINFORCEMENT

4 CS6.04

SCALE: 1/2"= 1'-Ø"

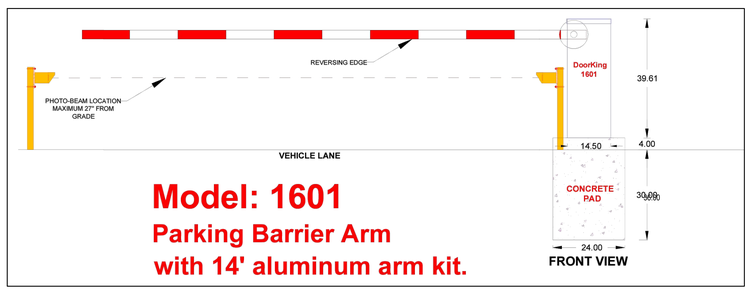


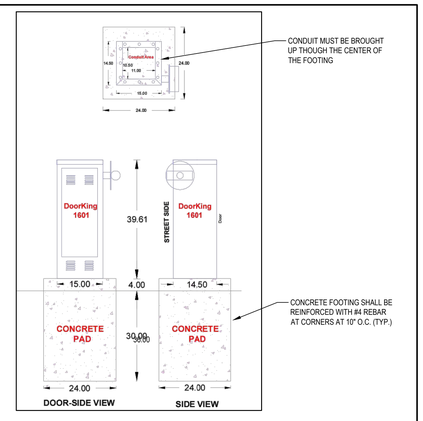
5 CS6.04 RETAINING WALL

SCALE: 1/2"= 1'-Ø"

TRAFFIC BARRIER GATE NOTES:

1. G.C. TO INSTALL GATE EQUIPMENT. ELECTRICAL CONTRACTOR TO SUPPLY POWER AS REQUIRED.
2. G.C. TO PROVIDE ALL REQUESTED GATE ACCESSORIES INCLUDING BUT NOT LIMITED TO REFLECTIVE PHOTOCELL WITH POSTS, LOOP DETECTORS, AND MANUAL REMOTE ACCESS CONTROLS. SUBMIT SHOP DRAWINGS FOR APPROVAL BY OWNER AND ARCHITECT.
3. G.C. TO PROVIDE AND INSTALL SURFACE MOUNTED ACCESS CONTROL PANEL SYSTEM, REMOTE CALL STATION SYSTEM AND CARD READER SYSTEM AS SPECIFIED.





1 TRAFFIC BARRIER GATE

NOTE: DOORKING MODEL 1601 OR APPROVED EQUAL. SEE SPECS AND ELEC. DRAWINGS.

SCALE: N.T.S

REV.	DATE	ITEM

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ALL SCHOOLS
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE: SITE DETAILS

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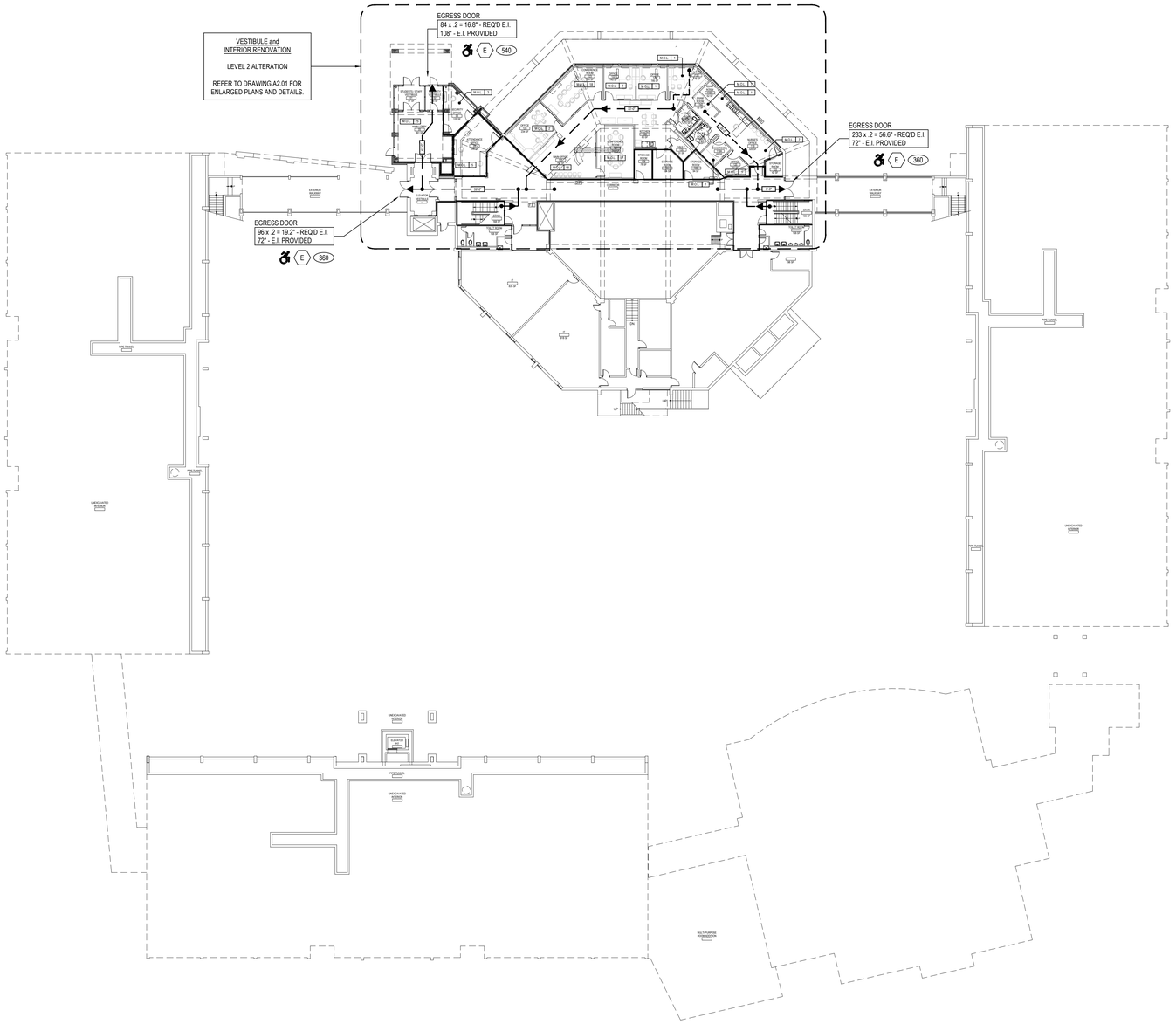
CS6.04



OVERALL LOWER LEVEL FLOOR PLAN

SCALE: 1" = 20'-0"

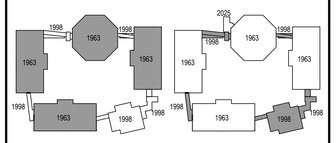
FIRE RESISTANCE RATING DESCRIPTIONS

REFER TO U.L. RATED ASSEMBLY DESCRIPTIONS AND DOCUMENTATION FOR COMPLETE RATED CONSTRUCTION AND FIRE RESISTANCE REQUIREMENTS.

	SMOKE PARTITION - (0) HR RATED CONSTRUCTION - CONSTRUCT PARTITION IN ACCORDANCE WITH IBC 2015 SECTION 710 SMOKE PARTITIONS. EXTEND FROM FINISHED FLOOR TO BOTTOM OF FLOOR/ROOF STRUCTURE ABOVE AND SEAL AT TOP, BOTTOM, AND ALL PENETRATIONS TO PROHIBIT THE PASSAGE OF SMOKE THROUGH EACH SMOKE COMPARTMENT.
	FIRE BARRIER - (1) HR RATED CONSTRUCTION U.L. RATED U905/U906 OR U419
	FIRE BARRIER - (2) HR RATED CONSTRUCTION U.L. RATED U905/U906 OR U419
	FIRE WALL - (2) HR RATED CONSTRUCTION U.L. RATED U905/U906
	STRUCTURAL FIRE PROTECTION REQUIREMENTS (NON-SPRINKLERED) PER SECTION 903.2.3, THE FOLLOWING SHALL BE PROVIDED: • 2 HR. HORIZONTAL FIRE BARRIER (UL D925) • 2 HR. FIRE RESISTANCE RATING (UL X632) AT ALL COLUMNS SUPPORTING THE SECOND FLOOR ONLY (COLUMN FIRE PROTECTION SHALL EXTEND FROM FINISH FIRST FLOOR TO TOP OF SECOND FLOOR SLAB).

- TYPICAL 8" CMU WALL ASSEMBLY
  SHALL CONFORM TO U.L. DESIGN U905. PROVIDES A MAXIMUM 2 HR. RATING. (REFER TO PLAN FOR ALL 1 HR. AND 2 HR. WALL ASSEMBLY LOCATIONS) TO INCLUDE: ALL CONCRETE BLOCK SHALL BE CLASSIFIED D-2 (2HR). CONTRACTOR TO PROVIDE ARCHITECT WITH WRITTEN CERTIFICATION FROM SUPPLIER. ALL MORTAR FOR BLOCK WORK SHALL BE LAID IN FULL BED, NORMAL ⅜" THICK. VERTICAL JOINTS TO BE STAGGERED..
- TYPICAL 5" GYP. BD. WALL ASSEMBLY
  SHALL CONFORM TO U.L. DESIGN U419. PROVIDES A MAXIMUM 1 HR. RATING. COMPOSITION TO BE 3½" METAL STUDS WITH (1) LAYER ⅝" FIRECODE GYP. BD, EACH SIDE. CONTRACTOR TO PROVIDE ARCHITECT WITH WRITTEN CERTIFICATION FROM SUPPLIER.
- WHERE APPLICABLE IN THE U.L. DESIGN, FIRE RATINGS SHALL BE ACHIEVED UTILIZING SPRAY APPLIED FIREPROOFING ON STRUCTURAL COMPONENTS AND/OR BY DECKING MATERIAL THICKNESS AND COVERAGE AS SPECIFIED IN DESIGNATED U.L. DESIGNS.
- D925/ P819 - 2 HR. RATED FLOOR AND ROOF CONSTRUCTION - SPRAY APPLIED FIREPROOFING SHALL BE "ISOLOTEK" BLAZE SHIELD II LOW DENSITY SPRAY APPLIED FIREPROOFING OR ARCHITECT APPROVED EQUAL. REFER TO SPECIFICATION SECTION 078100 FOR ADDITIONAL INFORMATION.
- X632 - 2 HR. RATED COLUMNS - AT ALL COLUMNS SUPPORTING THE SECOND FLOOR ONLY (COLUMN FIRE PROTECTION SHALL EXTEND FROM FINISH FIRST FLOOR TO TOP OF SECOND FLOOR SLAB). THIN-FILM INTUMESCENT FIELD APPLIED COATING(S) SHALL BE 'NULLIFIRE' S906 BASECOAT (AND TOP SEAL FOR ALL EXPOSED COLUMNS). PRIMER AND TOP SEAL MUST BE COMPATIBLE WITH BASECOAT SYSTEM. REFER TO SPECIFICATION SECTION 078100 FOR ADDITIONAL INFORMATION.
- FOR FIRESTOPPING PRODUCTS AND REQUIREMENTS, REFER TO SPECIFICATION SECTION 078413 AND SECTION 078443.

BUILDING ADDITION AREA KEY PLANS



ORIGINAL BUILDING DATE:	1963	ADDITION DATE:	1998
CONSTRUCTION TYPE:	IIB	CONSTRUCTION TYPE:	IIB
LOWER LEVEL FLOOR:	+/- 14,890 SF	LOWER LEVEL ADDITION:	+/- 3,050 SF
FIRST FLOOR:	+/- 38,840 SF	FIRST FLOOR ADDITION:	+/- 5,870 SF
SECOND FLOOR:	+/- 59,400 SF	SECOND FLOOR ADDITION:	+/- 17,245 SF
GROSS BUILDING:	+/- 113,130 SF	GROSS BUILDING(S):	+/- 165,460 SF

BUILDING FIRE AREA KEY PLAN

BUILDING '1' (EXISTING)
THREE STORIES
CONSTRUCTION TYPE: IIB
FIRE AREA (1): +/- 44,670 SF

BUILDING '2' (NEW)
ONE STORY
CONSTRUCTION TYPE: IIB
FIRE AREA (2): +/- 800 SF

APPLICABLE CODE

THE PROPOSED WORK IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT VERSION OF THE SED MANUAL OF PLANNING STANDARDS, THE 2020 COMPILATION OF THE INTERNATIONAL BUILDING CODE, NEW YORK STATE VERSION, IN CONJUNCTION WITH NEW YORK STATE 2016 AND 2017 CODE SUPPLEMENTS.

CODE COMPLIANCE SYMBOL LEGEND

SYMBOL	DESCRIPTION
F.E.	NEW OR EXISTING FIRE EXTINGUISHER
D.F.	NEW OR EXISTING DRINKING FOUNTAIN
S.D.	NEW OR EXISTING SMOKE DOOR
R.W.	RESCUE WINDOW LOCATION
360	DOOR / STAIR EXITING CAPACITY
E	INDICATES BUILDING ENTRANCE / EXIT
	INDICATES ACCESSIBLE ENTRANCE / EXIT
M	DOORS ON MAGNETIC AUTOMATIC HOLD OPEN DEVICE CONNECTED TO FIRE ALARM SYSTEM
4.7	REQUIRED EXIT UNITS FOR PLACES OF ASSEMBLY.
M.O.L. 45 P.S. 27	MAXIMUM OCCUPANCY LOAD AND PUPIL STATION COUNT (PER N.Y.S. BUILDING CODE) PUPIL STATION COUNT

GENERAL CODE COMPLIANCE NOTES

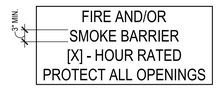
1. REFER TO E-SERIES DRAWINGS FOR ALL NEW / EXISTING LIFE SAFETY INFORMATION INCLUDING BUT NOT LIMITED TO PULL STATIONS, EMERGENCY EXIT LIGHTS, EMERGENCY EXIT SIGNS, ETC.
2. ALL NEW CORRIDOR WALLS SHALL BE CONSTRICTED TO ACHIEVE ONE (1) HOUR FIRE SEPARATION FROM ADJACENT SPACES. HOLD CMU 1" FROM DECK, PACK ALL VOIDS WITH SAFING INSULATION AND SEAL EACH SIDE WITH SPEED SPRAY CP 672 (TO A THICKNESS APPLICABLE TO THE WALL RATING) AS MANUFACTURED BY 'HILTI' TO PROVIDE AN UNDERWRITERS LABORATORY APPROVED FIRE RATED JOINT SYSTEM.
3. NEW CORRIDOR FINISHES SHALL BE CLASS 'A'.
4. NEW ROOF SYSTEM SHALL BE CLASS 'A'.

TRAVEL DISTANCE LEGEND

XXX'-XX" — COMMON PATH OF EGRESS TRAVEL DISTANCE - [XXX'-XX"] DENOTES TRAVEL DISTANCE FOR THE SEGMENT INDICATED PER IBC TABLE 1006.2.1

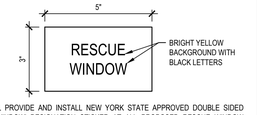
XXX'-XX" — EXIT ACCESS TRAVEL DISTANCE - [XXX'-XX"] DENOTES TRAVEL DISTANCE FOR THE SEGMENT INDICATED

FIRE RATED WALL IDENTIFICATION DETAIL



1. AS REQUIRED BY IBC SECTION 703.7, THE G.C. SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MARKING AND IDENTIFICATION SIGNS INDICATING, FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND OR SMOKE PARTITIONS AT ALL CONCEALED SPACES ABOVE ACCESSIBLE CEILINGS.
2. G.C. SHALL PROVIDE SIGNS WITHIN 15 FEET OF EACH END OF WALL AND AT INTERVALS OF 30 FEET MAX. HORIZONTALLY ALONG WALL.
3. PROVIDE SIGNS AS MANUFACTURED BY 'FIRE WALL SIGNS, INC.' OR ARCHITECT APPROVED EQUAL.
4. REFER TO CODE COMPLIANCE FLOOR PLANS FOR LOCATIONS AND APPLICABLE HOURLY DESIGNATIONS OF RATED WALL CONSTRUCTION.

RESCUE WINDOW LABEL DETAIL



1. G.C. SHALL PROVIDE AND INSTALL NEW YORK STATE APPROVED DOUBLE SIDED 'RESCUE WINDOW' DESIGNATION STICKER AT ALL PROPOSED RESCUE WINDOW LOCATIONS DESIGNATED AS "RW" ON THE DRAWINGS.
2. REFER TO CODE COMPLIANCE PLANS FOR ADDITIONAL INFORMATION/LOCATIONS. FINAL LOCATIONS TO BE COORDINATED IN THE FIELD WITH OWNER/ARCHITECT.
3. ANY NEW OR EXISTING WINDOW COVERINGS SHALL HAVE LABELS CLEARLY VISIBLE IN ADDITION TO IDENTIFICATION ON THE WINDOW SASH. IF STICKER CAN NOT BE AFFIXED TO WINDOW COVERINGS, THE IDENTIFICATION STICKER SHALL BE PERMITTED TO BE AFFIXED TO THE WALL IMMEDIATELY ADJACENT TO THE RESCUE WINDOW.
4. TEXT SHALL READ "RESCUE WINDOW" AND BE READABLE FROM INTERIOR AND EXTERIOR. ALL DOUBLE SIDED STICKERS SHALL BE INSTALLED ON INTERIOR SIDE OF WINDOW SASH. WHERE REFLECTIVE GLAZING IS PROVIDED, A STICKER SHALL BE PROVIDED ON EACH SIDE OF THE SASH.
5. STICKER SHALL BE BRIGHT YELLOW BACKGROUND WITH BLACK LETTERING.
6. PROVIDE WINDOW OPERATING INSTRUCTIONS ON HOW TO OPERATE RESCUE WINDOW IF NOT READILY APPARENT.
7. MINIMUM CLEAR OPENING FOR RESCUE WINDOWS IS 6 SF, WITH A 24" MINIMUM DIMENSION IN ANY DIRECTION. THE WINDOWS DESIGNATED AS RESCUE WINDOWS ON THESE DRAWINGS EXCEED SAID MINIMUM DIMENSIONS.

PLUMBING FIXTURE COUNT

MINIMUM REQUIRED (NYSBC SECTION 2902.1, NYSPC SECTION 403.1)
CLASSIFICATION: EDUCATIONAL, OCCUPANCY: E

WATER CLOSETS:	1 PER 50
LAVATORIES:	1 PER 50
DRINKING FOUNTAIN:	1 PER 100
SERVICE SINK:	1

TOTAL OCCUPANTS: 962 STUDENT ENROLLMENT. 100 PROPOSED STAFF.

2020 NYS BUILDING CODE REFERENCES

SECTION 1109.2.2 WATER CLOSET COMPARTMENT - 5% OF THE TOTAL NUMBER SHALL BE WHEELCHAIR ACCESSIBLE.

SECTION 1109.2.3 LAVATORIES - 5% OF THE TOTAL NUMBER SHALL BE WHEELCHAIR ACCESSIBLE.

SECTION 1109.5.2 DRINKING FOUNTAINS - 50% OF THE TOTAL NUMBER PROVIDED SHALL COMPLY WITH ICC A117.1.

	TOTAL REQUIRED FIXTURES	TOTAL PROVIDED FIXTURES	DISTRIBUTION OF PROVIDED FIXTURES									MINIMUM 5% REQUIRED ACCESSIBLE FIXTURES	PROVIDED ACCESSIBLE FIXTURES
			BOYS	BOYS ADA	GIRLS	GIRLS ADA	UNISEX	UNISEX ADA	MEN	MEN ADA	WOMEN	WOMEN ADA	
WATER CLOSETS	22	41	5	5	12	5	--	3	1	4	2	4	4	21
URINALS	--	10	4	3	--	--	--	--	2	1	--	--	--	4
LAVATORIES	22	36	3	3	7	5	4	2	2	4	2	4	4	18
DRINKING FOUNTAINS	10	10	--											
SERVICE SINKS	1	10	10											

REV.	DATE	ITEM

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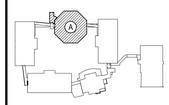

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

PROJECT

LOWER LEVEL CODE COMPLIANCE KEY PLAN

DWG TITLE

DRAWING BY: A.A.
CHECK BY: P.J.H.

NOTICE

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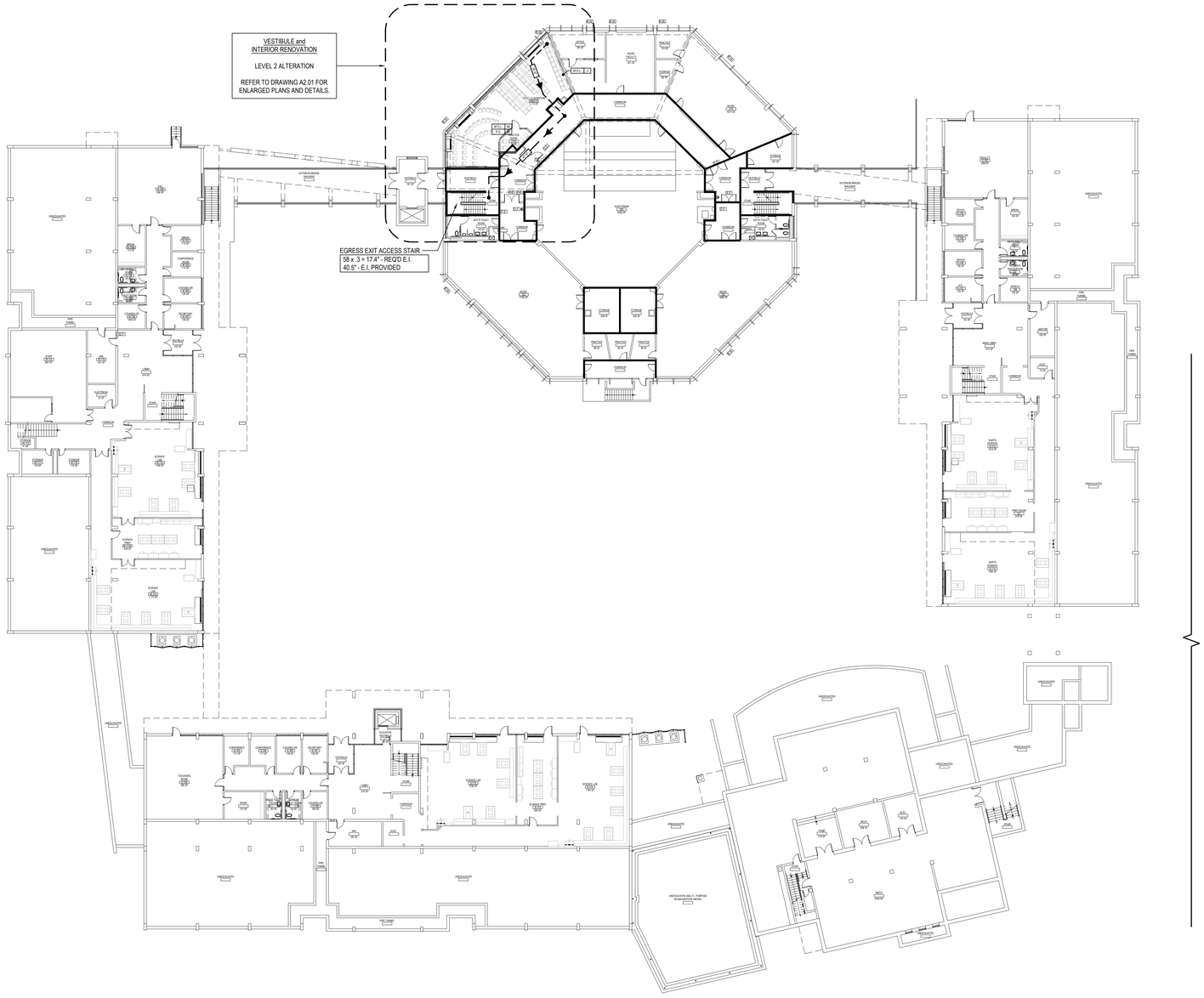
DISTRICT BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT PHASE 2 - BOND IMPROVEMENTS
DWG TITLE LOWER LEVEL COMPLIANCE KEY PLAN
SCALE: AS NOTED
DATE: APRIL 2024
BID PICK-UP: FEBRUARY 24, 2025
FILE No: 23-131b FLMS

A0.01



OVERALL FIRST FLOOR PLAN

SCALE: 1" = 20'-0"

FIRE RESISTANCE RATING DESCRIPTIONS

REFER TO U.L. RATED ASSEMBLY DESCRIPTIONS AND DOCUMENTATION FOR COMPLETE RATED CONSTRUCTION AND FIRE RESISTANCE REQUIREMENTS.

	SMOKE PARTITION - (0) HR RATED CONSTRUCTION - CONSTRUCT PARTITION IN ACCORDANCE WITH IBC 2015 SECTION 710 SMOKE PARTITIONS, EXTEND FROM FINISHED FLOOR TO BOTTOM OF FLOOR/ROOF STRUCTURE ABOVE AND SEAL AT TOP, BOTTOM, AND ALL PENETRATIONS TO PROHIBIT THE PASSAGE OF SMOKE THROUGH EACH SMOKE COMPARTMENT.
	FIRE BARRIER - (1) HR RATED CONSTRUCTION U.L. RATED U905/U906 OR U419
	FIRE BARRIER - (2) HR RATED CONSTRUCTION U.L. RATED U905/U906 OR U419
	FIRE WALL - (2) HR RATED CONSTRUCTION U.L. RATED U905/U906
	STRUCTURAL FIRE PROTECTION REQUIREMENTS (NON-SPRINKLERED) PER SECTION 903.2.3, THE FOLLOWING SHALL BE PROVIDED: • 2 HR. HORIZONTAL FIRE BARRIER (UL D925) • 2 HR. FIRE RESISTANCE RATING (UL X632) AT ALL COLUMNS SUPPORTING THE SECOND FLOOR ONLY (COLUMN FIRE PROTECTION SHALL EXTEND FROM FINISH FIRST FLOOR TO TOP OF SECOND FLOOR SLAB).

- TYPICAL 8" CMU WALL ASSEMBLY
  SHALL CONFORM TO U.L. DESIGN U905. PROVIDES A MAXIMUM 2 HR. RATING. (REFER TO PLAN FOR ALL 1 HR. AND 2 HR. WALL ASSEMBLY LOCATIONS) TO INCLUDE: ALL CONCRETE BLOCK SHALL BE CLASSIFIED D-2 (2HR). CONTRACTOR TO PROVIDE ARCHITECT WITH WRITTEN CERTIFICATION FROM SUPPLIER. ALL MORTAR FOR BLOCK WORK SHALL BE LAID IN FULL BED, NORMAL ½" THICK. VERTICAL JOINTS TO BE STAGGERED.
- TYPICAL 6" GYP. BD. WALL ASSEMBLY
  SHALL CONFORM TO U.L. DESIGN U419. PROVIDES A MAXIMUM 1 HR. RATING. COMPOSITION TO BE 3⅝" METAL STUDS WITH (1) LAYER ⅝" FIRECODE GYP. BD. EACH SIDE. CONTRACTOR TO PROVIDE ARCHITECT WITH WRITTEN CERTIFICATION FROM SUPPLIER.
- WHERE APPLICABLE IN THE U.L. DESIGN, FIRE RATINGS SHALL BE ACHIEVED UTILIZING SPRAY APPLIED FIREPROOFING ON STRUCTURAL COMPONENTS AND/OR BY DECKING MATERIAL THICKNESS AND COVERAGE AS SPECIFIED IN DESIGNATED U.L. DESIGNS.
- D925/ P819 - 2 HR. RATED FLOOR AND ROOF CONSTRUCTION - SPRAY APPLIED FIREPROOFING SHALL BE "ISOLOTEK" BLAZE SHIELD II LOW DENSITY SPRAY APPLIED FIREPROOFING OR ARCHITECT APPROVED EQUAL. REFER TO SPECIFICATION SECTION 078100 FOR ADDITIONAL INFORMATION.
- X632 - 2 HR. RATED COLUMNS - AT ALL COLUMNS SUPPORTING THE SECOND FLOOR ONLY (COLUMN FIRE PROTECTION SHALL EXTEND FROM FINISH FIRST FLOOR TO TOP OF SECOND FLOOR SLAB). THIN-FILM INTUMESCENT FIELD APPLIED COATING(S) SHALL BE NULLIFIRE S606 BASECOAT (AND TOP SEAL FOR ALL EXPOSED COLUMNS). PRIMER AND TOP SEAL MUST BE COMPATIBLE WITH BASECOAT SYSTEM. REFER TO SPECIFICATION SECTION 078100 FOR ADDITIONAL INFORMATION.
- FOR FIRESTOPPING PRODUCTS AND REQUIREMENTS, REFER TO SPECIFICATION SECTION 078413 AND SECTION 078443.

REV.	DATE	ITEM

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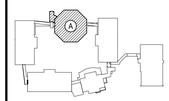

KEY PLAN

NOT TO SCALE

PROJECT
BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE
FIRST FLOOR CODE COMPLIANCE KEY PLAN

DRAWING BY: A.A.
CHECK BY: P.J.H.

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DISTRICT BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT PHASE 2 - BOND IMPROVEMENTS
DWG TITLE FIRST FLOOR CODE COMPLIANCE KEY PLAN
SCALE: AS NOTED
DATE: APRIL 2024
BID PICK-UP: FEBRUARY 24, 2025
FILE No: 23-131b FLMS

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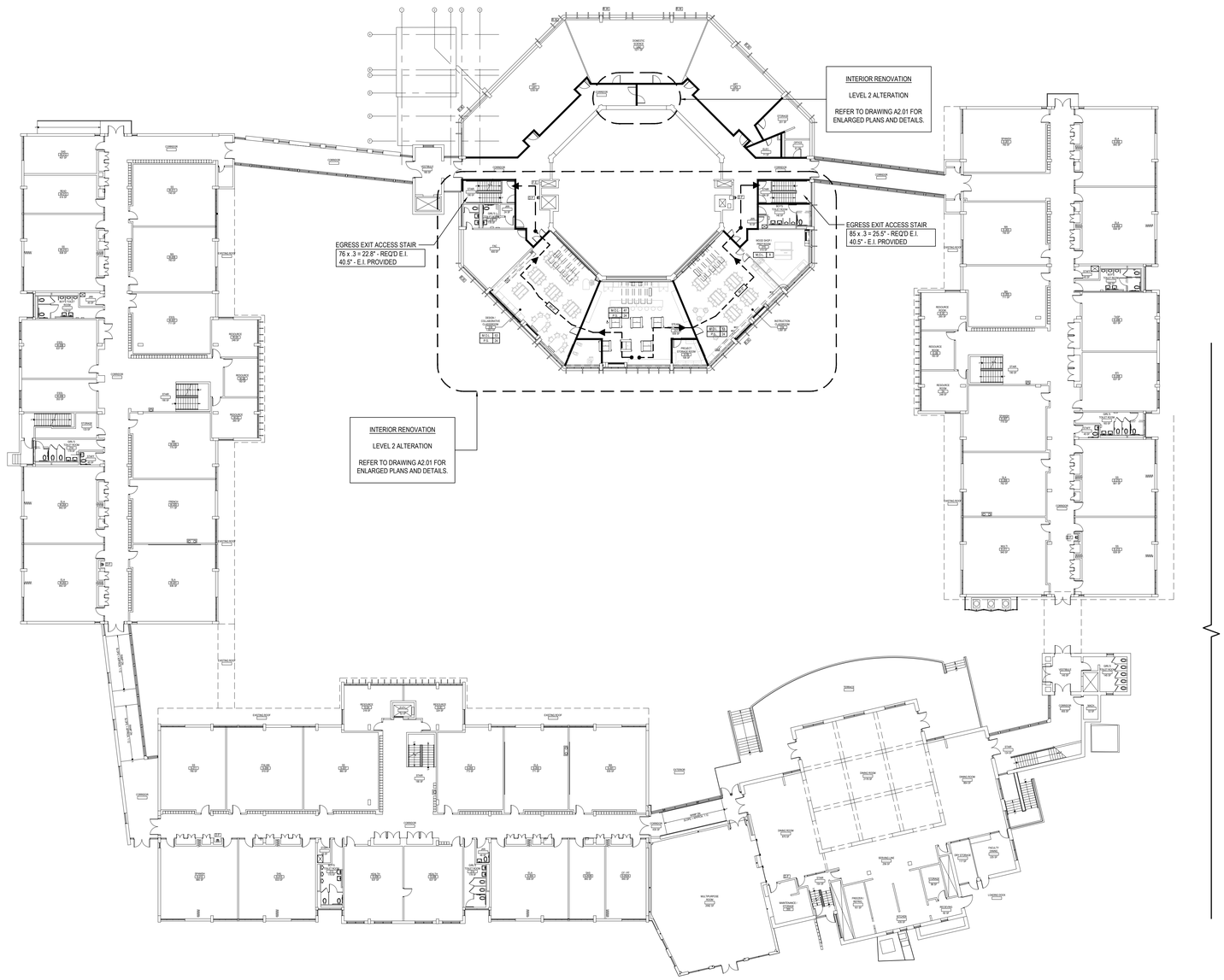
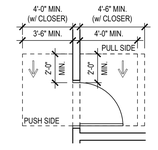


OVERALL SECOND FLOOR PLAN

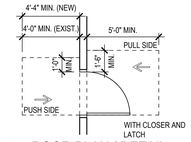
SCALE: 1" = 20'-0"

TYPICAL ADA APPROACH CLEARANCES

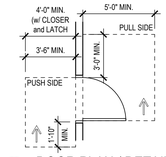
CONFORM TO ANSI A117.1-2017 STANDARDS FOR APPROACH



A DOOR PLAN / DETAIL
at LATCH APPROACH SCALE: N.T.S.



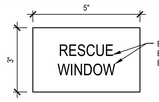
B DOOR PLAN / DETAIL
at FRONT APPROACH w/ CLOSER and LATCH SCALE: N.T.S.



C DOOR PLAN / DETAIL
at HINGE APPROACH SCALE: N.T.S.

REV. 12/2025

RESCUE WINDOW LABEL DETAIL



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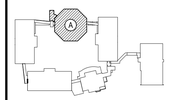

KEY PLAN

NOT TO SCALE

PROJECT
BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE
SECOND FLOOR CODE COMPLIANCE KEY PLAN

DRAWING BY: A.A.
CHECK BY: P.J.H.

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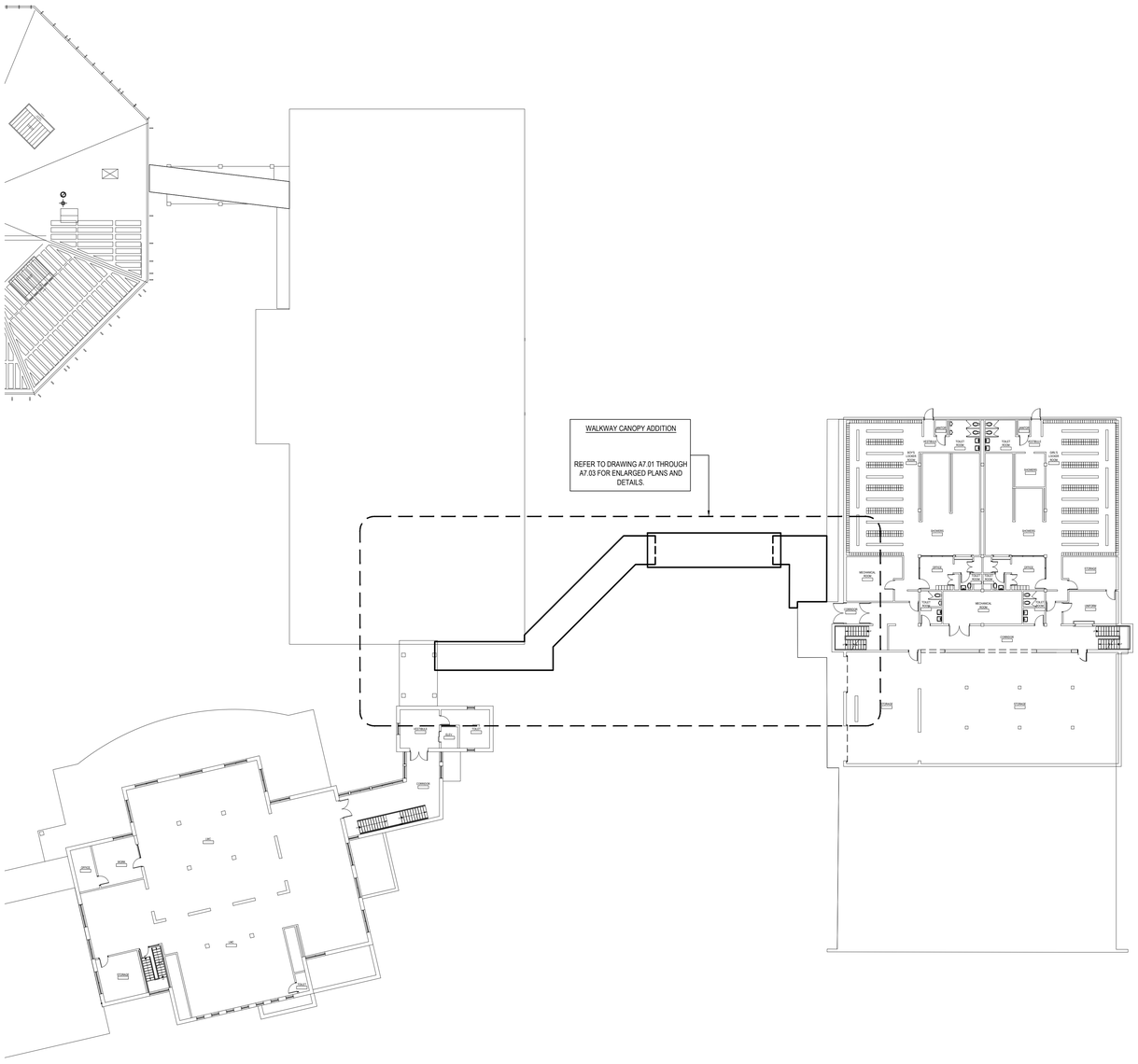
DISTRICT BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT PHASE 2 - BOND IMPROVEMENTS
DWG TITLE SECOND FLOOR CODE COMPLIANCE KEY PLAN

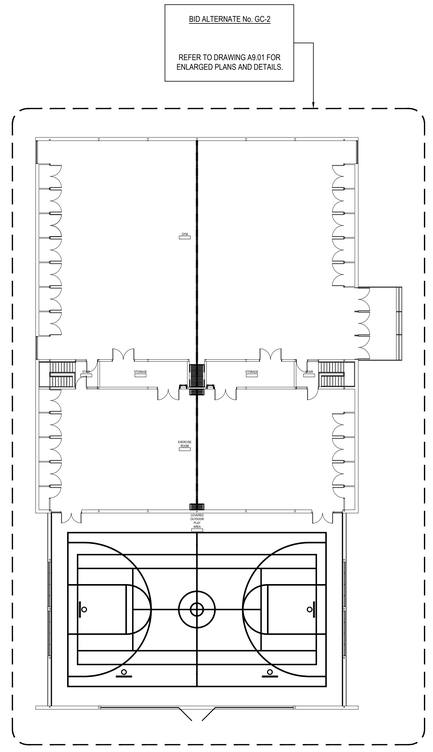
SCALE: AS NOTED
DATE: APRIL 2024
BID PICK-UP: FEBRUARY 24, 2025
FILE No: 23-131b FLMS

A0.03



OVERALL THIRD FLOOR PLAN

SCALE: 1" = 20'-0"



OVERALL FOURTH FLOOR PLAN

SCALE: 1" = 20'-0"

REV.	DATE	ITEM

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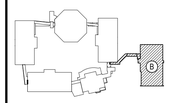

KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

THIRD AND FOURTH FLOOR CODE COMPLIANCE KEY PLANS

DRAWING BY: P.J.H.

CHECK BY: P.J.H.

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DISTRICT BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT PHASE 2 - BOND IMPROVEMENTS

DWG TITLE THIRD AND FOURTH FLOOR CODE COMPLIANCE KEY PLANS

SCALE: AS NOTED

DATE: APRIL 2024

BID PICK-UP: FEBRUARY 24, 2025

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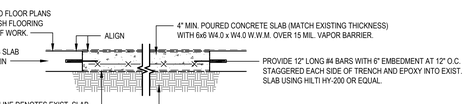
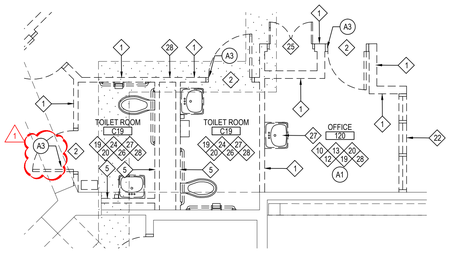


TYPICAL SLAB SAWCUT NOTE

EACH TRADE SHALL SAWCUT AND REMOVE PORTIONS OF EXISTING CONCRETE SLAB-ON-GRADE TO ACCOMMODATE INSTALLATION OF NEW UNDER-SLAB UTILITIES AND PATCH SLAB AND FINISH FLOORING. SLAB SHALL BE SCANNED VIA GROUND PENETRATING RADAR (GPR) AND/OR OTHER METHODS AS DEEMED APPROPRIATE AND MARKED-OUT FOR BURIED AND/OR EMBEDDED PIPING, DUCT BANKS, ELECTRICAL CONDUIT, AND OTHER UTILITIES. EACH CONTRACTOR SHALL EXERCISE CARE IN SLAB DEMOLITION IN THE VICINITY OF LOCATED UTILITIES AND ALTER METHODS OF SLAB DEMOLITION AS APPROPRIATE. FINAL EXTENT AND LOCATIONS OF SLAB REMOVAL TO BE COORDINATED BETWEEN TRADES IN THE FIELD. EACH TRADE WILL BE RESPONSIBLE FOR REPAIR OF ANY UTILITIES CUT OR DAMAGED BY THEIR SLAB REMOVAL WHETHER REVEALED BY SCANNING OR NOT. ANY DAMAGE TO UTILITIES CAUSED DURING EXCAVATION BY OTHER TRADES WILL BE THE RESPONSIBILITY OF THE TRADE WHICH CAUSED THE DAMAGE.

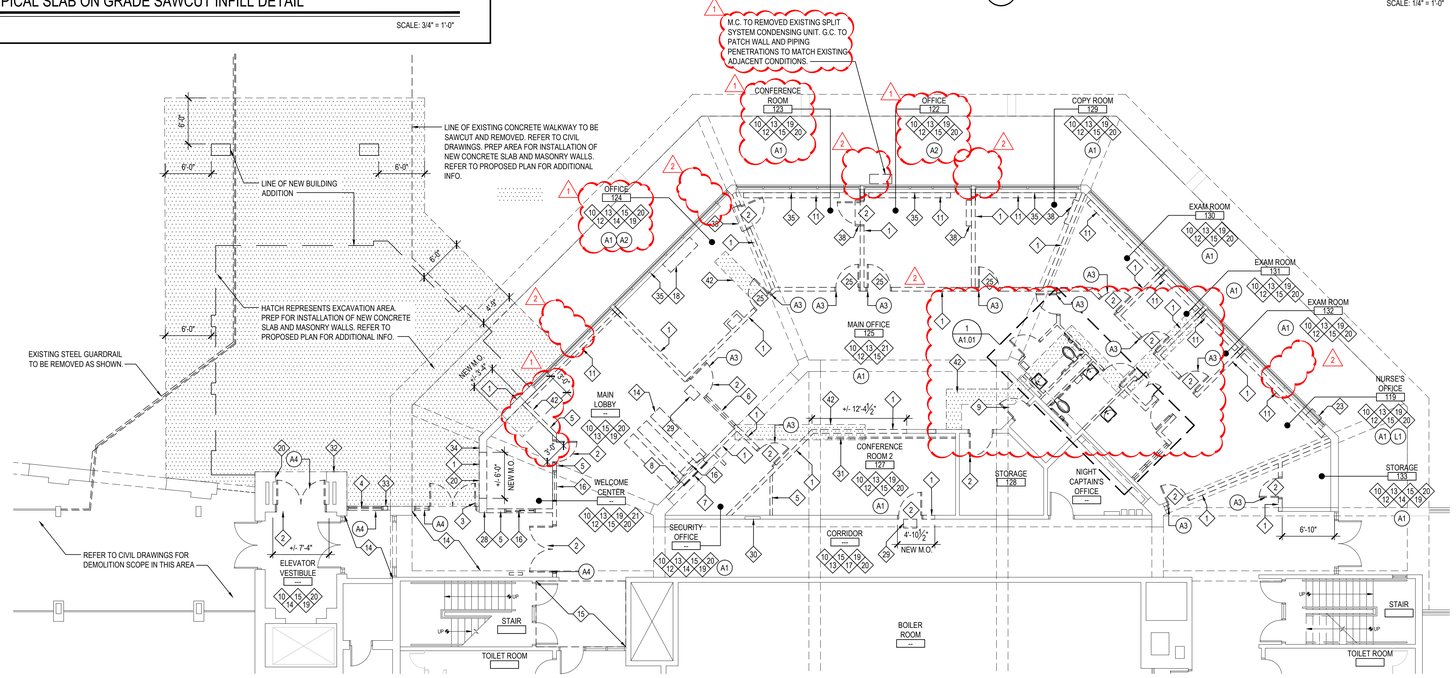
2 TYPICAL SLAB ON GRADE SAWCUT INFILL DETAIL

SCALE: 3/4" = 1'-0"



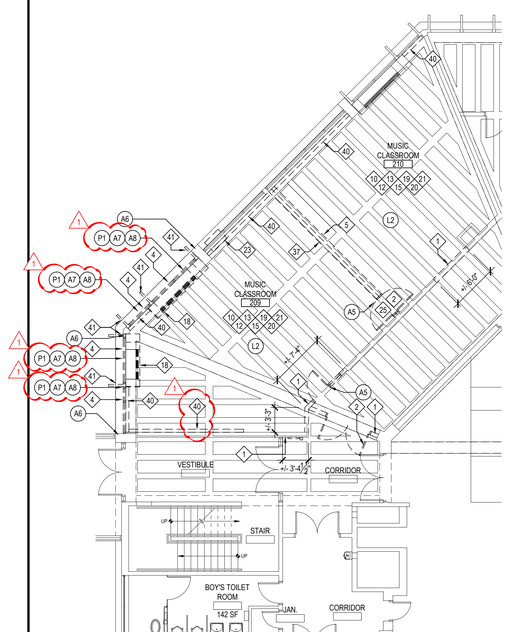
1 ENLARGED DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



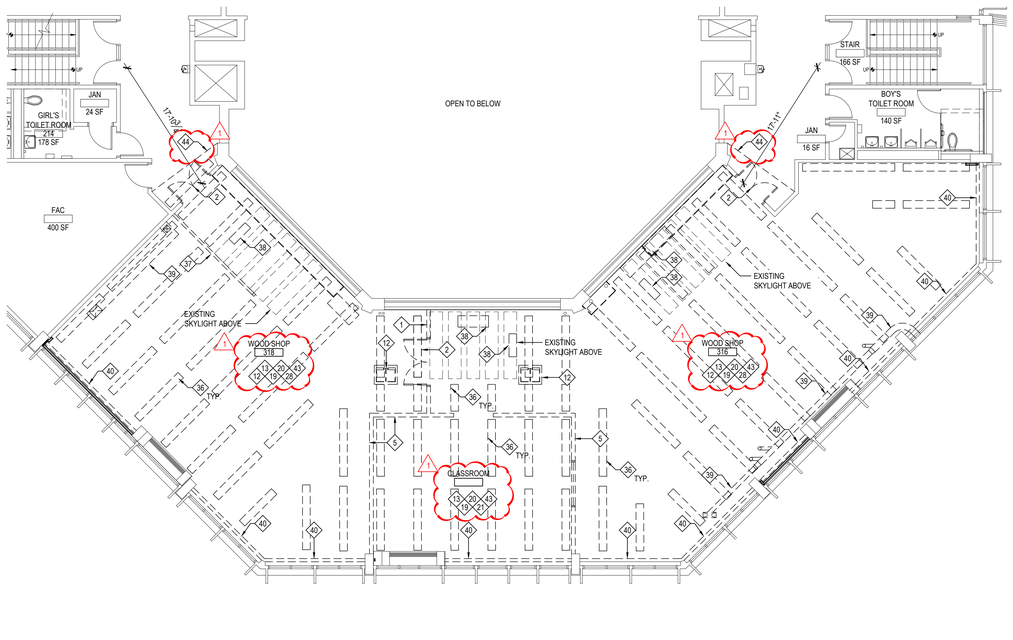
LOWER LEVEL DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



FIRST FLOOR DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



SECOND FLOOR DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

DEMOLITION KEY NOTES

1. EXISTING CONCRETE / MASONRY BLOCK WALL TO BE REMOVED IN IT'S ENTIRETY INCLUDING ANY DOORS, WINDOWS, FRAMES, TRANSOMS, FURRED OUT METAL STUD AND GYPSUM BOARD WALLS, ETC. TOOTH-IN NEW MASONRY AND PATCH ADJACENT WALLS AND FLOORS. PREP REMAINING FLOORS AND WALLS FOR NEW FINISHES.
2. EXISTING DOOR AND FRAME TO BE REMOVED AND DISPOSED OF IN IT'S ENTIRETY.
3. EXISTING ALUMINUM DOOR AND STOREFRONT SYSTEM TO BE REMOVED AND DISPOSED OF IN IT'S ENTIRETY.
4. EXISTING WINDOW SYSTEM TO BE REMOVED AND DISPOSED OF IN IT'S ENTIRETY.
5. EXISTING GYP. BD. AND METAL STUD WALL TO BE REMOVED AND DISPOSED OF IN IT'S ENTIRETY INCLUDING ANY DOORS, WINDOWS, FRAMES, TRANSOMS, ETC. PATCH AND REPAIR ADJACENT WALLS.
6. EXISTING HOLLOW METAL STOREFRONT AND GLAZING TO BE REMOVED AND DISPOSED OF IN IT'S ENTIRETY, INCLUDING ALL DOORS, HARDWARE, AND TRANSOMS.
7. EXISTING OVERHEAD DOOR, TRACK SYSTEM, AND ASSOCIATED BRACKETS TO BE REMOVED AND DISPOSED OF IN IT'S ENTIRETY.
8. EXISTING GYP. BD AND METAL STUD SOFFIT TO BE REMOVED AND DISPOSED OF IN ITS ENTIRETY. E.C. TO DISCONNECT EXIST. RECESSED LIGHT FIXTURES. G.C. TO REMOVE AND DISPOSE.
9. EXISTING VAULT DOOR TO BE REMOVED AND REPLACED.
10. EXISTING V.C.T. FLOORING, CARPET, RUBBER COVE BASE AND/OR CERAMIC TILE BASE, AND ANY ADHESIVE AND / OR MASTIC TO BE REMOVED AND DISPOSED OF. EXISTING CONCRETE FLOOR SLAB SHALL BE CLEANED OF ALL DEBRIS AND PREPPED FOR SELF LEVELING COMPOUND. PROVIDE FLASH PATCHING AND / OR SELF-LEVELING TO PROVIDE SUITABLE LEVEL FLOOR OVER EXISTING CONCRETE FLOOR SLAB AT LOCATIONS OF WALL REMOVALS. PREP FOR NEW FINISHES.
11. EXISTING FIN TUBE ENCLOSURES AND ASSOCIATED PIPING TO BE DISCONNECTED, REMOVED AND DISPOSED OF BY M.C. G.C. TO PATCH AND REPAIR WALL. G.C. TO PATCH AND REPAIR FLOOR WHERE PIPING IS REMOVED.
12. EXISTING CASEWORK (BASE CABINETS, WALL CABINETS, TALL CABINETS, ETC.) TO BE REMOVED AND DISPOSED OF IN THEIR ENTIRETY BY THE G.C. DISCONNECTS BY P.C. AND E.C. AS REQUIRED. COORDINATE IN FIELD.
13. ALL LOOSE FURNISHINGS, FILE CABINETS, DESKS, SHELVING, ETC. TO BE REMOVED BY OWNER.
14. EXISTING ACOUSTICAL CEILING TILE AND GRID TO BE REMOVED AND DISPOSED OF IN IT'S ENTIRETY.
15. EXISTING SPLINE CEILING, INCLUDING BLACK IRON AND ASSOCIATED STRUCTURE TO BE REMOVED AND DISPOSED OF IN IT'S ENTIRETY. G.C. TO REMOVE AND DISPOSE OF ANY GLUED CEILING TILES FROM BOTTOM OF CONCRETE DECK.
16. EXISTING SECURITY WINDOW AND COUNTER TO BE REMOVED AND DISPOSED OF IN ITS ENTIRETY.
17. EXISTING WALL MOUNTED DISPLAY CASE, CHALKBOARD, MARKERBOARD, TACKBOARD OR MIRROR TO BE REMOVED AND DISPOSED OF.
18. M.C. TO REMOVE AND DISPOSE OF EXISTING UNIT VENTILATOR. G.C. TO PATCH AND REPAIR WALL. G.C. TO PATCH AND REPAIR FLOOR WHERE PIPING IS REMOVED.
19. E.C. TO DISCONNECT ALL ELECTRICAL CEILING FIXTURES INCLUDING, LIGHT FIXTURES, SPEAKERS, FIRE ALARMS, CONDUIT, WIRE MOLD, ETC. G.C. TO REMOVE AND DISPOSE.
20. E.C. TO DISCONNECT ALL EXISTING WALL MOUNTED FIXTURES INCLUDING, EMERGENCY LIGHTING, CONDUIT, WIRE MOLD, SPEAKERS, ETC. G.C. TO REMOVE AND DISPOSE.
21. E.C. TO DISCONNECT ALL WALL MOUNTED TV MONITORS, COMPUTER EQUIPMENT AND ASSOCIATED CONDUITS. G.C. TO REMOVE AND HAND OVER TO OWNER.
22. EXISTING WINDOW FRAMING AND GLASS TO BE REMOVED AND DISPOSED OF IN ITS ENTIRETY. G.C. TO REMOVE CMU / CONCRETE BASE, INCLUDING CERAMIC TILE BASE, DOWN TO EXISTING CONCRETE SLAB. PATCH AND REPAIR FLOOR FOR NEW FINISHES.
23. EXISTING AIR CONDITIONING UNIT AND ASSOCIATED WINDOW PANEL TO BE REMOVED IN ITS ENTIRETY. G.C. TO REPLACE EXISTING PANEL WITH NEW.
24. EXISTING PLASTER CEILING SYSTEM AND ALL ASSOCIATED SUPPORTS TO BE REMOVED AND DISPOSED OF. E.C. TO DISCONNECT, G.C. TO REMOVE EXISTING LIGHT FIXTURES AND SMOKE DETECTORS. M.C. TO REMOVE AND REPLACE EXHAUST GRILLES AND IS RESPONSIBLE FOR MAKING ALL PHYSICAL CONNECTIONS TO DUCTWORK ABOVE FOR NEW CEILING GRILLE LOCATIONS.
25. EXISTING WOOD DOOR AND FRAME TO BE REMOVED AND DISPOSED OF IN IT'S ENTIRETY, INCLUDING ANY WINDOWS, TRANSOMS, HARDWARE, ETC.
26. EXISTING CERAMIC FLOOR TILE AND MUDSET TO BE REMOVED AND DISPOSED OF. PROVIDE SELF LEVELING AND PREP FOR NEW FINISHES.
27. EXISTING PLUMBING AND / OR SANITARY FIXTURES TO BE DISCONNECTED BY P.C., REMOVED AND DISPOSED OF BY G.C.
28. EXISTING WALL MOUNTED HAND SANITIZER DISPENSER, SOAP DISPENSER, TOILET PAPER AND / OR PAPER TOWEL DISPENSER, GRAB BARS, ETC. TO BE REMOVED AND TURNED OVER TO THE DISTRICT.
29. EXISTING AIR CONDITIONING UNIT TO BE REMOVED AND HANDED OVER TO OWNER. ANY AND ALL SUPPORTS TO BE REMOVED AND DISPOSED OF BY G.C.
30. EXISTING DRINKING FOUNTAIN AND ASSOCIATED PIPING TO REMAIN.
31. EXISTING WALL MOUNTED CURTAIN RAIL AND CURTAIN TO BE REMOVED BY OWNER.
32. EXISTING WALL MOUNTED SECURITY CAMERA TO BE DISCONNECTED AND REMOVED BY E.C. AND HAND OVER TO OWNER.
33. EXISTING DOWNSPOUT TO BE RE-ROUTED BY G.C.
34. EXISTING WALL MOUNTED MAILBOX TO BE REMOVED AND HANDED OVER TO OWNER.
35. EXISTING WOOD STOOL TO BE REMOVED AND DISPOSED OF.
36. EXITING SURFACE MOUNTED CONCEALED SPLINE CEILING TILES AND ALL ADHESIVES SHALL BE REMOVED AND DISPOSED OF IN THEIR ENTIRETY. PREP SURFACE FOR NEW FINISHES.
37. EXISTING WOOD FRAMED WALL AND WOOD PANELING TO BE REMOVED AND DISPOSED OF IN IT'S ENTIRETY. PATCH AND REPAIR ADJACENT WALLS.
38. MC SHALL REMOVE EXISTING WALL MOUNTED SPLIT SYSTEMS & RELATED SUPPORTS.
39. MC SHALL REMOVE EXISTING DUCTWORK & RELATED SUPPORTS. G.C. TO PATCH ANY WALLS, FLOORS, WINDOW PANELS AND/OR CEILINGS.
40. EXISTING FIN TUBE ENCLOSURE TO BE REMOVED AND REPLACED BY M.C.
41. EXISTING PRE-CAST CONCRETE FIN TO BE REMOVED, INCLUDING ALL SUPPORTS.
42. EACH TRADE SHALL SAWCUT EXISTING CONCRETE FLOOR AS REQUIRED FOR MECHANICAL, ELECTRICAL AND / OR PLUMBING SCOPE OF WORK. REFER TO M-,P- OR E- SERIES DRAWINGS. COORDINATE IN FIELD.
43. EXISTING WOOD FLOOR SYSTEM, FRAMING, BASE ANGLE, AND METAL THRESHOLDS TO BE REMOVED AND DISPOSED OF IN THEIR ENTIRETY. EXISTING CONCRETE SUBFLOOR TO REMAIN.
44. SAWCUT AND GRIND SLOPED FLOOR FLUSH WITH ADJACENT CONCRETE SLAB. PREP FOR NEW FINISH FLOORING. PATCH AND MATCH EXISTING VCT IN CORRIDOR.

DEMOLITION SYMBOL LEGEND

SYMBOL	DESCRIPTION
	EXISTING CONSTRUCTION TO BE REMOVED (PATCH ALL REMAINING SURFACES)
	EXISTING FLOOR SLAB TO BE SAWCUT TO ACCOMMODATE NEW UNDER SLAB UTILITIES. REFER TO SAWCUT DETAIL FOR ADDITIONAL INFORMATION.
X	KEYED NOTE
# / AX.XX	DETAIL TAG DETAIL NUMBER DRAWING NUMBER
XX / XX.XX	SECTION / ELEVATION TAG DETAIL NUMBER DRAWING NUMBER
XXXX / XXX / XXX SF	ROOM TAG ROOM NAME ROOM NUMBER ROOM AREA
1	REVISION CLOUD AND KEYED DESIGNATION. REFER TO DRAWING TITLEBLOCK FOR ADDITIONAL INFORMATION.

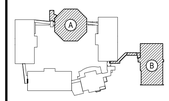
HAZARDOUS MATERIALS NOTES

1. OWNER HAS EMPLOYED AN ENVIRONMENTAL CONSULTANT TO PERFORM DESIGN-PHASE INSPECTION AND TESTING FOR ASBESTOS, LEAD AND / OR PCBs. SUCH REPORTS ARE CONTAINED IN THE PROJECT MANUAL AND MAY CONTAIN ADDITIONAL REQUIREMENTS BEYOND THOSE SHOWN IN THE CONSTRUCTION DRAWINGS AND DIVISION 1 RELATED SPECIFICATIONS.
2. CONSTRUCTION DRAWINGS INDICATE EXTENT OF HAZARDOUS MATERIALS REMOVALS, WHICH MAY BE ASSUMED OR CONFIRMED POSITIVE. CONTRACTOR SHALL VERIFY QUANTITIES OF SUCH MATERIALS AND ACCOUNT FOR THEM IN THE BID.
3. CONTRACTOR SHALL EMPLOY A PROPERLY CREDENTIALED HAZARDOUS MATERIALS SUBCONTRACTOR AS REQUIRED FOR THE SCOPE OF WORK AT HAND.
4. ASBESTOS ABATEMENT SHALL BE PERFORMED IN ACCORDANCE WITH NYS INDUSTRIAL CODE RULE 56.
5. REMOVAL OF LEAD CONTAINING CONSTRUCTION MATERIALS SHALL BE PERFORMED IN ACCORDANCE WITH FEDERAL HUD REGULATIONS AND THE EPA'S RRP RULE. THE WORK OF THIS PROJECT IS NOT INTENDED TO BE A LEAD ABATEMENT.
6. WHERE WORK INVOLVES LEAD CONTAINING CONSTRUCTION MATERIALS, WIPE TESTS WILL BE PERFORMED UPON FINAL CLEANING. FAILURE WILL REQUIRE RE-CLEANING BY THE CONTRACTOR.
7. PCB REMOVALS SHALL BE PERFORMED IN ACCORDANCE WITH FEDERAL EPA REGULATIONS AS ENFORCED BY NYS DEC. IF SUCH MATERIALS ALSO CONTAIN ASBESTOS, THEN SUCH MATERIALS SHALL BE HANDLED AND DISPOSED OF PER BOTH NYS DEC AND NYS ICR 56.
8. CONTRACTOR SHALL COORDINATE HAZARDOUS MATERIALS REMOVAL ACTIVITIES WITH THE OWNER'S ENVIRONMENTAL CONSULTANT FOR APPROPRIATE PROJECT MONITORING.
9. IF ANY SUSPECT MATERIALS ARE DISCOVERED DURING DEMOLITION THAT ARE OUTSIDE OF THE IDENTIFIED SCOPE OF WORK, THE CONTRACTOR SHALL CEASE REMOVAL AND NOTIFY THE ARCHITECT.
10. THE FOLLOWING HAZARDOUS MATERIAL REMOVAL KEY NOTES CORRESPOND TO THE CONSTRUCTION DRAWINGS:
    - A1 ASBESTOS CONTAINING 9"X 9" FLOOR TILE (GRAY) AND ASSOCIATED MASTIC (BLACK) AT LOWER LEVEL
    - A2 ASBESTOS CONTAINING CARPET MASTIC (YELLOW) AT MAIN OFFICE ROOMS 122 AND 124
    - A3 ASBESTOS CONTAINING DOOR CAULKING (GRAY) AT LOWER LEVEL MAIN OFFICE.
    - A4 ASBESTOS CONTAINING WINDOW CAULKING (BLACK) AT LOWER LEVEL MAIN OFFICE.
    - A5 ASBESTOS CONTAINING DOOR CAULKING (BLACK) AT SECOND FLOOR MUSIC ROOM.
    - A6 ASBESTOS CONTAINING CONCRETE EXPANSION JOINT CAULK (BEIGE) AT SECOND FLOOR MUSIC ROOM 210
    - A7 ASBESTOS CONTAINING WINDOW CAULK (BLACK) AT SECOND FLOOR MUSIC ROOM 210
    - A8 ASBESTOS CONTAINING WINDOW GLAZING (WHITE) AT SECOND FLOOR MUSIC ROOM 210
    - A9 NOT USED
    - A10 NOT USED
    - A11 NOT USED
    - L1 LEAD CONTAINING BLUE PAINT ON CINDER BLOCK WALL AT ROOM 119
    - L2 LEAD CONTAINING BLACK PAINT ON CERAMIC TILE WALL AT SECOND FLOOR
    - L3 NOT USED
    - P1 EXTERIOR WINDOW PANEL CAULK (BLACK) AT OLD WINDOWS - EXTERIOR BUILDING THROUGHOUT

DEMOLITION and REMOVAL NOTES

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND REMOVALS, UNLESS NOTED OTHERWISE. MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL DISCONNECTS. G.C. TO COORDINATE DEMOLITION WITH M.C., P.C., AND E.C. REFER TO M.E.P. SERIES DEMOLITION DRAWINGS FOR ADDITIONAL INFORMATION AND DEMOLITION SCOPE BY GENERAL CONTRACTOR NOT SHOWN THIS DRAWING. TYPICAL FOR ALL AREAS OF INTERIOR DEMOLITION AND / OR RECONSTRUCTION.
2. ALL OPENINGS IN EXISTING INTERIOR AND EXTERIOR WALLS SHALL BE PATCHED AS REQUIRED AND MASONRY TOOTHED-IN TO MATCH ADJACENT.
3. G.C. SHALL PATCH, REPLACE, OR REPAIR DAMAGE CAUSED TO EXIST. FLOOR, WALLS, ROOF, ETC. SHOWN TO REMAIN AS A RESULT OF DEMOLITION TO PRIOR CONDITION OR MATCH ADJACENT NEW CONSTRUCTION.
4. G.C. SHALL VERIFY ALL REMOVALS WITH OWNERS REPRESENTATIVE / OWNER, AND M.C., P.C., OR E.C. PRIOR TO COMMENCEMENT.
5. PROVIDE SELF-LEVELING TO PROVIDE SUITABLE LEVEL FLOOR OVER EXISTING CONCRETE SLAB. SHOT-BLAST SUB-FLOOR AS REQUIRED FOR REMOVAL OF EXISTING FLOORING. PREP FOR NEW FINISH FLOORING. ALIGN FOR NEW FINISHES TO BE FLUSH WITH ADJACENT. REFER TO SPECIFICATIONS.
6. PROVIDE FLASH PATCHING AND / OR SELF-LEVELING TO PROVIDE SUITABLE LEVEL FLOOR OVER EXISTING CONCRETE FLOOR SLAB AT LOCATIONS OF WALL REMOVALS.
7. THROUGHOUT ALL AREAS OF WORK, E.C. SHALL ORGANIZE ALL EXISTING WIRES TO REMAIN AT UNDERSIDE OF ROOF DECK ABOVE NEW FINISHED CEILING. SECURE TO BOTTOM OF EXISTING ROOF DECK, STEEL JOISTS, ETC. REFER TO E-SERIES DRAWINGS.

REV.	DATE	ITEM
1	03/12/2025	BID ADDENDUM No. 3
2	03/19/2025	BID ADDENDUM No. 4



KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

PROJECT

DEMOLITION FLOOR PLANS

DWG TITLE

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CHECK BY: P.J.H.

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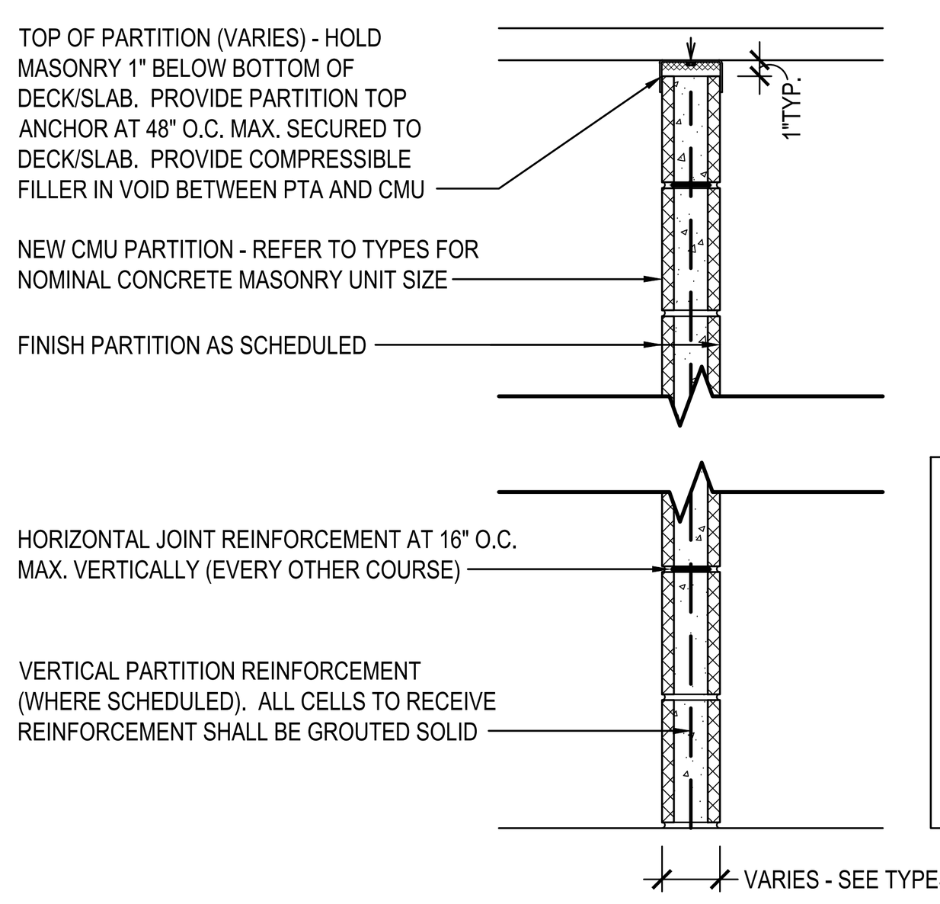
SED No. 66-01-02-06-0-007-013
DISTRICT BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT PHASE 2 - BOND IMPROVEMENTS
DWG TITLE DEMOLITION FLOOR PLANS
SCALE: AS NOTED
DATE: APRIL 2024
BID PICK-UP: FEBRUARY 24, 2025
FILE No: 23-131b FLMS

A1.01



TYPE A4 (3⅝" TOTAL THICKNESS): 4" NOM. CONCRETE MASONRY UNITS
TYPE A6 (5⅝" TOTAL THICKNESS): 6" NOM. CONCRETE MASONRY UNITS
TYPE A8 (7⅝" TOTAL THICKNESS): 8" NOM. CONCRETE MASONRY UNITS
TYPE A10 (9⅝" TOTAL THICKNESS): 10" NOM. CONCRETE MASONRY UNITS
TYPE A12 (11⅝" TOTAL THICKNESS): 12" NOM. CONCRETE MASONRY UNITS

A4 4" NOM. CMU PARTITION

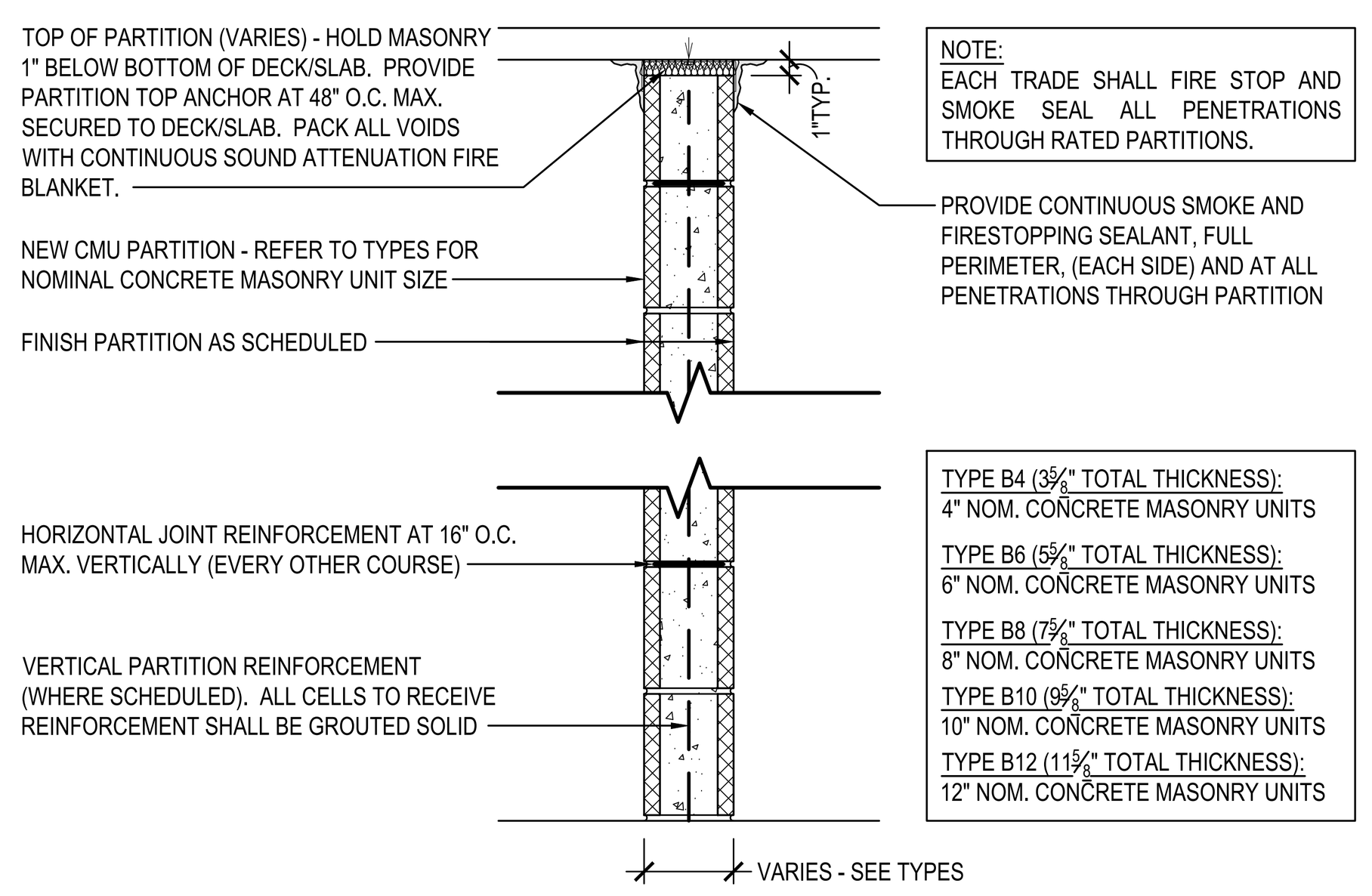
A10 10" NOM. CMU PARTITION
GRAPHIC SIMILAR AS SHOWN

A6 6" NOM. CMU PARTITION
GRAPHIC SIMILAR AS SHOWN

A12 12" NOM. CMU PARTITION
GRAPHIC SIMILAR AS SHOWN

A8 8" NOM. CMU PARTITION
GRAPHIC SIMILAR AS SHOWN

REV. 1-2020



NOTE:
EACH TRADE SHALL FIRE STOP AND SMOKE SEAL ALL PENETRATIONS THROUGH RATED PARTITIONS.

TYPE B4 (3⅝" TOTAL THICKNESS): 4" NOM. CONCRETE MASONRY UNITS
TYPE B6 (5⅝" TOTAL THICKNESS): 6" NOM. CONCRETE MASONRY UNITS
TYPE B8 (7⅝" TOTAL THICKNESS): 8" NOM. CONCRETE MASONRY UNITS
TYPE B10 (9⅝" TOTAL THICKNESS): 10" NOM. CONCRETE MASONRY UNITS
TYPE B12 (11⅝" TOTAL THICKNESS): 12" NOM. CONCRETE MASONRY UNITS

B4 4" NOM. CMU PARTITION
1-HR RATING: UL U906 / STC 48, GRAPHIC SIM.

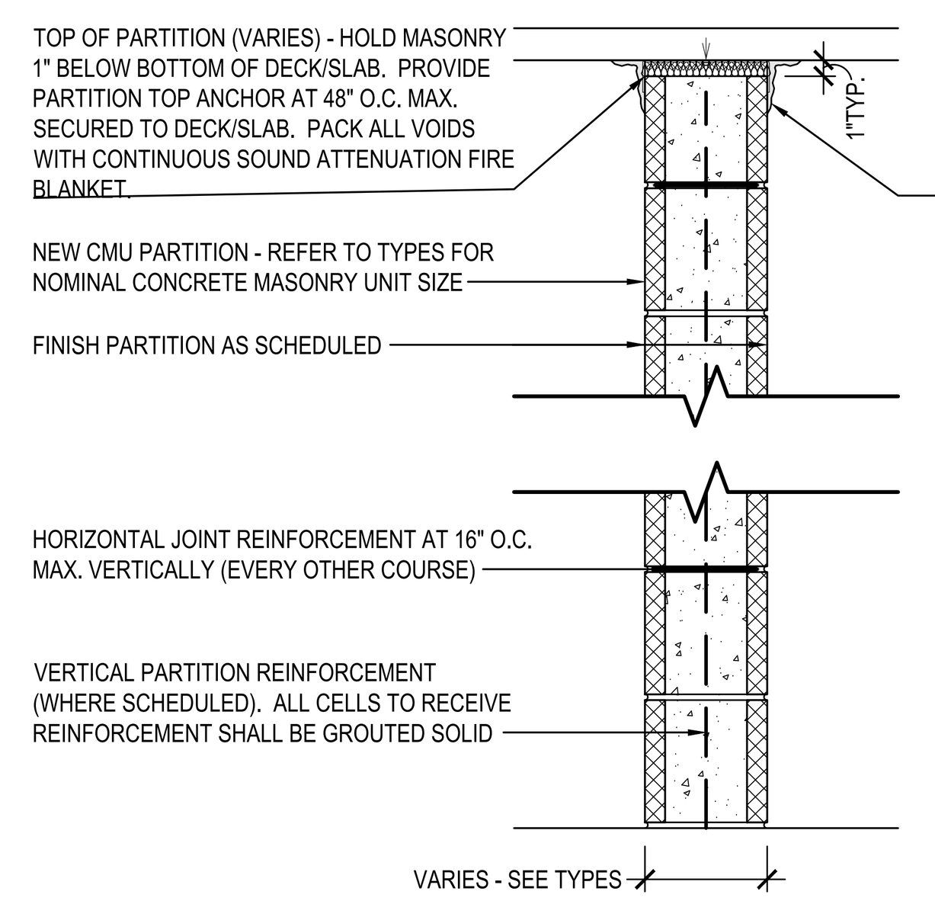
B10 10" NOM. CMU PARTITION
1-HR RATING: UL U906 / STC 48, GRAPHIC SIM.

B6 6" NOM. CMU PARTITION
1-HR RATING: UL U906 / STC 48

B12 12" NOM. CMU PARTITION
1-HR RATING: UL U906 / STC 48

B8 8" NOM. CMU PARTITION
1-HR RATING: UL U906 / STC 48, GRAPHIC SIM.

REV. 2-2021



NOTE:
EACH TRADE SHALL FIRE STOP AND SMOKE SEAL ALL PENETRATIONS THROUGH RATED PARTITIONS.

NOTE:
AT FIRE WALLS, OMIT PARTITION TOP ANCHORS (ONLY). FIRE WALLS SHALL BE CONSTRUCTED TO BE INDEPENDENT FROM DECK/ SLAB ASSEMBLY(IES) - REFER TO CODE COMPLIANCE DRAWINGS AND SECTION DETAILS FOR ADD'L INFO.

TYPE C6 (5⅝" TOTAL THICKNESS): 6" NOM. CONCRETE MASONRY UNITS
TYPE C8 (7⅝" TOTAL THICKNESS): 8" NOM. CONCRETE MASONRY UNITS
TYPE C10 (9⅝" TOTAL THICKNESS): 10" NOM. CONCRETE MASONRY UNITS
TYPE C12 (11⅝" TOTAL THICKNESS): 12" NOM. CONCRETE MASONRY UNITS

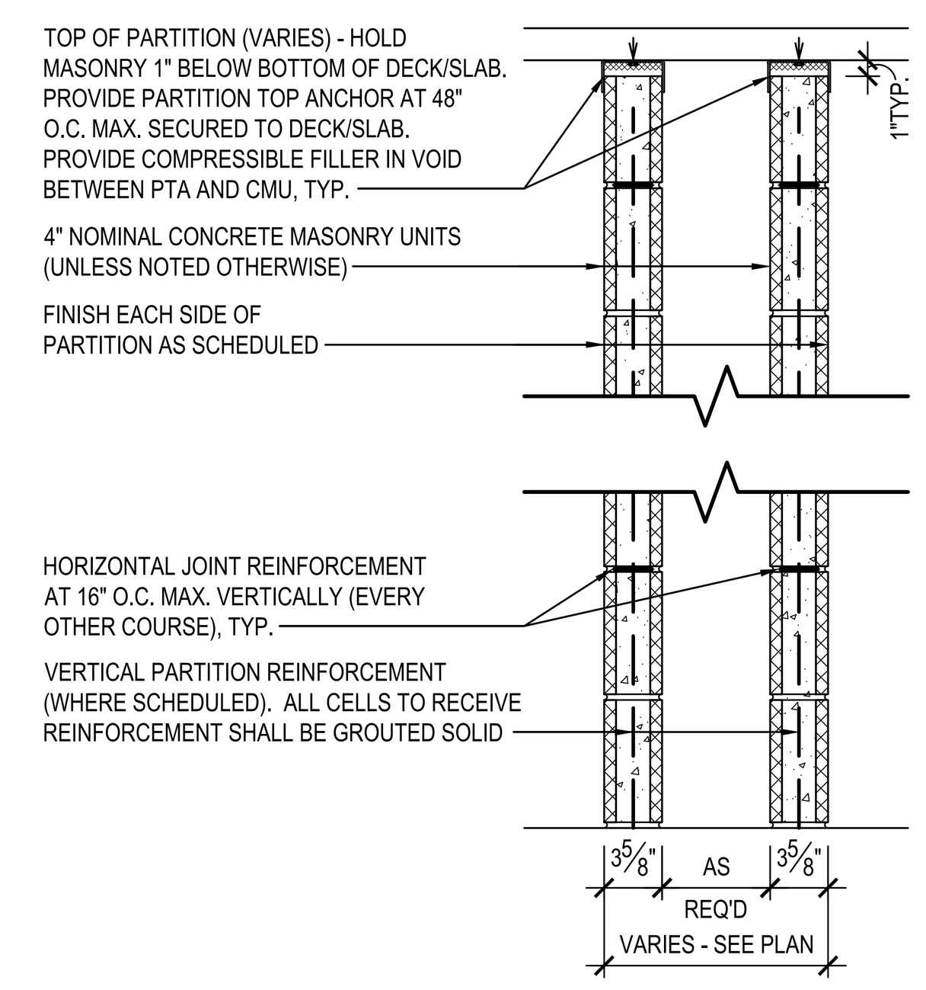
C6 6" NOM. CMU PARTITION
2-HR RATING: UL U906 / STC 48, GRAPHIC SIM.

C10 10" NOM. CMU PARTITION
2-HR RATING: UL U906 / STC 48, GRAPHIC SIM.

C8 8" NOM. CMU PARTITION
2-HR RATING: UL U906 / STC 48

C12 12" NOM. CMU PARTITION
2-HR RATING: UL U906 / STC 48

REV. 2-2021

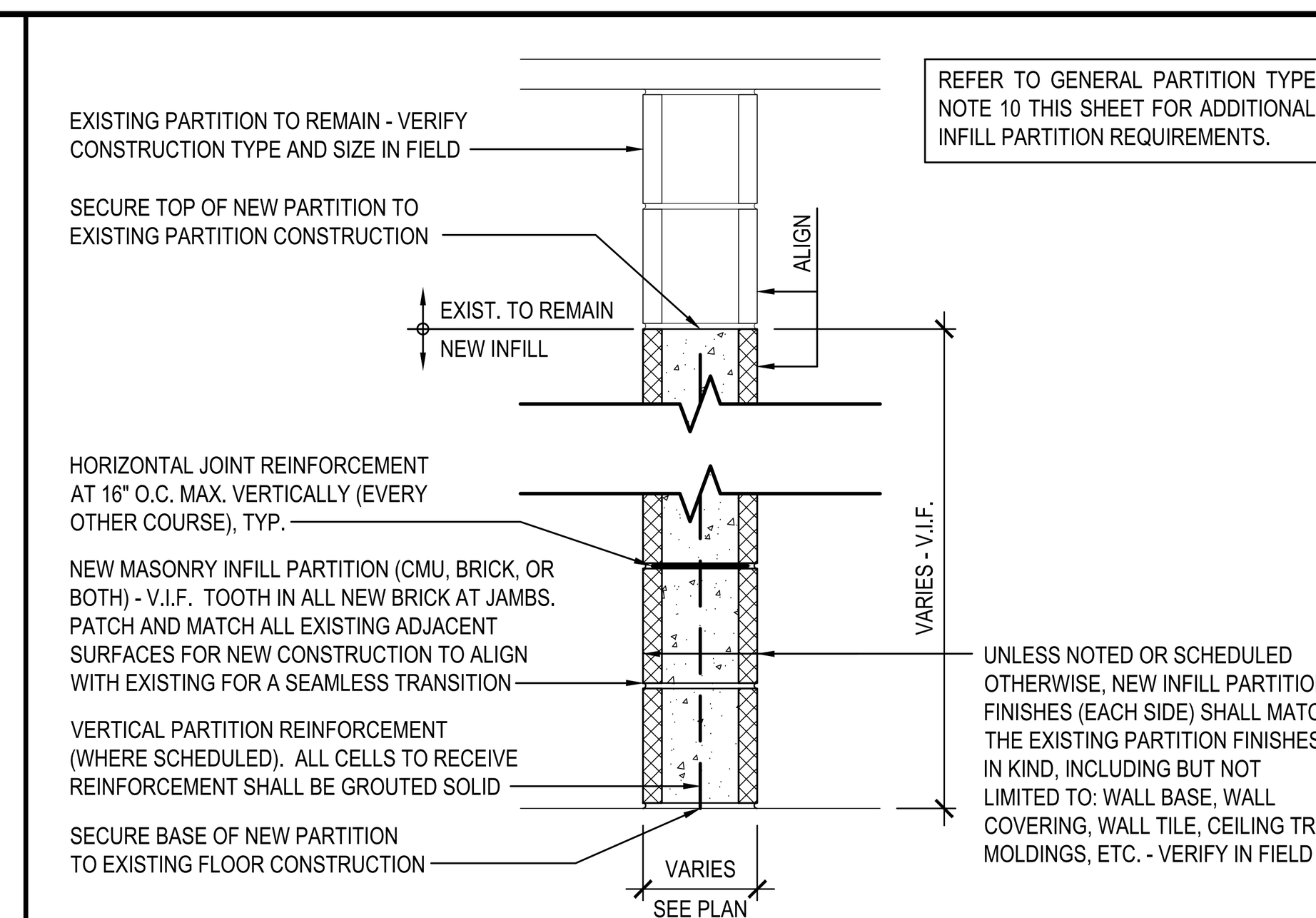


NOTE:
COORDINATE PLUMBING PARTITION CONSTRUCTION WITH ALL TRADES. REFER TO MEP-SERIES DRAWINGS FOR ADDITIONAL INFORMATION.

NOTE:
REFER TO A-9 SERIES DRAWINGS FOR WALL TILE (WHERE APPLICABLE) AND FINISH ADDITIONAL INFORMATION.

D CMU PLUMBING PARTITION
REFER TO ENLARGED TOILET ROOM PLANS FOR ADDITIONAL INFORMATION

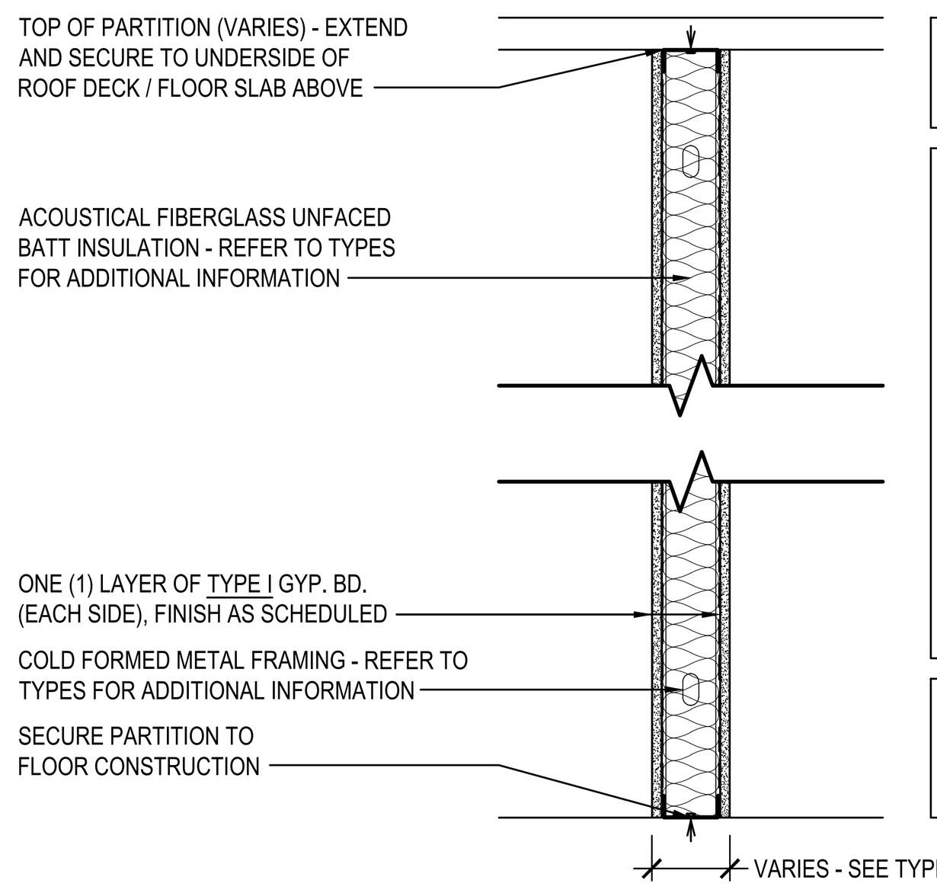
REV. 1-2020



REFER TO GENERAL PARTITION TYPE NOTE 10 THIS SHEET FOR ADDITIONAL INFILL PARTITION REQUIREMENTS.

E MASONRY INFILL PARTITION
CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS IN FIELD

REV. 1-2020



WHERE TILE IS SCHEDULED AT GYP. BD. PARTITIONS, REFER TO GENERAL PARTITION TYPE NOTE 8 THIS SHEET.

TYPE F5 (4⅞" TOTAL THICKNESS): 3⅝" 20 GA. MIN. COLD FORMED METAL FRAMING AT 16" O.C. MAX. WITH 3½" R-11 ACOUSTICAL FIBERGLASS UNFACED BATT INSULATION
TYPE F7 (7¼" TOTAL THICKNESS): 6" 20 GA. MIN. COLD FORMED METAL FRAMING AT 16" O.C. MAX. WITH 5½" R-21 ACOUSTICAL FIBERGLASS UNFACED BATT INSULATION
TYPE F9 (9¼" TOTAL THICKNESS): 8" 20 GA. MIN. COLD FORMED METAL FRAMING AT 16" O.C. MAX. WITH 8" R-25 ACOUSTICAL FIBERGLASS UNFACED BATT INSULATION

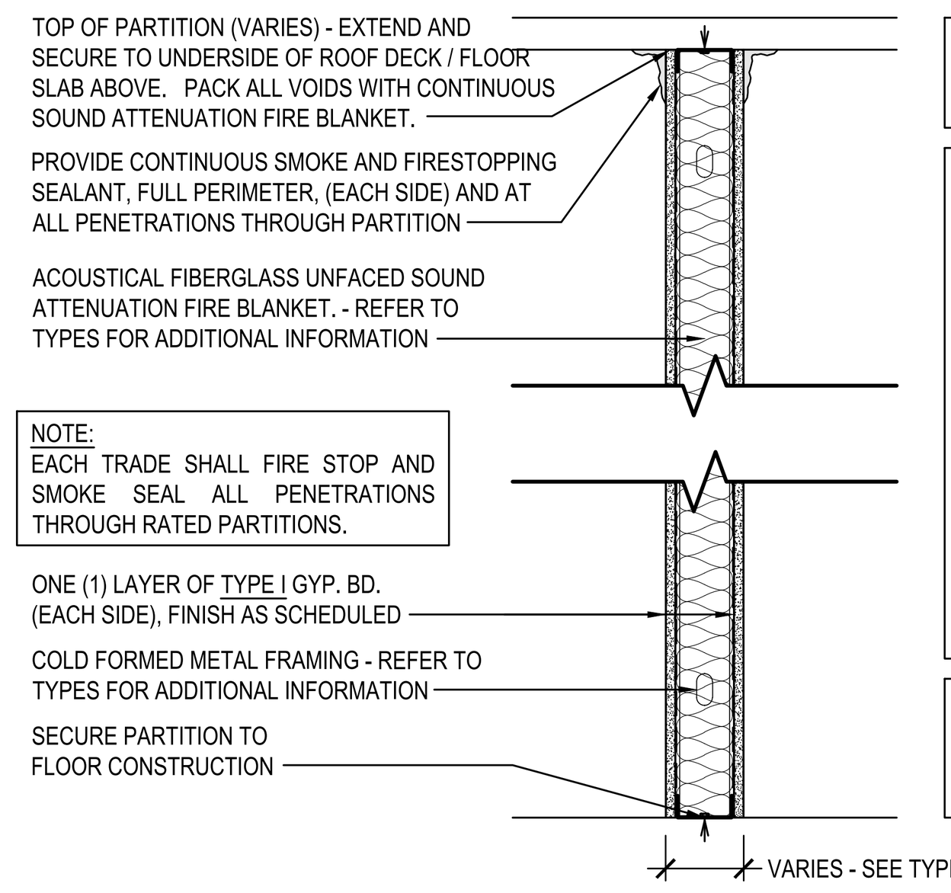
NOTE:
ALL BASE AND TOP TRACK RUNNERS SHALL BE COLD FORMED METAL 20GA MIN. FASTENED AT 24" O.C. MAX.

F5 5" NOM. GYP. BD. METAL STUD PARTITION
NON-RATED / NON-BEARING INTERIOR PARTITION

F7 7" NOM. GYP. BD. METAL STUD PARTITION
NON-RATED / NON-BEARING INTERIOR PARTITION, GRAPHIC SIMILAR AS SHOWN

F9 9" NOM. GYP. BD. METAL STUD PARTITION
NON-RATED / NON-BEARING INTERIOR PARTITION, GRAPHIC SIMILAR AS SHOWN

REV. 1-2020



NOTE:
EACH TRADE SHALL FIRE STOP AND SMOKE SEAL ALL PENETRATIONS THROUGH RATED PARTITIONS.

WHERE TILE IS SCHEDULED AT GYP. BD. PARTITIONS, REFER TO GENERAL PARTITION TYPE NOTE 8 THIS SHEET.

TYPE G5 (4⅞" TOTAL THICKNESS): 3⅝" 20 GA. MIN. COLD FORMED METAL FRAMING AT 16" O.C. MAX. WITH 3½" R-11 SOUND ATTENUATION FIRE BLANKETS.
TYPE G7 (7¼" TOTAL THICKNESS): 6" 20 GA. MIN. COLD FORMED METAL FRAMING AT 16" O.C. MAX. WITH 5½" R-21 SOUND ATTENUATION FIRE BLANKETS.
TYPE G9 (9¼" TOTAL THICKNESS): 8" 20 GA. MIN. COLD FORMED METAL FRAMING AT 16" O.C. MAX. WITH 8" R-25 SOUND ATTENUATION FIRE BLANKETS.

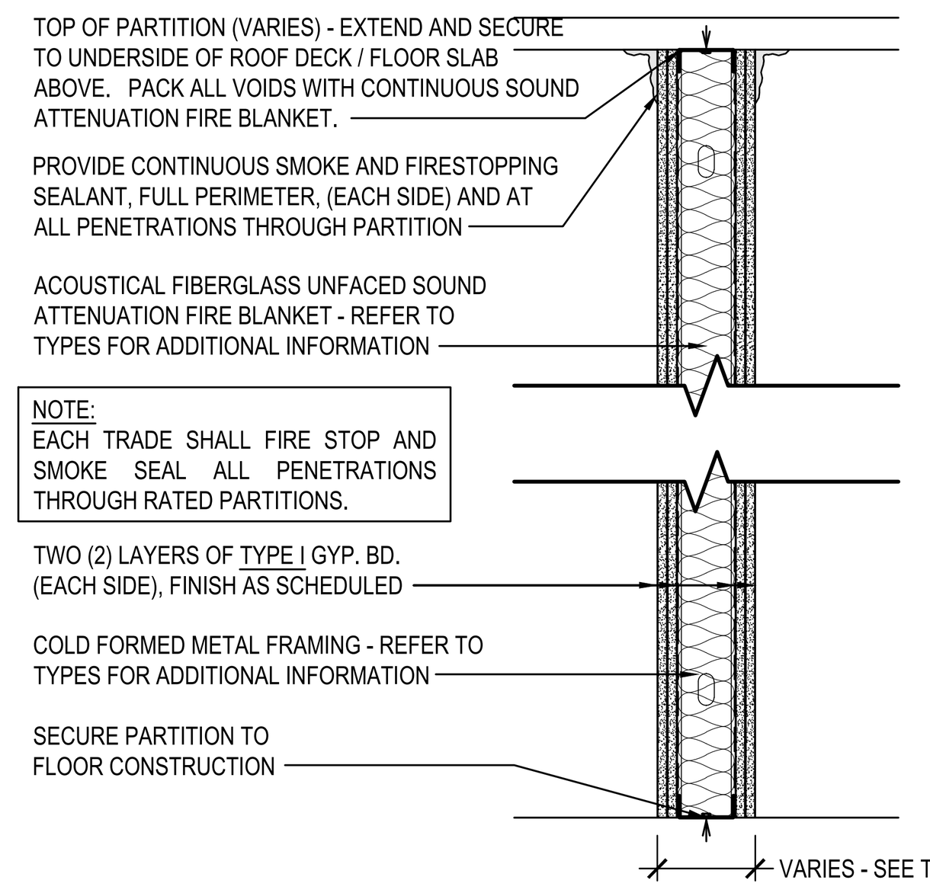
NOTE:
ALL BASE AND TOP TRACK RUNNERS SHALL BE COLD FORMED METAL 20GA MIN. FASTENED AT 24" O.C. MAX.

G5 5" NOM. GYP. BD. METAL STUD PARTITION (1-HR RATING)
UL U419 / STC 49, NON-BEARING INTERIOR PARTITION

G7 7" NOM. GYP. BD. METAL STUD PARTITION (1-HR RATING)
UL U419 / STC 49, NON-BEARING INTERIOR PARTITION, GRAPHIC SIMILAR AS SHOWN

G9 9" NOM. GYP. BD. METAL STUD PARTITION (1-HR RATING)
UL U419 / STC 49, NON-BEARING INTERIOR PARTITION, GRAPHIC SIMILAR AS SHOWN

REV. 2-2021



NOTE:
EACH TRADE SHALL FIRE STOP AND SMOKE SEAL ALL PENETRATIONS THROUGH RATED PARTITIONS.

WHERE TILE IS SCHEDULED AT GYP. BD. PARTITIONS, REFER TO GENERAL PARTITION TYPE NOTE 8 THIS SHEET.

TYPE H6 (6⅛" TOTAL THICKNESS): 3⅝" 20 GA. MIN. COLD FORMED METAL FRAMING AT 16" O.C. MAX. WITH 3½" R-11 SOUND ATTENUATION FIRE BLANKETS.
TYPE H9 (8½" TOTAL THICKNESS): 6" 20 GA. MIN. COLD FORMED METAL FRAMING AT 16" O.C. MAX. WITH 5½" R-21 SOUND ATTENUATION FIRE BLANKETS.
TYPE H11 (10½" TOTAL THICKNESS): 8" 20 GA. MIN. COLD FORMED METAL FRAMING AT 16" O.C. MAX. WITH 8" R-25 SOUND ATTENUATION FIRE BLANKETS.

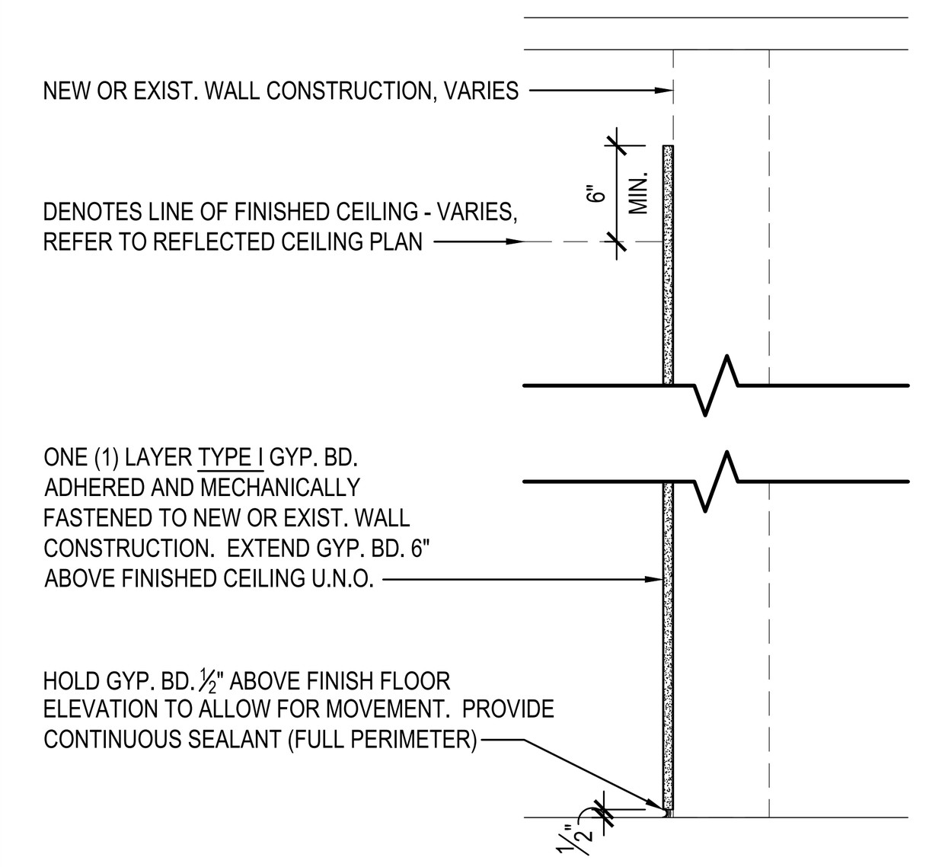
NOTE:
ALL BASE AND TOP TRACK RUNNERS SHALL BE COLD FORMED METAL 20GA MIN. FASTENED AT 24" O.C. MAX.

H6 6" NOM. GYP. BD. METAL STUD PARTITION (2-HR RATING)
UL U419 / STC 54, NON-BEARING INTERIOR PARTITION

H9 9" NOM. GYP. BD. METAL STUD PARTITION (2-HR RATING)
UL U419 / STC 54, NON-BEARING INTERIOR PARTITION, GRAPHIC SIMILAR AS SHOWN

H11 11" NOM. GYP. BD. METAL STUD PARTITION (2-HR RATING)
UL U419 / STC 54, NON-BEARING INTERIOR PARTITION, GRAPHIC SIMILAR AS SHOWN

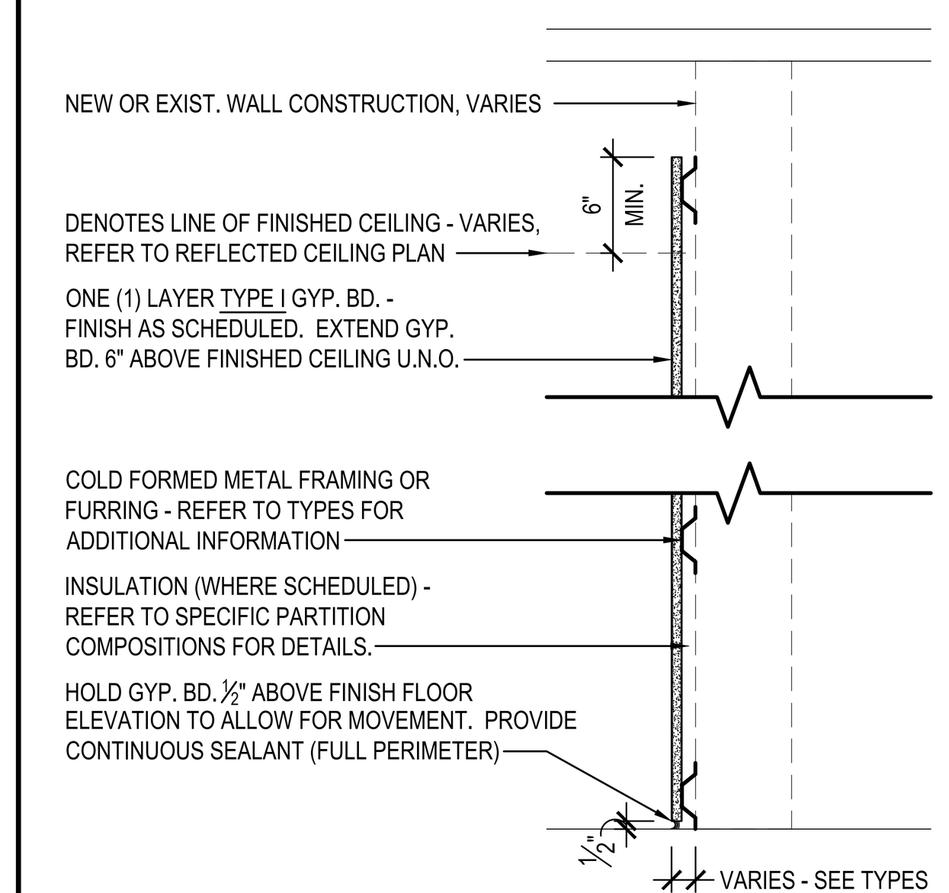
REV. 2-2021



WHERE TILE IS SCHEDULED AT GYP. BD. PARTITIONS, REFER TO GENERAL PARTITION TYPE NOTE 8 THIS SHEET.

I GYP. BD. LAMINATION OVER SUBSTRATE

REV. 1-2020



WHERE TILE IS SCHEDULED AT GYP. BD. PARTITIONS, REFER TO GENERAL PARTITION TYPE NOTE 8 THIS SHEET.

TYPE J1 (1½" TOTAL THICKNESS): ⅞" 22 GA. MIN. COLD FORMED METAL FRAMING HAT CHANNEL FURRING AT 16" O.C. MAX. VERTICALLY
TYPE J2 (2¼" TOTAL THICKNESS): 1⅝" 20GA. MIN. COLD FORMED METAL FRAMING AT 16" O.C. MAX. HORIZ. PROVIDE 1-1/2" RIGID INSULATION BETWEEN ALL STUDS.
TYPE J3 (3⅛" TOTAL THICKNESS): 2½" 20GA. MIN. COLD FORMED METAL FRAMING AT 16" O.C. MAX. HORIZ. PROVIDE 2-1/2" RIGID INSULATION BETWEEN ALL STUDS.

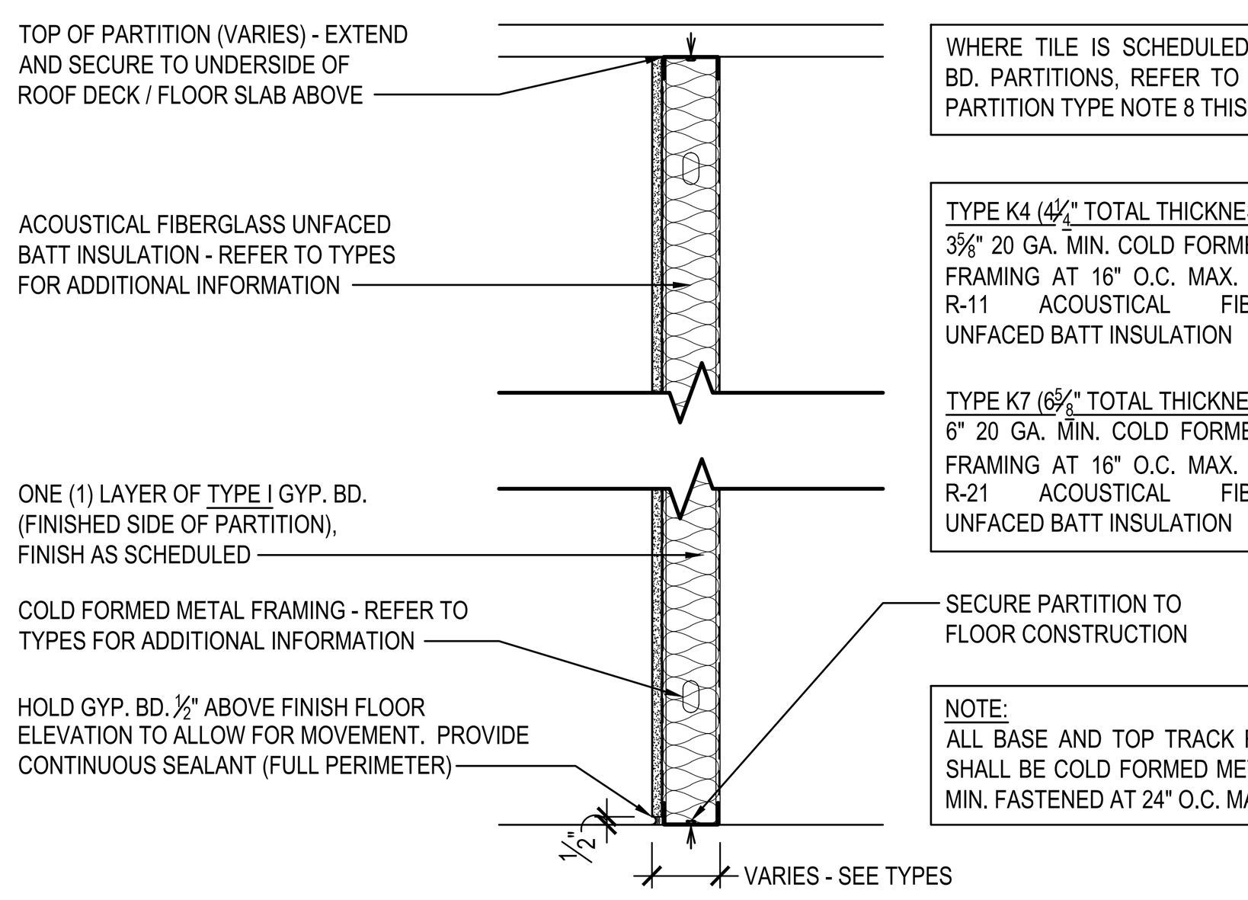
NOTE:
ALL BASE AND TOP TRACK RUNNERS (WHERE APPLICABLE) SHALL BE COLD FORMED METAL 20GA MIN. FASTENED AT 24" O.C. MAX.

J1 GYP. BD. OVER 7/8" METAL FURRING

J2 GYP. BD. OVER 1-5/8" METAL FURRING
GRAPHIC SIMILAR AS SHOWN

J3 GYP. BD. OVER 2-1/2" METAL FURRING
GRAPHIC SIMILAR AS SHOWN

REV. 1-2020



WHERE TILE IS SCHEDULED AT GYP. BD. PARTITIONS, REFER TO GENERAL PARTITION TYPE NOTE 8 THIS SHEET.

TYPE K4 (4¼" TOTAL THICKNESS): 3⅝" 20 GA. MIN. COLD FORMED METAL FRAMING AT 16" O.C. MAX. WITH 3½" R-11 ACOUSTICAL FIBERGLASS UNFACED BATT INSULATION

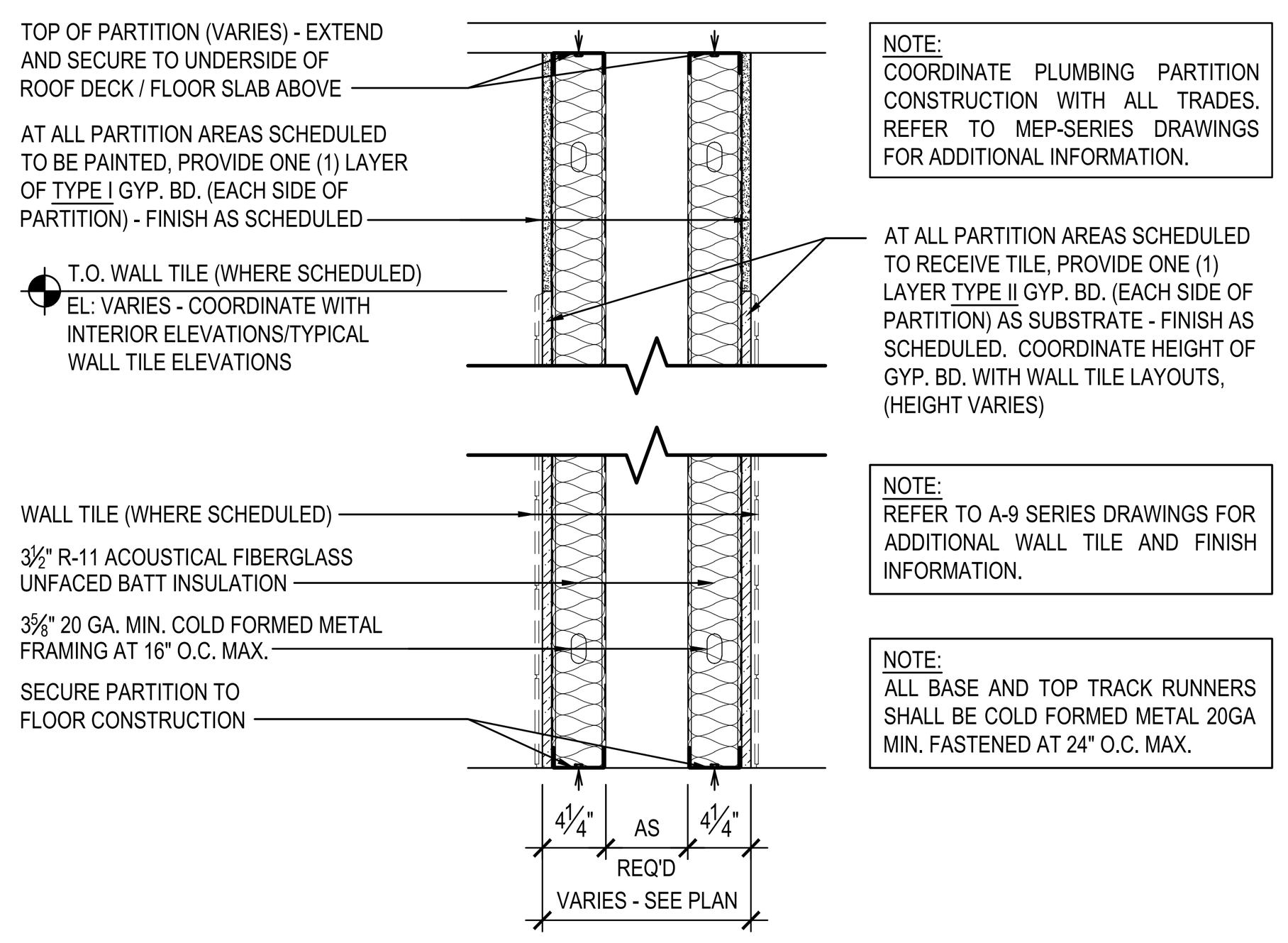
TYPE K7 (6⅝" TOTAL THICKNESS): 6" 20 GA. MIN. COLD FORMED METAL FRAMING AT 16" O.C. MAX. WITH 5½" R-21 ACOUSTICAL FIBERGLASS UNFACED BATT INSULATION

NOTE:
ALL BASE AND TOP TRACK RUNNERS SHALL BE COLD FORMED METAL 20GA MIN. FASTENED AT 24" O.C. MAX.

K4 4" NOM. GYP. BD. METAL STUD PARTITION - SINGLE SIDED

K7 7" NOM. GYP. BD. METAL STUD PARTITION - SINGLE SIDED

REV. 1-2020



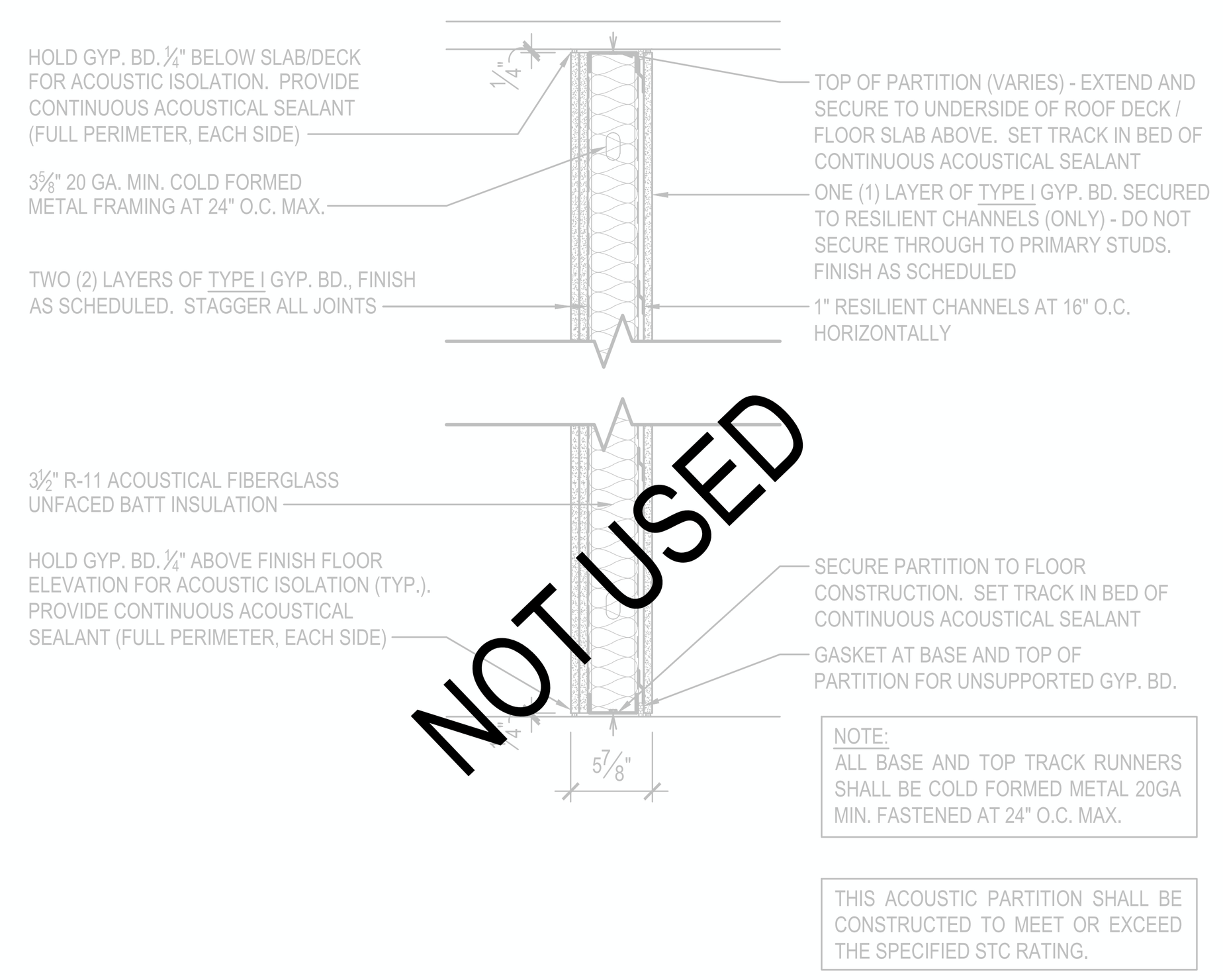
NOTE:
COORDINATE PLUMBING PARTITION CONSTRUCTION WITH ALL TRADES. REFER TO MEP-SERIES DRAWINGS FOR ADDITIONAL INFORMATION.

NOTE:
REFER TO A-9 SERIES DRAWINGS FOR ADDITIONAL WALL TILE AND FINISH INFORMATION.

NOTE:
ALL BASE AND TOP TRACK RUNNERS SHALL BE COLD FORMED METAL 20GA MIN. FASTENED AT 24" O.C. MAX.

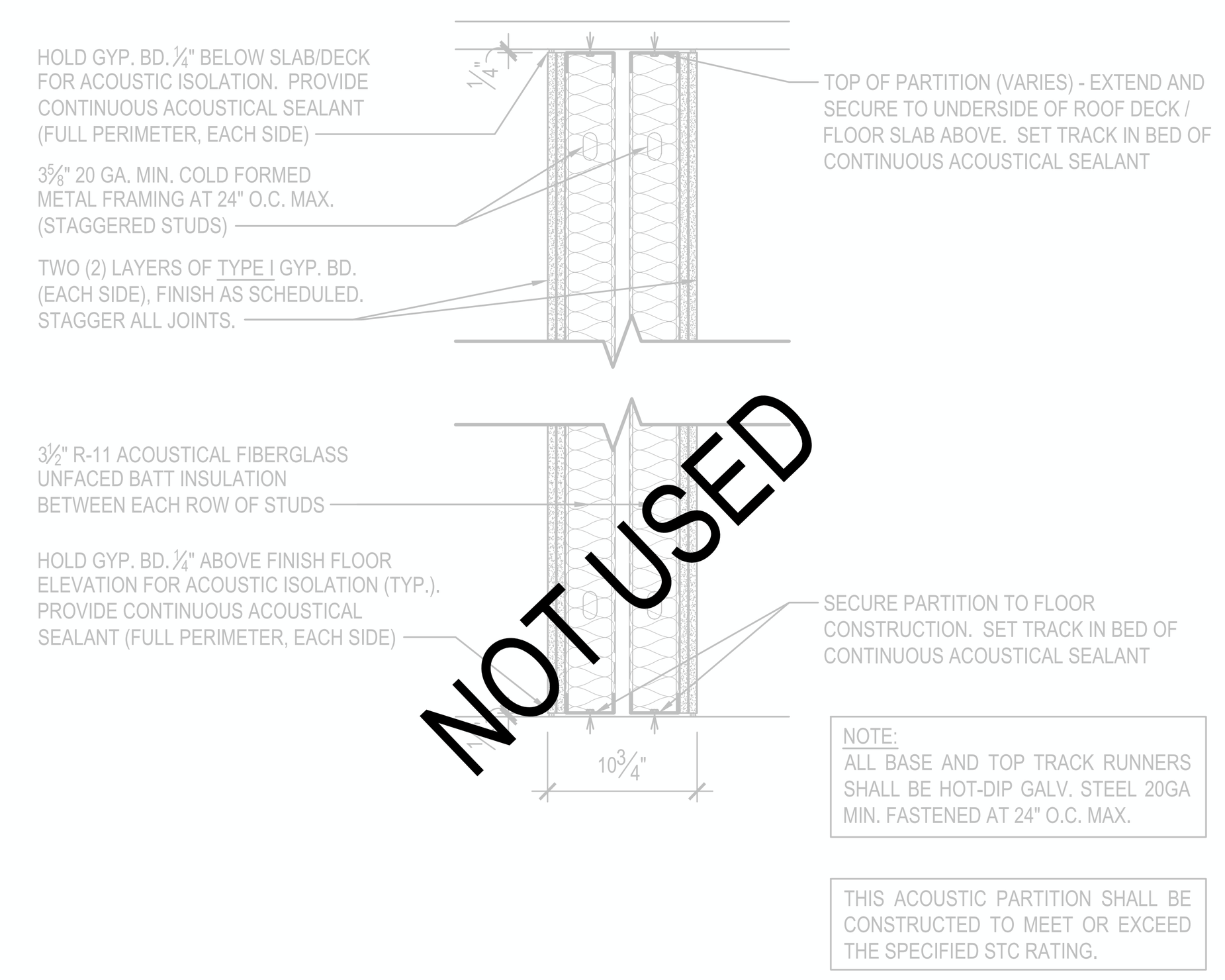
L GYP. BD. METAL STUD PLUMBING PARTITION
REFER TO ENLARGED TOILET ROOM PLANS FOR ADDITIONAL INFORMATION

REV. 5-2023



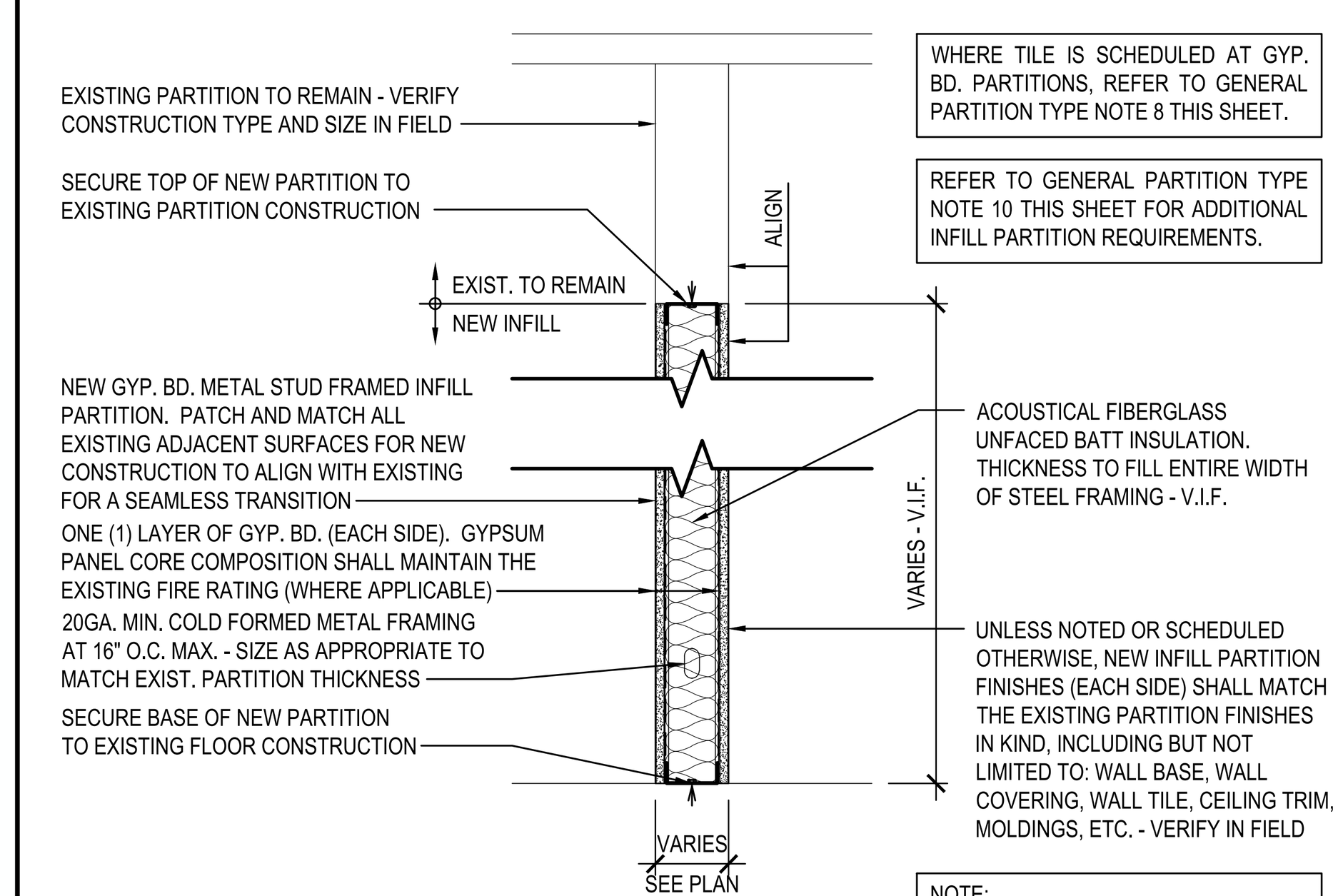
M GYP. BD. METAL STUD ACOUSTICAL PARTITION
UL U452 / STC 58

REV. 1-2020



N GYP. BD. METAL STUD ACOUSTICAL PARTITION
UL U493 / STC 66

REV. 1-2020



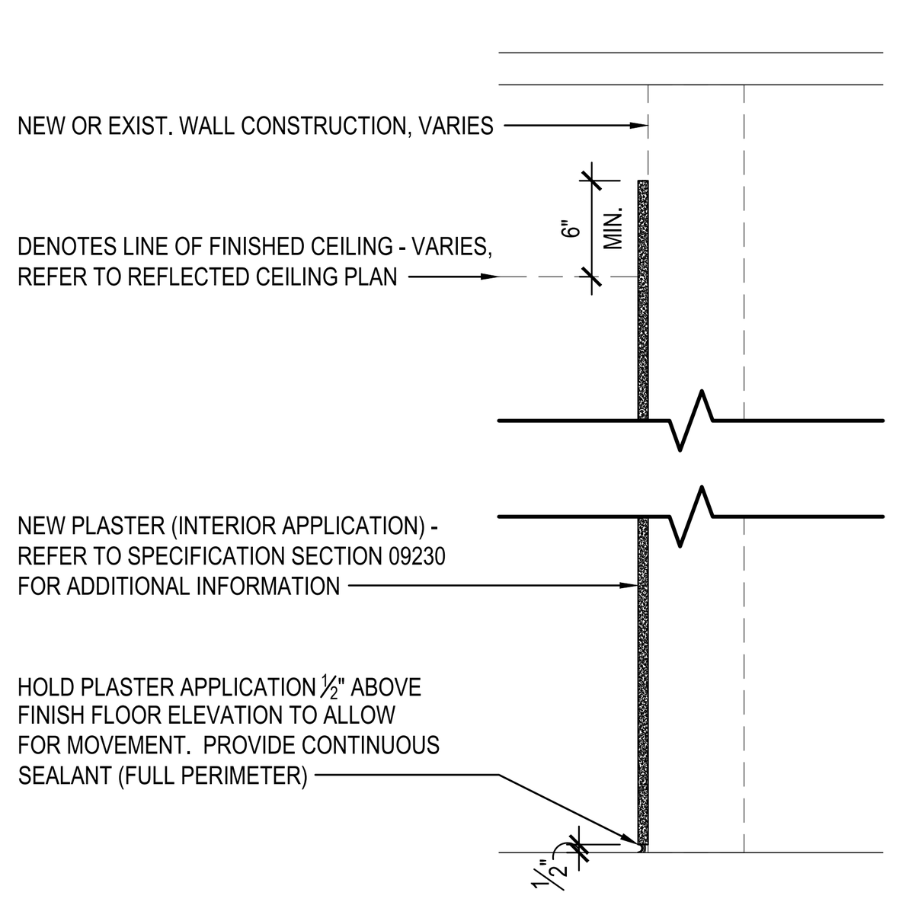
WHERE TILE IS SCHEDULED AT GYP. BD. PARTITIONS, REFER TO GENERAL PARTITION TYPE NOTE 8 THIS SHEET.

REFER TO GENERAL PARTITION TYPE NOTE 10 THIS SHEET FOR ADDITIONAL INFILL PARTITION REQUIREMENTS.

NOTE:
ALL BASE AND TOP TRACK RUNNERS SHALL BE COLD FORMED METAL 20GA MIN. FASTENED AT 24" O.C. MAX.

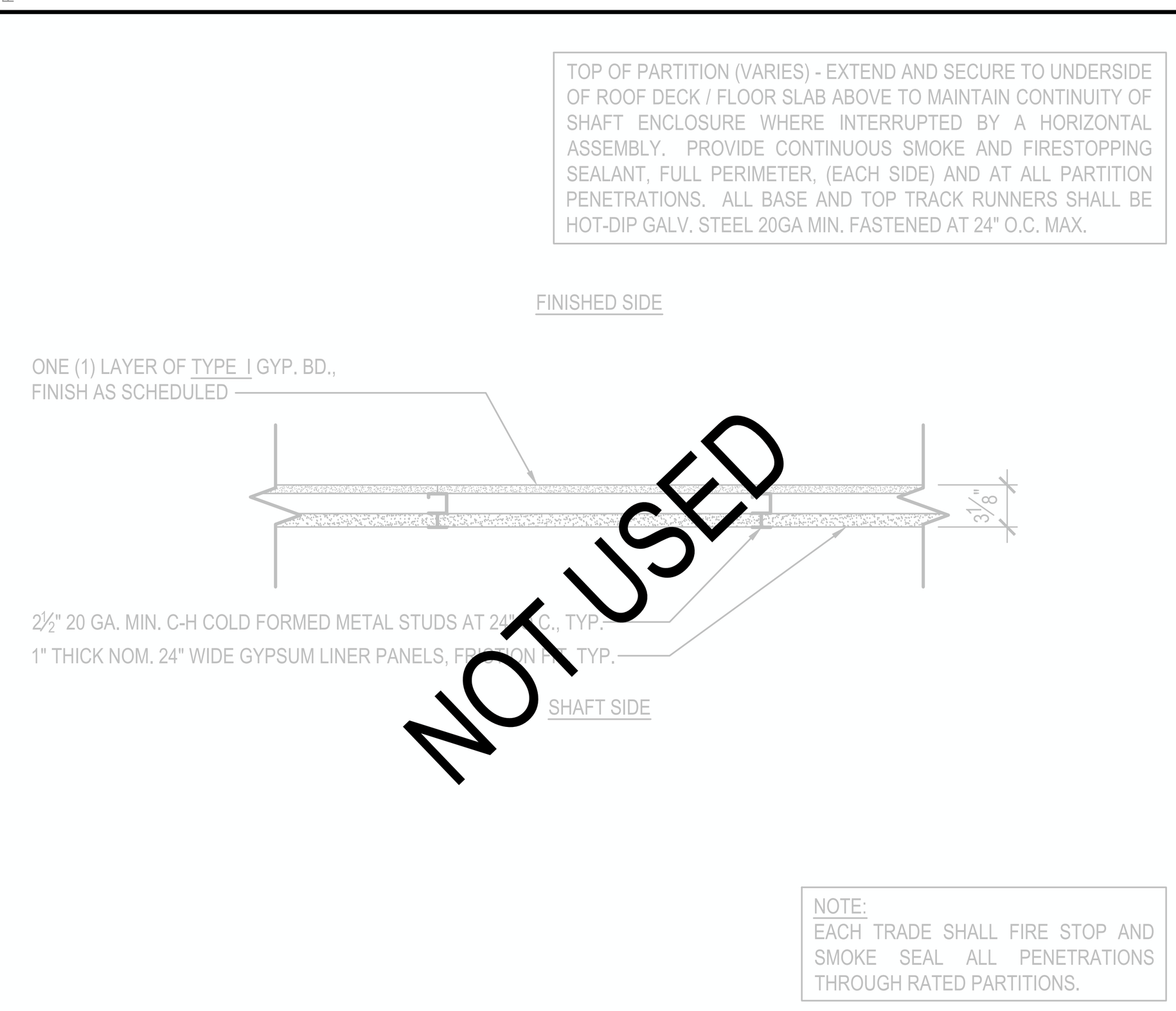
O GYP. BD. METAL STUD INFILL PARTITION
CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS IN FIELD

REV. 1-2020



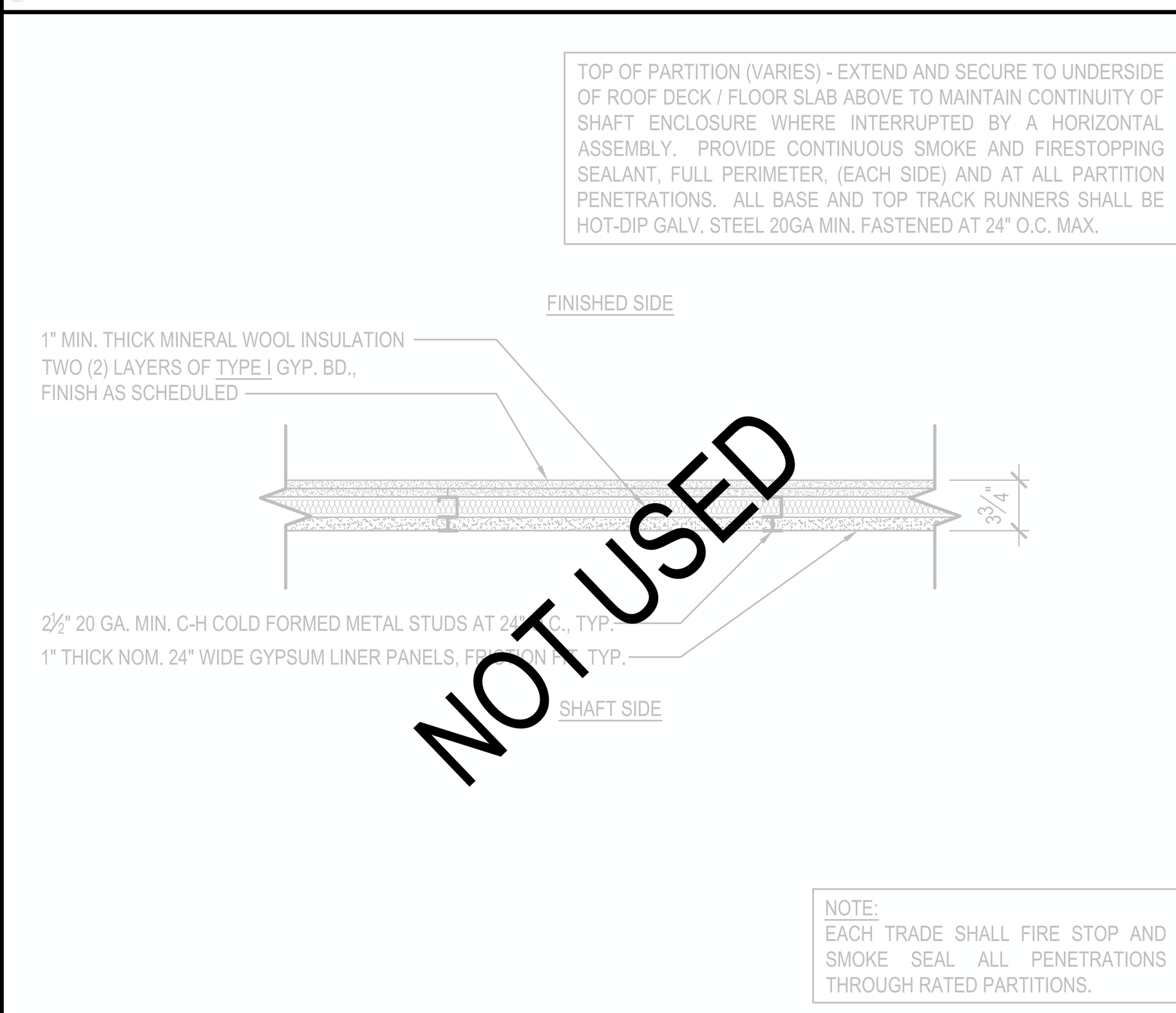
P PLASTER APPLICATION OVER SUBSTRATE

REV. 5-2023



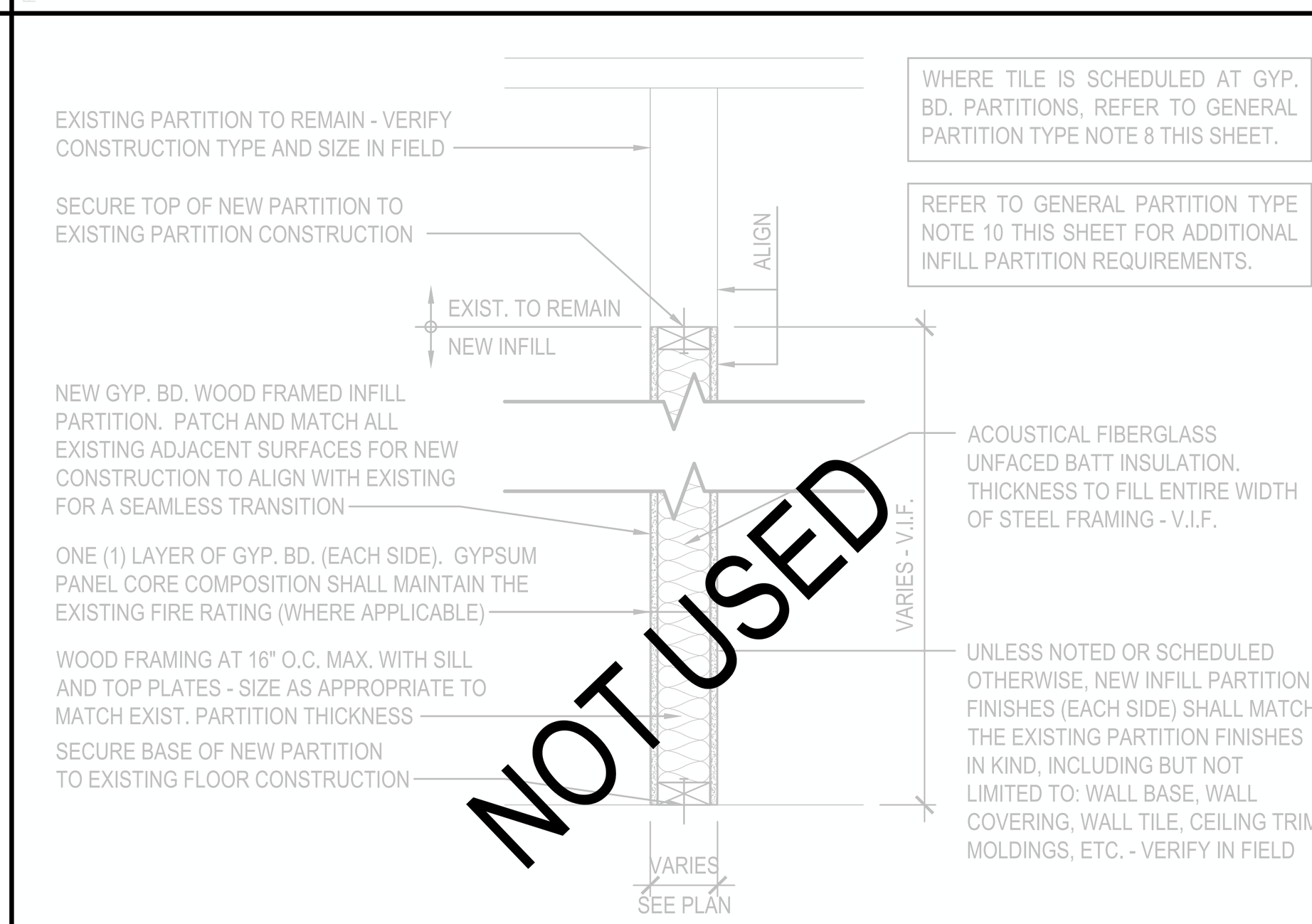
Q GYP. BD. METAL STUD SHAFT PARTITION (1-HR RATING)
UL U415 SYSTEM A / STC N/A (PLAN VIEW SHOWN)

REV. 1-2020



R GYP. BD. METAL STUD SHAFT PARTITION (2-HR RATING)
UL U415 SYSTEM B / STC 48 (PLAN VIEW SHOWN)

REV. 1-2020



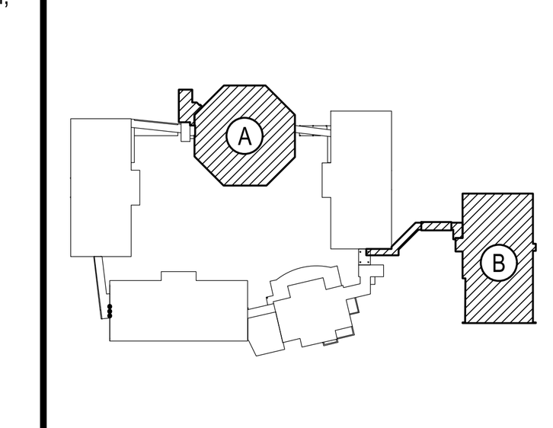
S GYP. BD. WOOD STUD INFILL PARTITION
CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS IN FIELD

REV. 1-2020

GENERAL PARTITION TYPE NOTES:

1. ALL PARTITIONS SHALL EXTEND TO UNDERSIDE OF A FLOOR SLAB OR ROOF DECK UNLESS OTHERWISE NOTED.
2. AT ALL PARTITIONS THAT ARE DESIGNATED TO BE FIRE RATED PARTITIONS; PROVIDE CONTINUOUS SMOKE AND FIRESTOPPING SEALANT AT TOPS OF PARTITIONS; AT ALL PENETRATIONS THROUGH RATED PARTITIONS; AND FIRE SAFING JOINT FILLER AT PARTITION TO SLAB/DECK JUNCTION.
3. REFER TO CODE COMPLIANCE DRAWINGS FOR LOCATIONS OF ALL FIRE RATED PARTITIONS/ASSEMBLIES AND ADDITIONAL FIRE RATING INFORMATION.
4. ALL PARTITIONS SHALL BE FINISHED AS SCHEDULED. ALL FINISHES SHALL BE CONTINUOUS AT ALL PARTITION FACES UNLESS NOTED OTHERWISE. REFER TO A9-SERIES FOR ADDITIONAL FINISH INFORMATION.
5. ALL NEW PARTITIONS SHALL BE PREPPED, PRIMED AND PAINTED. REFER TO SPECIFICATION SECTION 099000.
6. REFER TO THE PROJECT MANUAL FOR CONTROL AND EXPANSION JOINT REQUIREMENTS FOR ALL MASONRY WALL CONSTRUCTION, GYP. BD. WALL CONSTRUCTION, GYP. BD. LAMINATION, AND PLASTER SURFACING.
7. REFER TO SPECIFICATIONS FOR GYPSUM BOARD TYPE DESIGNATIONS AND APPLICABLE LOCATIONS (GYP. BD. TYPE I / TYPE II).
8. WHERE METAL STUD FRAMED PARTITIONS ARE SCHEDULED TO RECEIVE NEW TILE FINISHES; THE CONTRACTOR SHALL PROVIDE GYPSUM WALL BOARD TYPE II AT THE LOCATIONS TO RECEIVE TILE (ONLY) IN LIEU OF THE SCHEDULED GYP. BD. TYPE FOR A SUITABLE WALL FINISH SUBSTRATE. REFER TO A-9 SERIES FOR ADDITIONAL INFORMATION.
9. ALL NEW OPENINGS IN METAL STUD PARTITIONS, INCLUDING BUT NOT LIMITED TO DOORS AND WINDOWS, SHALL RECEIVE THE APPROPRIATE HEADER AS DESIGNED BY THE LIGHT GAUGE FRAMING MANUFACTURER.
10. WHERE EXISTING OPENINGS IN EXISTING PARTITIONS ARE SCHEDULED TO BE INFILLED, THE NEW INFILL CONSTRUCTION SHALL MAINTAIN AND MATCH THE EXISTING PARTITION'S FIRE RATING FOR CONTINUITY OF FIRE AND SMOKE PROTECTION - CONTRACTOR TO VERIFY IN FIELD (1-HR MIN. RATING AT CORRIDORS). REFER TO CODE COMPLIANCE DRAWINGS FOR ADDITIONAL INFORMATION.
11. AT ALL LOCATIONS WHERE EXISTING PARTITIONS ARE SCHEDULED TO BE PATCHED OR INFILLED; ALL NEW CONSTRUCTION/FINISHES SHALL MATCH THE EXISTING ADJACENT SURFACES IN KIND - CONTRACTOR TO V.I.F.
12. AT ALL LOCATIONS WHERE NEW WORK IS SCHEDULED, THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING, LATERAL BRACING, AND ADDITIONAL FRAMING AS REQUIRED TO SECURE NEW PARTITIONS TO THE STRUCTURE ABOVE AND TO ACCOMMODATE ALL NEW WALL MOUNTED FIXTURES, ACCESSORIES, EQUIPMENT, ETC.
13. WHERE PARTITION TYPES ARE NOT SPECIFICALLY IDENTIFIED IN PLAN, IT IS THE INTENT THAT THE GRAPHICALLY INDICATED WALL TYPE SHALL BE CONTIGUOUS UNTIL INTERRUPTED BY ANOTHER SPECIFIED WALL TYPE.

REV.	DATE	ITEM



KEY PLAN
NOT TO SCALE

PROJECT
BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE
PARTITION TYPES

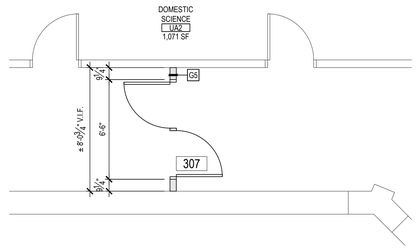
DRAWING BY: P.J.H.
CHECK BY: G.W.S.

BBS
ARCHITECTS
LANDSCAPE ARCHITECTS
ENGINEERS

244 EAST MAIN STREET, PATCHOGUE, NEW YORK 11772, T. 631.475.0349, F. 631.475.0361
100 GREAT OAKS BLVD. SUITE 115, ALBANY, NEW YORK 12203, T. 518.621.7650, F. 518.621.7655
www.BBSARCHITECTURE.com

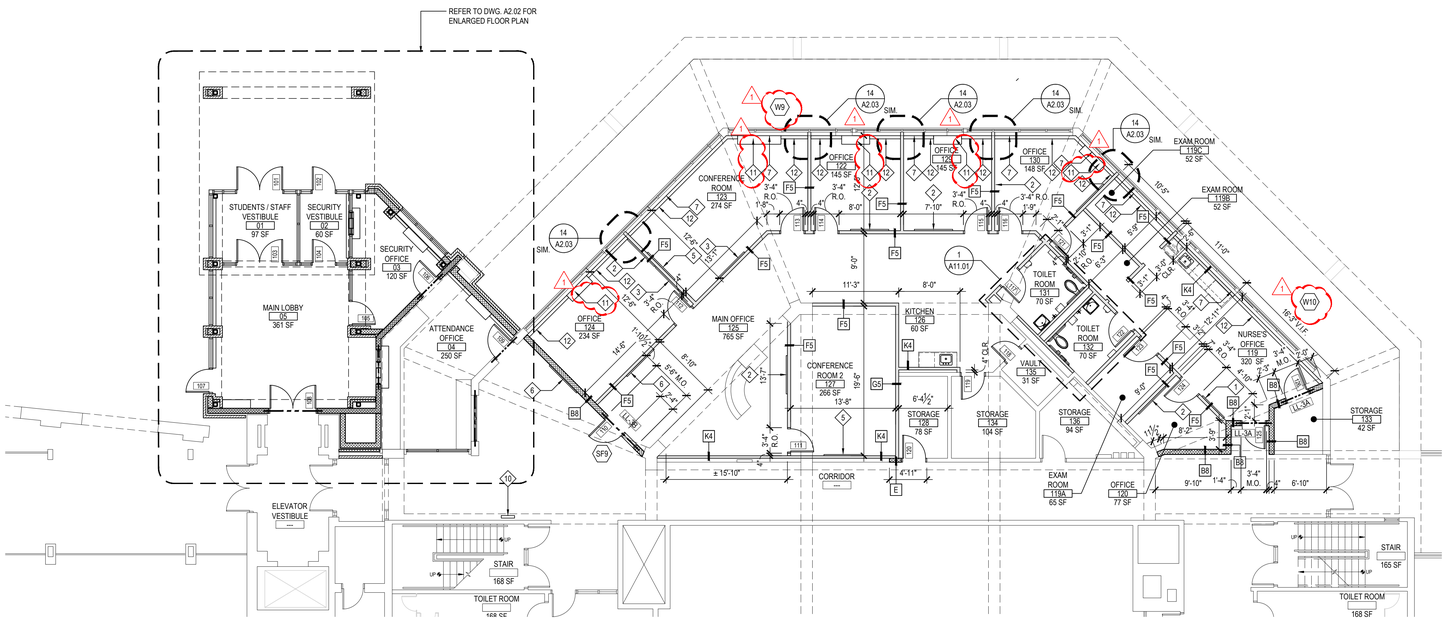
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	PARTITION TYPES
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

A2.00



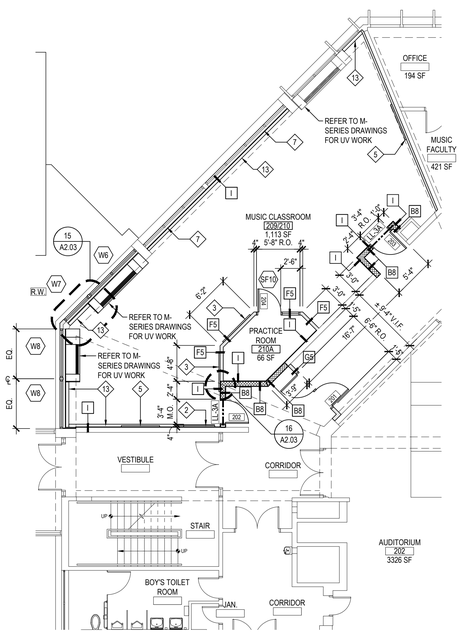
1 ENLARGED SECOND FLOOR PROPOSED PLAN

SCALE: 1/4" = 1'-0"



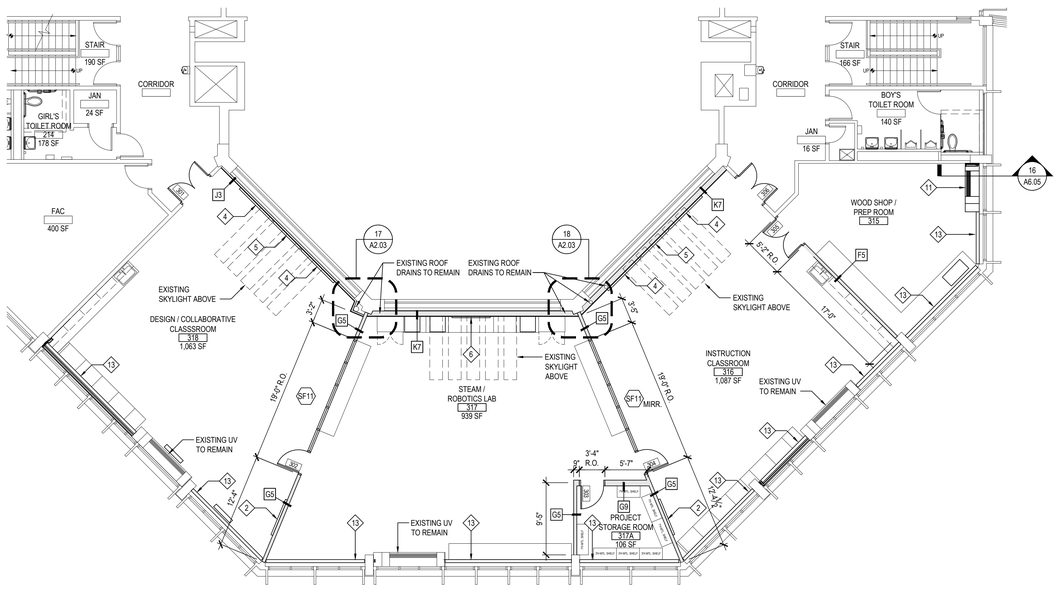
LOWER LEVEL PROPOSED PLAN

SCALE: 1/8" = 1'-0"



FIRST FLOOR PROPOSED PLAN

SCALE: 1/8" = 1'-0"



SECOND FLOOR PROPOSED PLAN

SCALE: 1/8" = 1'-0"

GENERAL CONSTRUCTION NOTES

1. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND PROCEEDING WITH WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING PRIOR TO START OF WORK.
2. IN ACCORDANCE WITH STATE AND LOCAL CODES, THE REQUIRED EXITS IN THE EXISTING BUILDING MUST BE KEPT CLEAR, MAINTAINED AND PROTECTED DURING THE CONSTRUCTION PERIOD.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS REQUIRED FOR ESTIMATING.
4. ALL WORK AND MATERIAL OF THIS PROJECT AND ADJACENT SURFACES SHALL BE PROTECTED FROM DAMAGE. IN THE EVENT OF DAMAGE, THE CONTRACTOR SHALL IMMEDIATELY MAKE ALL REPAIRS AND REPLACEMENT NECESSARY TO THE APPROVAL OF THE ARCHITECT AND OWNER AND AT NO ADDITIONAL COST TO OWNER.
5. CONTRACTOR SHALL PROTECT ALL AREAS OF WORK FROM INCLEMENT WEATHER DURING AND AT THE END OF DAILY WORK OPERATIONS.
6. ALL PROJECT WASTE MATERIAL AND RUBBISH SHALL BE DISPOSED IN CONTAINERS PROVIDED BY THE CONTRACTOR FOR SUBSEQUENT LEGAL OFF-SITE DISPOSAL. CONTAINER LOCATION TO BE COORDINATED WITH THE OWNER & CONSTRUCTION MANAGER. OFF-SITE DISPOSAL TO BE ON A REGULAR BASIS.
7. ALL INTERIOR SURFACES DISTURBED DURING CONSTRUCTION SHALL BE REPAIRED AND/OR REPLACED TO MATCH EXISTING CONDITIONS TO THE APPROVAL OF THE ARCHITECT AND OWNER.
8. ALL DEBRIS, DUST AND DIRT CAUSED BY WORK OF THIS CONTRACT SHALL BE REMOVED FROM SITE BY APPROPRIATE MEANS. RESTORE ALL CONDITIONS TO THE STATE OF CLEANLINESS THAT EXISTED PRIOR TO COMMENCEMENT OF WORK.
9. ALL DEMOLITION AND CONSTRUCTION WORK TO BE PERFORMED WITHOUT INTERRUPTION OF OWNER OPERATIONS. IF INTERRUPTION IS NECESSARY, WORK MUST NOT PROCEED UNTIL WRITTEN APPROVAL HAS BEEN OBTAINED FROM OWNER.
10. ALL CONTRACTORS ARE TO COORDINATE INSTALLATION OF THEIR WORK WITH EACH OTHER AND WITH THE WORK BEING PERFORMED UNDER SEPARATE CONTRACTS BY OTHERS AND WORK PERFORMED BY THE OWNER'S VENDOR(S).
11. REFER TO CONSTRUCTION IMPLEMENTATION PLANS AND CONSTRUCTION SPECIAL PROVISIONS (PREPARED BY OTHERS, IF APPLICABLE) FOR ALL REQUIREMENTS FOR TEMPORARY CONSTRUCTION.

PROPOSED KEY NOTES

1. 4'-0"H x 4'-0"W TACKBOARD PROVIDED AND INSTALLED BY G.C.
2. 4'-0"H x 5'-0"W TACKBOARD PROVIDED AND INSTALLED BY G.C.
3. 4'-0"H x 5'-0"W MARKERBOARD PROVIDED AND INSTALLED BY G.C.
4. 4'-0"H x 6'-0"W MARKERBOARD PROVIDED AND INSTALLED BY G.C.
5. NEW INTERACTIVE LCD SMARTBOARD PROVIDED BY OWNER, INSTALLED BY E.C. G.C. TO INSTALL SOLID BLOCKING IN ALL EXISTING AND NEW METAL STUD WALLS. COORDINATE IN FIELD. REFER TO E-SERIES DRAWINGS.
6. NEW WALL MOUNTED MONITOR PROVIDED BY OWNER, INSTALLED BY E.C. REFER TO E-SERIES DRAWINGS.
7. PROVIDE AND INSTALL NEW PHENOLIC RESIN WINDOW SILLS. MATCH WIDTH OF EXISTING MASONRY OPENING. REFER TO DETAIL ON SHEET A2.01.
8. PROVIDE AND INSTALL NEW FIRE EXTINGUISHER WITH RECESSED FIRE RATED CABINET. REFER TO DETAIL No. 5, DRAWING A11.06.
9. NEW ⅓ HOUR FIRE SHUTTER MODEL ERC-11-ALARMGUARD BY 'CORNELL IRONWORKS' OR ARCHITECT APPROVED EQUAL. E.C. TO CONNECT NEW SHUTTER SYSTEM INTO EXISTING FIRE ALARM SYSTEM.
10. NEW MECHANICAL FLOOR GRILLES PROVIDED BY M.C. COLOR AS SELECTED BY ARCHITECT.
11. NEW FLOOR MOUNTED HOT WATER CABINET UNIT HEATER BY M.C.
12. NEW FIN TUBE AND FIN TUBE ENCLOSURES BY M.C. REFER TO M- SERIES DRAWINGS.
13. M.C. TO REPLACE EXISTING FIN TUBE ENCLOSURES WITH NEW. REFER TO M- SERIES DRAWINGS.
14. NEW 1 ½ HOUR FIRE SHUTTER MODEL ERC-11-ALARMGUARD BY 'CORNELL IRONWORKS' OR ARCHITECT APPROVED EQUAL. E.C. TO CONNECT NEW SHUTTER SYSTEM INTO EXISTING FIRE ALARM SYSTEM.

GENERAL NOTES:

1. G.C. SHALL COORDINATE TACK BOARD / MARKERBOARD LOCATIONS AND ELEVATIONS IN EACH CLASSROOM W/ PROPOSED INTERACTIVE BOARD OR PROJECTOR AND OTHER CLASSROOM / OFFICE EQUIPMENT AND FURNISHINGS.
2. G.C. SHALL REFER TO M.E.P. SERIES DRAWINGS FOR ADDITIONAL WORK SCOPES NOT SHOWN ON THESE DRAWINGS AND COORDINATION OF WORK SCOPE BY OTHERS.

ARCHITECTURAL SYMBOL LEGEND

SYMBOL	DESCRIPTION
X	KEYED NOTE
XXX	DOOR NUMBER
WX	WINDOW DESIGNATION
XXXX / XXX / XXX SF	ROOM TAG ROOM NAME ROOM NUMBER ROOM AREA
# / AX.XX	DETAIL TAG DETAIL NUMBER DRAWING NUMBER
XX / XX.XX	SECTION / ELEVATION TAG DETAIL NUMBER DRAWING NUMBER
XX	DENOTES INTERIOR PARTITION TYPE - REFER TO PARTITION TYPES FOR ADDITIONAL INFORMATION.
E.J.	DENOTES LOCATION OF FULL BUILDING EXPANSION JOINT. PROVIDE APPROPRIATE INTERIOR FLOOR, WALL AND CEILING EXPANSION JOINT COVERS, WHERE APPLICABLE. PROVIDE VERTICAL JOINT BY "EMSEAL" OR EQUAL AT EXTERIOR, WHERE APPLICABLE.
M.C.J.	DENOTES LOCATION OF ½" MASONRY CONTROL JOINT WITH CONTINUOUS BACKER ROD AND SEALANT.
D.S.	DENOTES LOCATION OF NEW CAST STONE DATE STONE.
D.P.	DENOTES LOCATION OF NEW DEDICATION PLAQUE.
XX'-XX" / XXX.XX'	DENOTES FINISH FLOOR ELEVATION REFERENCED FROM 0'-0". WHERE ENGINEERING ELEVATIONS ARE REFERENCED (000.00'), REFER TO CIVIL-SERIES DRAWINGS FOR ADDITIONAL DATUM INFORMATION.
LL-XX	DENOTES LOCATION AND DESIGNATION OF NEW LINTEL.
I.D.	DENOTES LOCATION OF TRUSS / JOIST IDENTIFICATION SIGN.
R.W.	DENOTES LOCATION OF TRUSS / JOIST IDENTIFICATION SIGN.
M	DENOTES DOOR ON MAGNETIC AUTOMATIC HOLD OPEN DEVICE, CONNECTED TO FIRE ALARM SYSTEM.
	DENOTES ACCESSIBLE ENTRANCE/EXIT, FIXTURE, ACCESSORY, DEVICE, OR PARTICIPATION AREA.
1	REVISION CLOUD AND KEYED DESIGNATION. REFER TO DRAWING TITLEBLOCK FOR ADDITIONAL INFORMATION.
	CMU WALL CONSTRUCTION
	2-HOUR FIREWALL CONSTRUCTION
	BRICK VENEER CONSTRUCTION
	GYPSUM AND METAL STUD WALL CONSTRUCTION
	GYPSUM BOARD; PLASTER; MORTAR; SAND
	CONCRETE

LINTEL TYPES

REV. 3-2025

WALL THICKNESS	MARK	OPENINGS UP TO 4'-0"		MARK	OPENINGS 4'-0" TO 7'-0"	
4" CMU	LL-1A	MT6 x 5.9		LL-1B	MT6 x 5.9	
6" CMU	LL-2A	WT4 x 9		LL-2B	WT4 x 10.5	
8" CMU	LL-3A	(2) 3½" x 3½" x 5/16" STL. ANGLES		LL-3B	(2) 5" x 3½" x 5/16" (LLV)	
12" CMU	LL-4A	(1) 6" x 3½" x 5/16" (LLH) + (1) 5" x 3½" x 5/16" (LLH)		LL-4B	(1) 6" x 6" x 5/16" + (1) 5" x 5" x 5/16"	
12" COMPOSITE	LL-5A	(3) 3½" x 3½" x 5/16"		LL-5B	(3) 5" x 3½" x 5/16" (LLV)	
14" CAVITY	LL-6A	(2) 3½" x 3½" x 5/16" + (1) 6" x 3½" x 5/16" (LLH)		LL-6B	(2) 5" x 3½" x 5/16" (LLV) + (1) 6" x 6" x 5/16"	
15" CAVITY	LL-7A	(2) 3½" x 3½" x 5/16" + (1) 7" x 4" x 3/8" (LLH)		LL-7B	(2) 5" x 3½" x 5/16" (LLV) + (1) 7" x 4" x 3/8" (LLH)	
19" CAVITY	LL-8A	(1) 6" x 3½" x 5/16" (LLH) + (1) 7" x 4" x 3/8" (LLH)		LL-8B	(1) 6" x 6" x 5/16" + (1) 7" x 4" x 3/8" (LLH)	

NOTE:
1. AT EXTERIOR WALL, THE OUTSIDE ANGLE IS GALVANIZED.
2. ALL LINTELS SHALL BE 8" BEARING WITH (2) COURSES FILLED SOLID BELOW.

NOTE:
LLH - LONG LEG HORIZONTAL
LLV - LONG LEG VERTICAL

REV.	DATE	ITEM
1	03/12/2025	BID ADDENDUM No. 3

NOTICE

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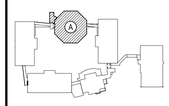

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

PROPOSED FLOOR PLANS

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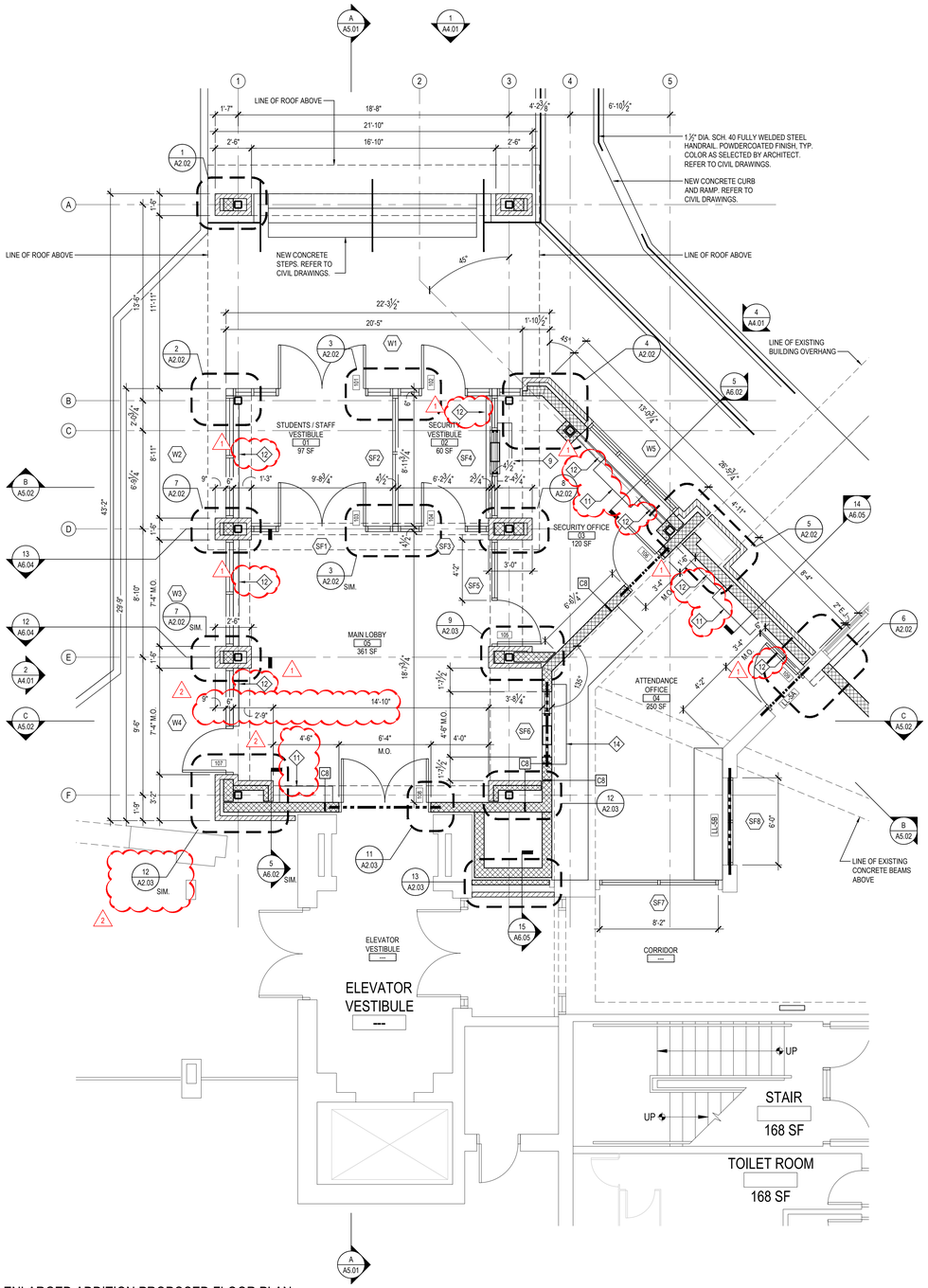
PROJECT

DWG TITLE

DRAWING BY:	E.M.
CHECK BY:	P.J.H.

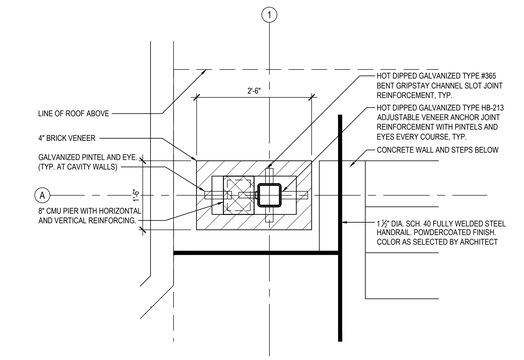
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	PROPOSED FLOOR PLANS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

A2.01



ENLARGED ADDITION PROPOSED FLOOR PLAN

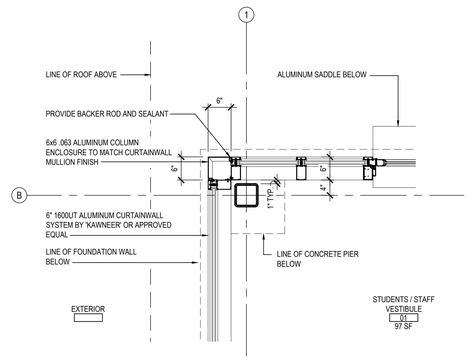
SCALE: 1/4" = 1'-0"



1 PLAN DETAIL

at EXTERIOR MASONRY PIER

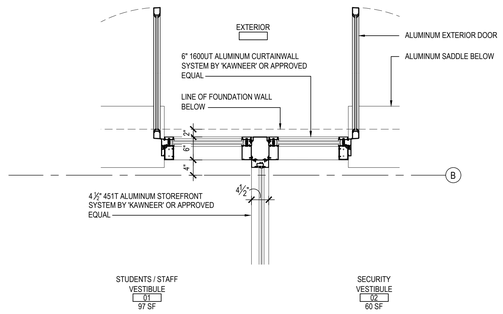
SCALE: 3/4" = 1'-0"



2 PLAN DETAIL

at STUDENTS / STAFF VESTIBULE.

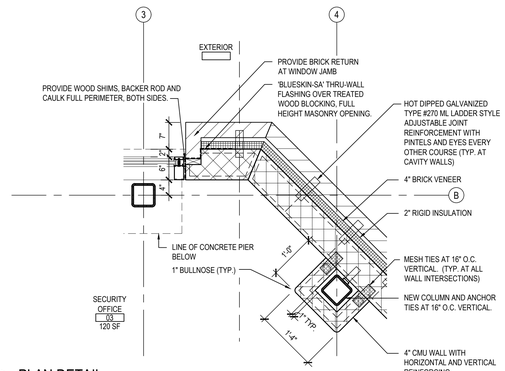
SCALE: 3/4" = 1'-0"



3 PLAN DETAIL

at STUDENT/ STAFF VESTIBULE and SECURITY VESTIBULE

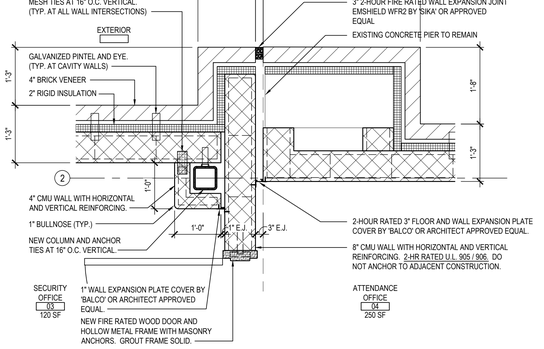
SCALE: 3/4" = 1'-0"



4 PLAN DETAIL

at SECURITY OFFICE

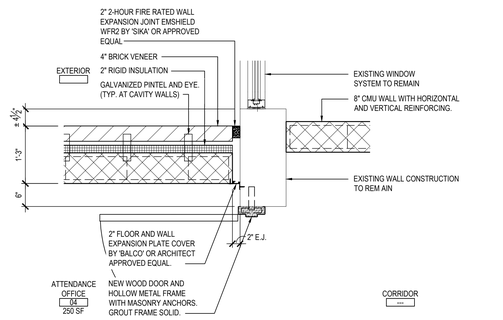
SCALE: 3/4" = 1'-0"



5 PLAN DETAIL

at SECURITY OFFICE and ATTENDANCE OFFICE

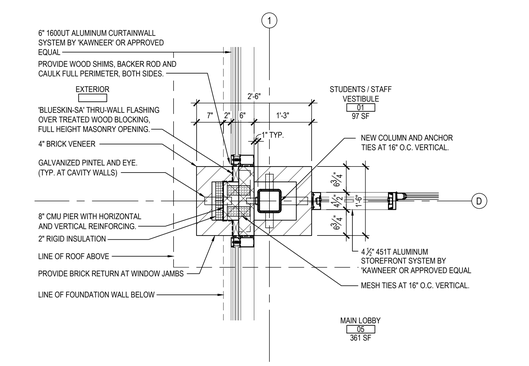
SCALE: 3/4" = 1'-0"



6 PLAN DETAIL

at ATTENDANCE OFFICE and CORRIDOR

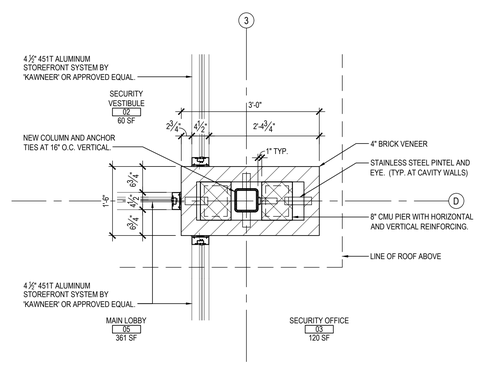
SCALE: 3/4" = 1'-0"



7 PLAN DETAIL

at STUDENTS / STAFF VESTIBULE and MAIN LOBBY

SCALE: 3/4" = 1'-0"



8 PLAN DETAIL

at SECURITY OFFICE

SCALE: 3/4" = 1'-0"

REV.	DATE	ITEM
1	03/12/2025	BID ADDENDUM No. 3
2	03/19/2025	BID ADDENDUM No. 4

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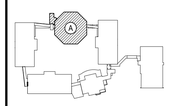

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

ENLARGED ADDITION
PROPOSED FLOOR PLAN AND PLAN DETAILS

PROJECT

DWG TITLE

DRAWING BY: A.A.

CHECK BY: P.J.H.

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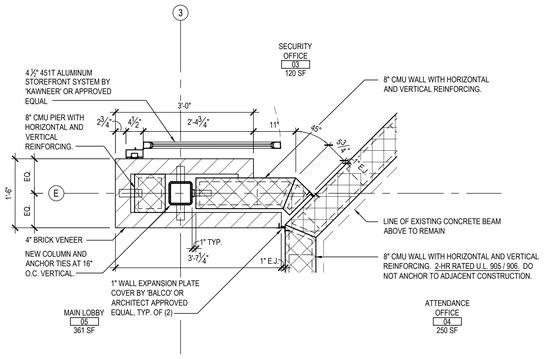
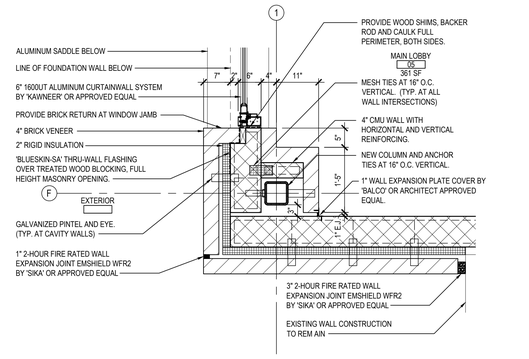
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	ENLARGED ADDITION PROPOSED FLOOR PLAN
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

A2.02



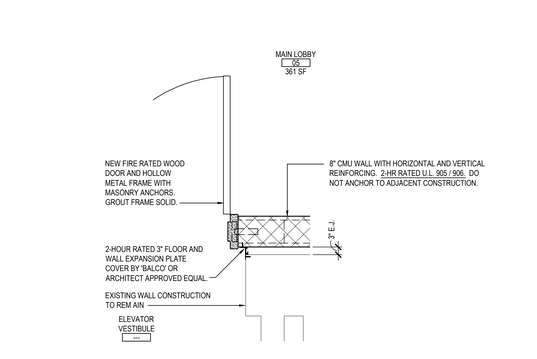
9 PLAN DETAIL

at SECURITY OFFICE and MAIN LOBBY — SCALE: 3/4" = 1'-0"



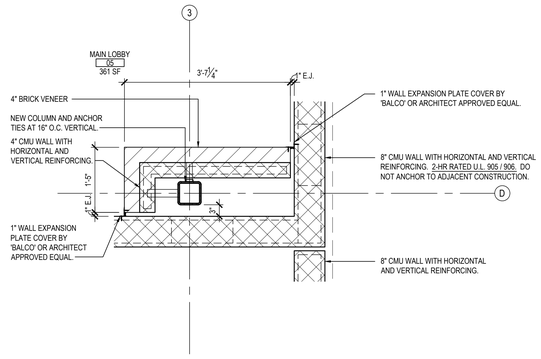
10 PLAN DETAIL

at MAIN LOBBY — SCALE: 3/4" = 1'-0"



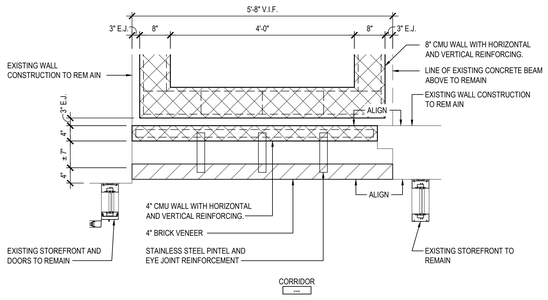
11 PLAN DETAIL

at MAIN LOBBY and ELEVATOR VESTIBULE — SCALE: 3/4" = 1'-0"



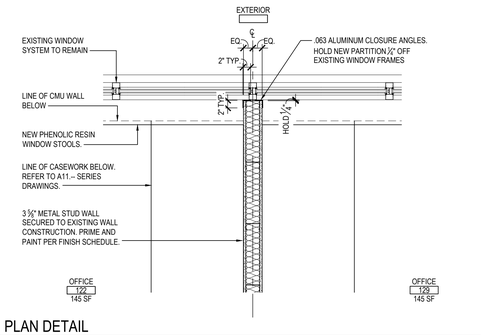
12 PLAN DETAIL

at MAIN LOBBY — SCALE: 3/4" = 1'-0"



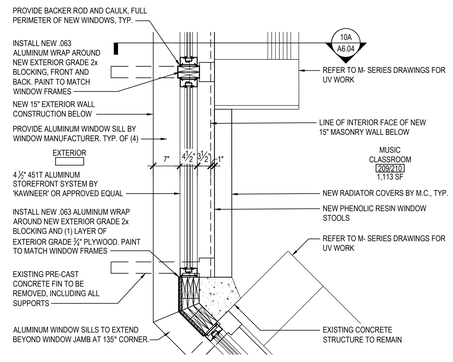
13 PLAN DETAIL

at EXISTING CORRIDOR — SCALE: 3/4" = 1'-0"



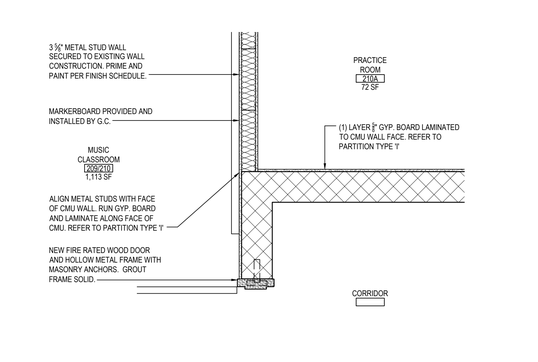
14 PLAN DETAIL

at MAIN OFFICE and NURSE'S OFFICE AREAS — SCALE: 3/4" = 1'-0"



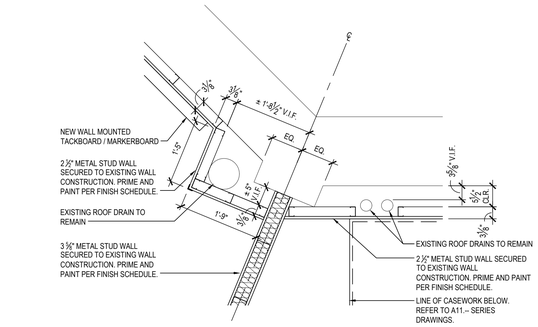
15 PLAN DETAIL

at MAIN OFFICE and NURSE'S OFFICE AREAS — SCALE: 3/4" = 1'-0"



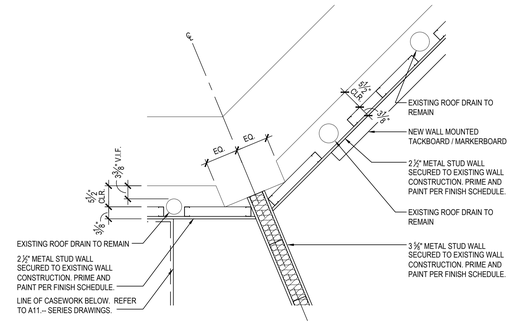
16 PLAN DETAIL

at MUSIC ROOM — SCALE: 3/4" = 1'-0"



15 PLAN DETAIL

at DESIGN / COLLABORATIVE CLASSROOM and STEAM / ROBOTICS LAB — SCALE: 3/4" = 1'-0"



16 PLAN DETAIL

at INSTRUCTION CLASSROOM and STEAM / ROBOTICS LAB — SCALE: 3/4" = 1'-0"

REV.	DATE	ITEM

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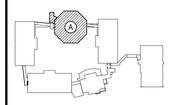

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

PROJECT

PLAN DETAILS

DWG TITLE

DRAWING BY: E.M.

CHECK BY: P.J.H.

NOTICE

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SED No. 66-01-02-06-0-007-013

DISTRICT BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT PHASE 2 - BOND IMPROVEMENTS

DWG TITLE PLAN DETAILS

SCALE: AS NOTED

DATE: APRIL 2024

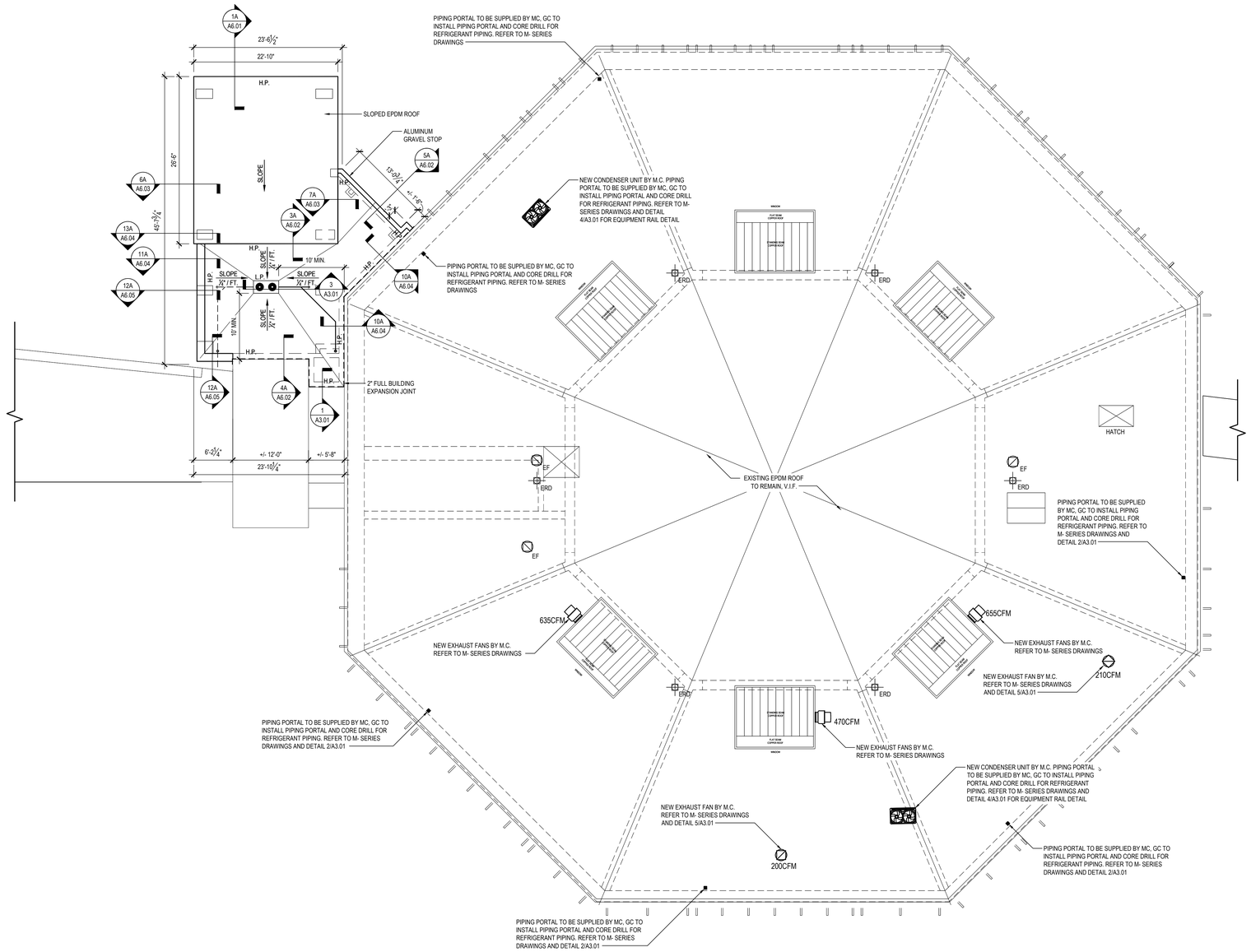
BID PICK-UP: FEBRUARY 24, 2025

FILE No: 23-131b FLMS

A2.03

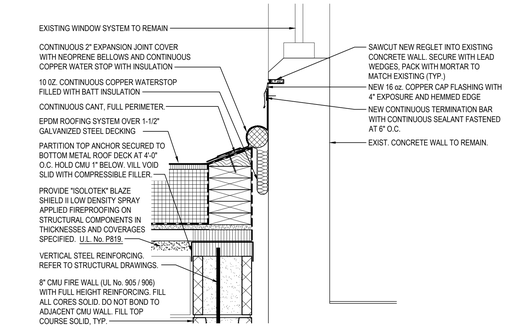
ARCHITECTURAL SYMBOL LEGEND

SYMBOL	DESCRIPTION
EF	EXISTING ROOF TOP EXHAUST FAN LOCATION. REFER TO CURB DETAIL DETAIL ON DRAWINGS A2.02 AND A2.03
HATCH	EXISTING ROOF HATCH TO REMAIN.
ERD	EXISTING ROOF DRAIN LOCATIONS. REFER TO ROOF DRAIN DETAIL ON DRAWINGS A2.03
	INDICATES SLOPE OF ROOF
L.P.	LOW POINT OF TAPERED INSULATION.
H.P.	HIGH POINT OF TAPERED INSULATION.



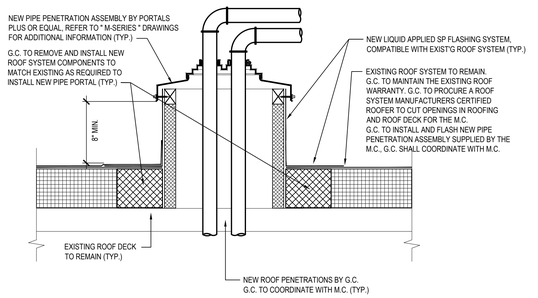
PROPOSED ROOF PLAN

SCALE: 1/8" = 1'-0"



1 TYPICAL ROOM / WALL EXPANSION JOINT DETAIL

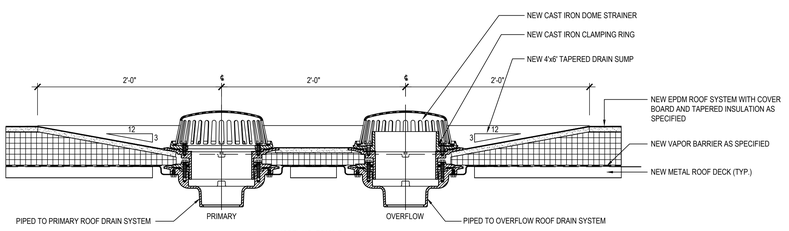
SCALE: N.T.S.



2 PIPE PORTAL DETAIL

NOTE: EXISTING ROOF INSTALLATION

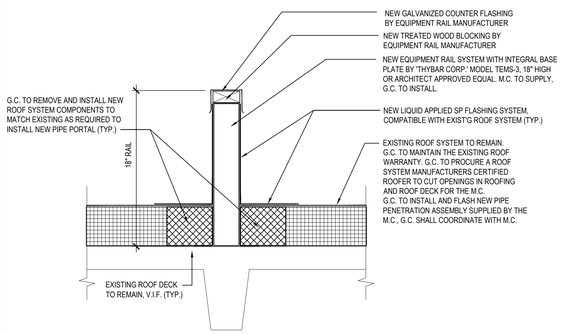
SCALE: N.T.S.



ZURN MODEL NO. ZC163-EA-VP-W4

3 NEW DOUBLE ROOF DRAIN DETAIL

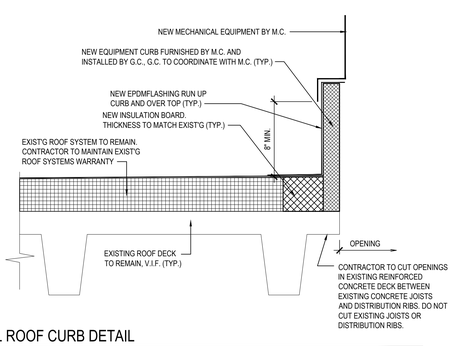
SCALE: N.T.S.



4 EQUIPMENT RAIL DETAIL

NOTE: EXISTING ROOF INSTALLATION

SCALE: N.T.S.



5 TYPICAL ROOF CURB DETAIL

NOTE: EXISTING ROOF INSTALLATION

SCALE: N.T.S.

REV.	DATE	ITEM
1	03/12/2025	BID ADDENDUM No. 3

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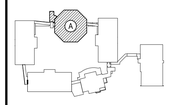

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

ROOF PLAN and DETAILS

PROJECT

DWG TITLE

DRAWING BY: P.J.H.

CHECK BY: P.J.H.

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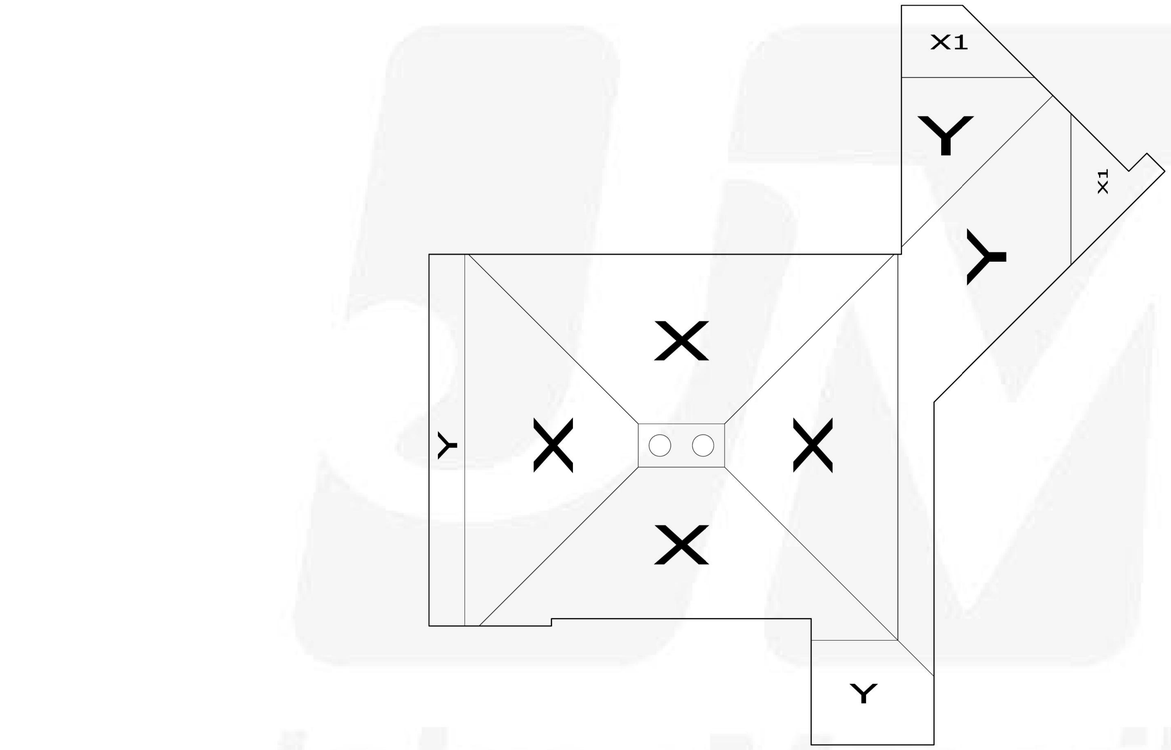
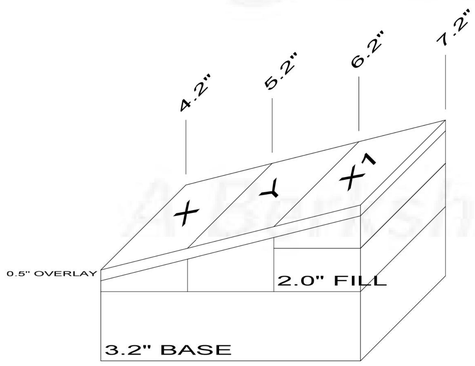
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	ROOF PLAN and DETAILS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

A3.01

**** This Drawing is for Conceptual Purposes ONLY. ****
**** Not intended for Final Submittal. ****
*** N.T.S ***

Layout is based on the JM Tapered Department's understanding of the information provided.
It is the contractor's responsibility to verify the existing/proposed conditions and dimensions, &
that this layout meets the requirements of the job prior to any submittal or ordering of material.





Phone # (800) 341-8032 Estimator *Michael Taylor* taylorm@jm.com	Project: NY24-427106C1 FOX LANE MS SMALL ROOF BEDFORD, NY	Tapered Systems Group 10100 W. Ute Ave. Littleton, CO 80127

REV.	DATE	ITEM

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KEY PLAN
NOT TO SCALE

PROJECT
BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE
TAPERED INSULATION PLAN

DRAWING BY: E.M.
CHECK BY: P.J.H.

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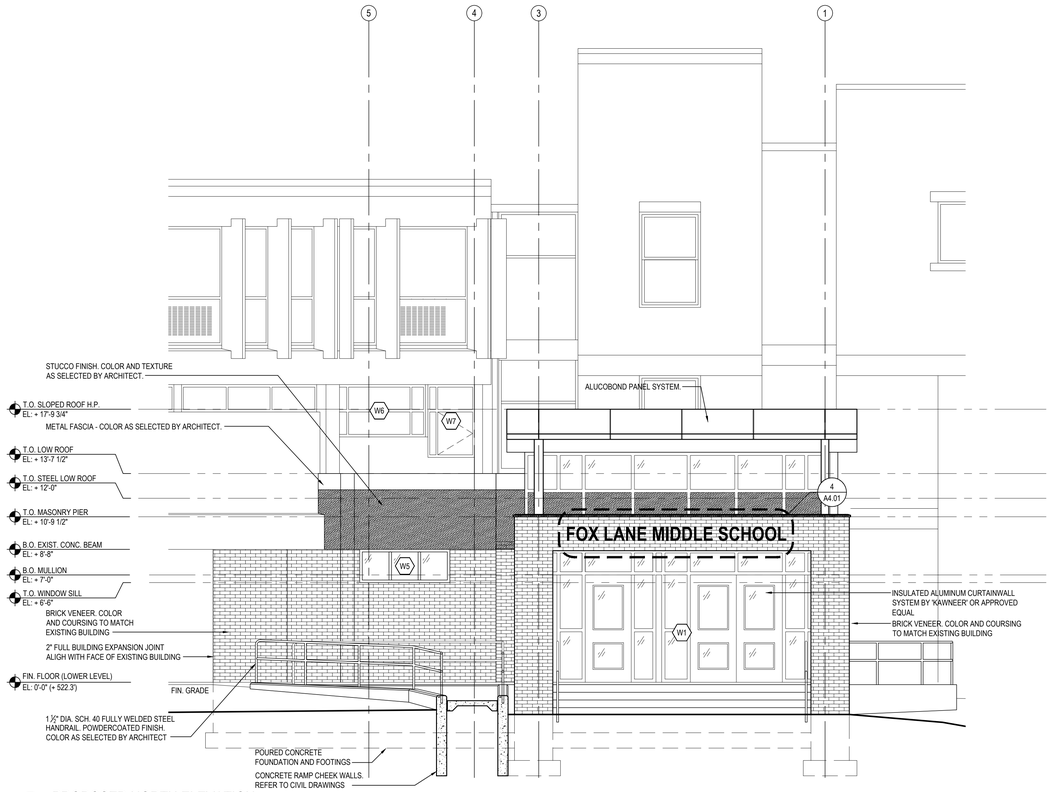
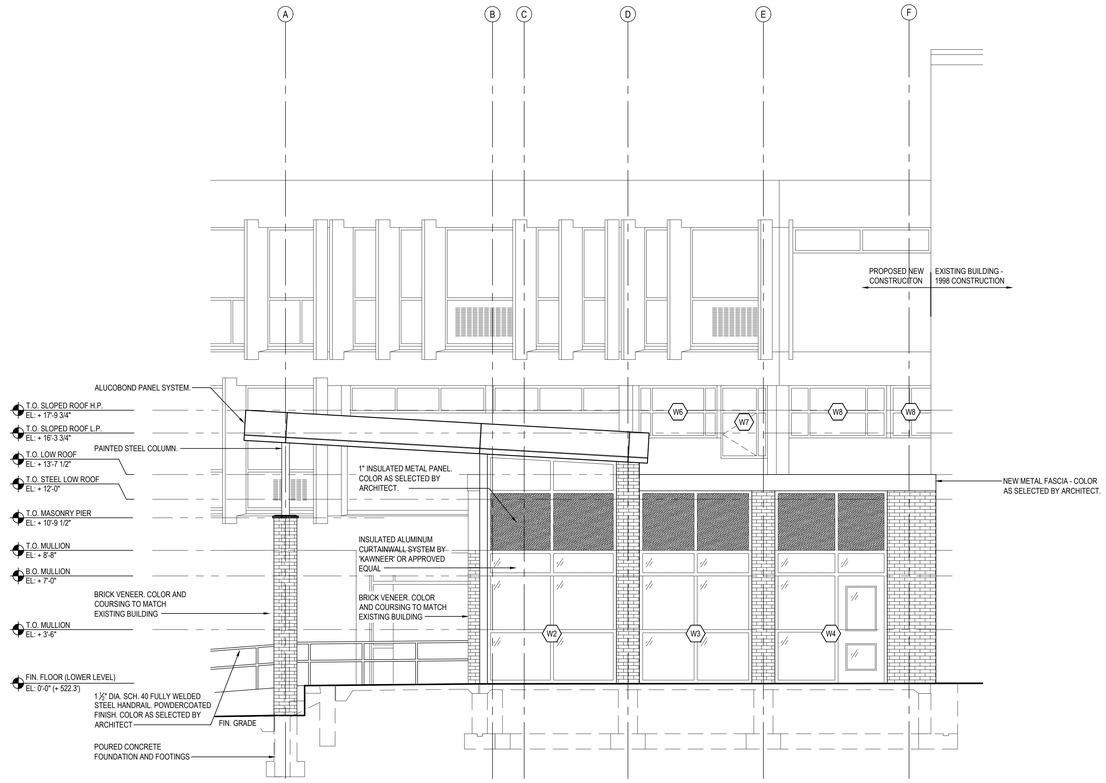
SED No. 66-01-02-06-0-007-013
DISTRICT BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT PHASE 2 - BOND IMPROVEMENTS
DWG TITLE TAPERED INSULATION PLAN
SCALE: AS NOTED
DATE: APRIL 2024
BID PICK-UP: FEBRUARY 24, 2025
FILE No: 23-131b FLMS

A3.02



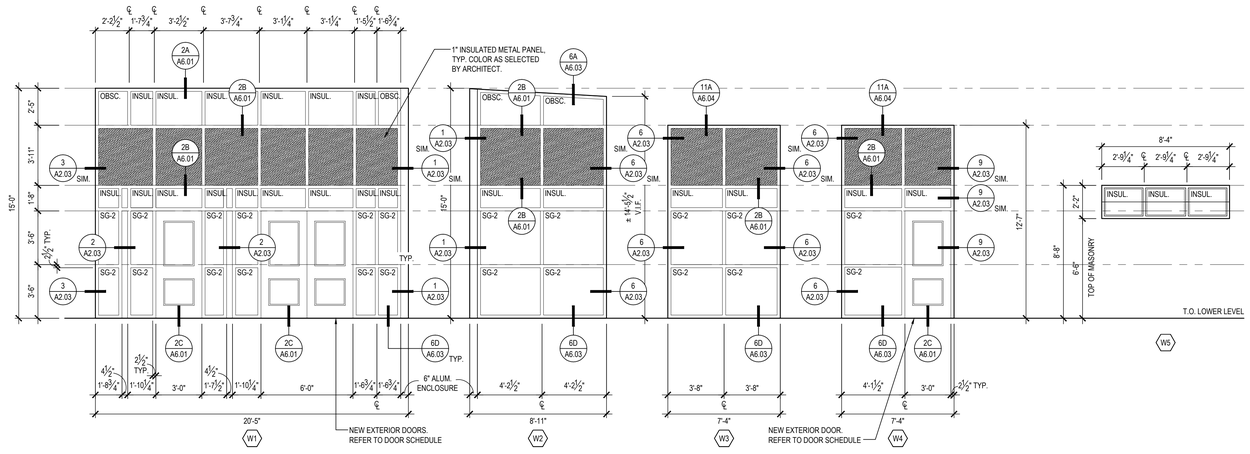
1 PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"



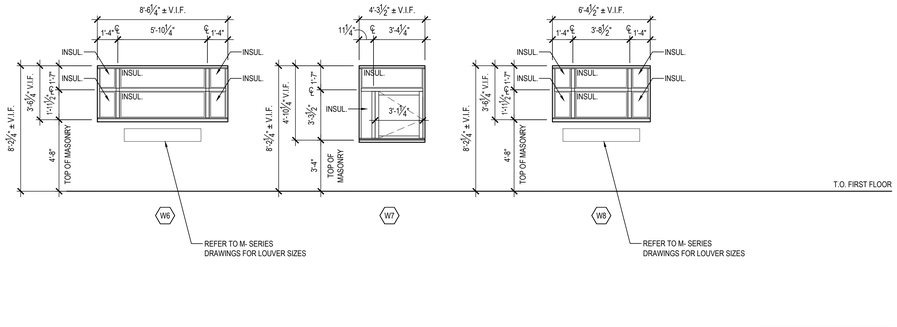
2 PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"



3 CURTAINWALL/WINDOW ELEVATIONS

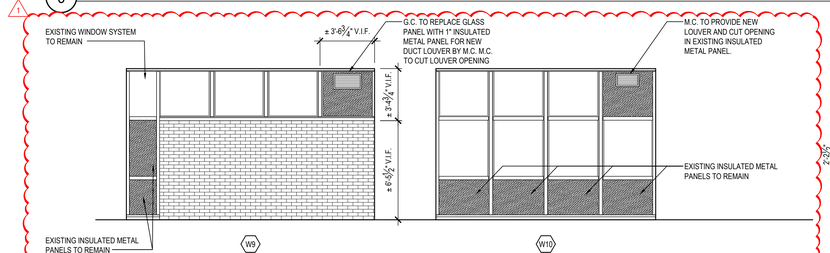
SCALE: 1/4" = 1'-0"



ABBREVIATION LEGEND

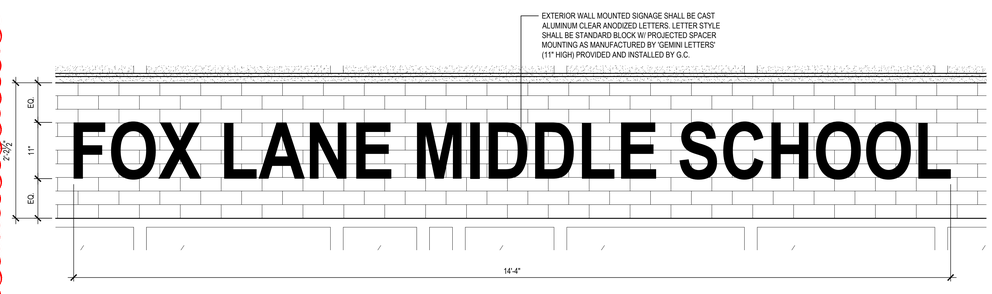
SG-2	1" INSULATED SHOOTER ATTACK GLAZING
INSUL.	1" INSULATED GLAZING
OBSC.	OBSCURE GLAZING

6" 1600UT ALUMINUM CURTAINWALL SYSTEM BY 'KAWNEER' OR APPROVED EQUAL, WITH 1" INSULATED GLAZING.



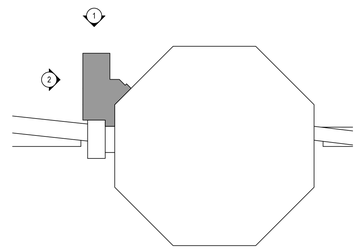
3 CURTAINWALL/WINDOW ELEVATIONS (CONTINUED)

SCALE: 1/4" = 1'-0"



4 BUILDING LETTER ELEVATION DETAIL

SCALE: 1" = 1'-0"



KEY PLAN (ADDITION AT CENTRAL BUILDING)

SCALE: N.T.S.

REV.	DATE	ITEM
1	03/12/2025	BID ADDENDUM No. 3

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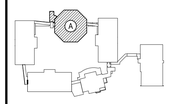

KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

EXTERIOR ELEVATIONS

DRAWING BY: E.M.
CHECK BY: P.J.H.

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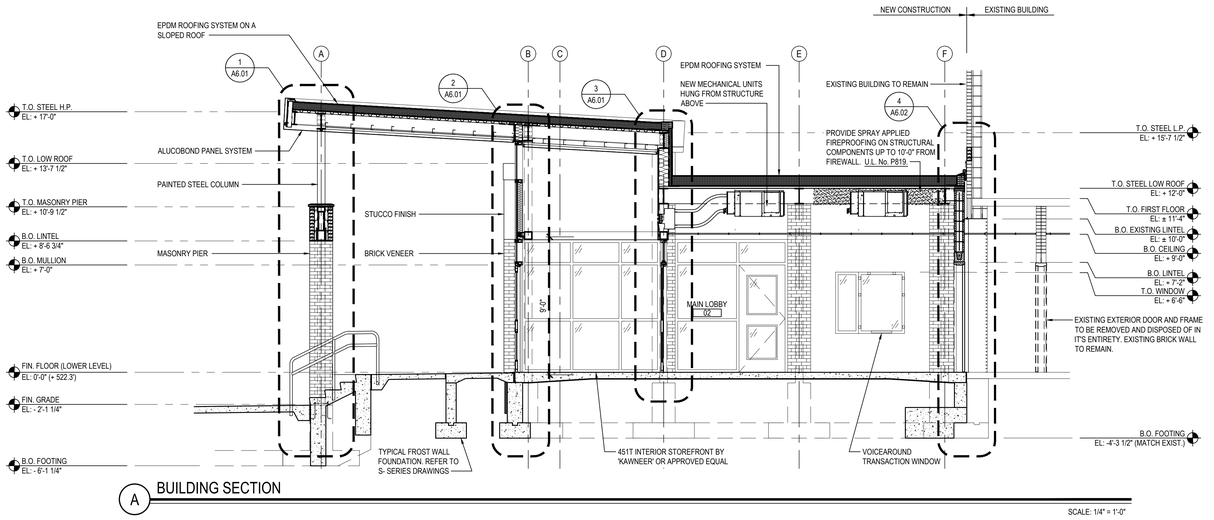
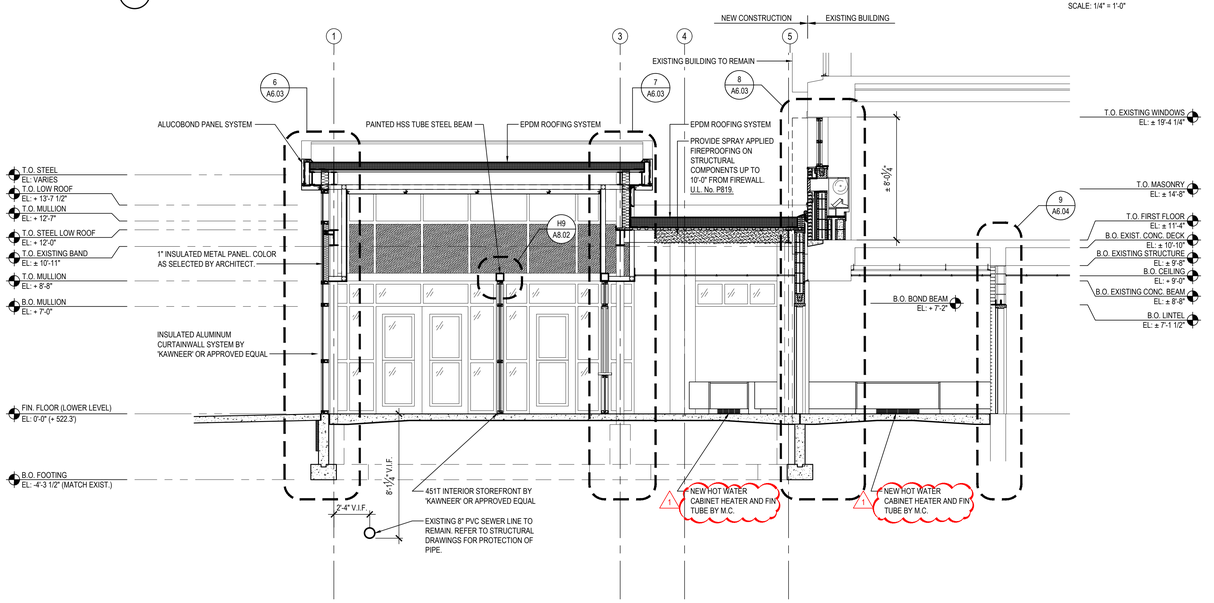
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	EXTERIOR ELEVATIONS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

A4.01



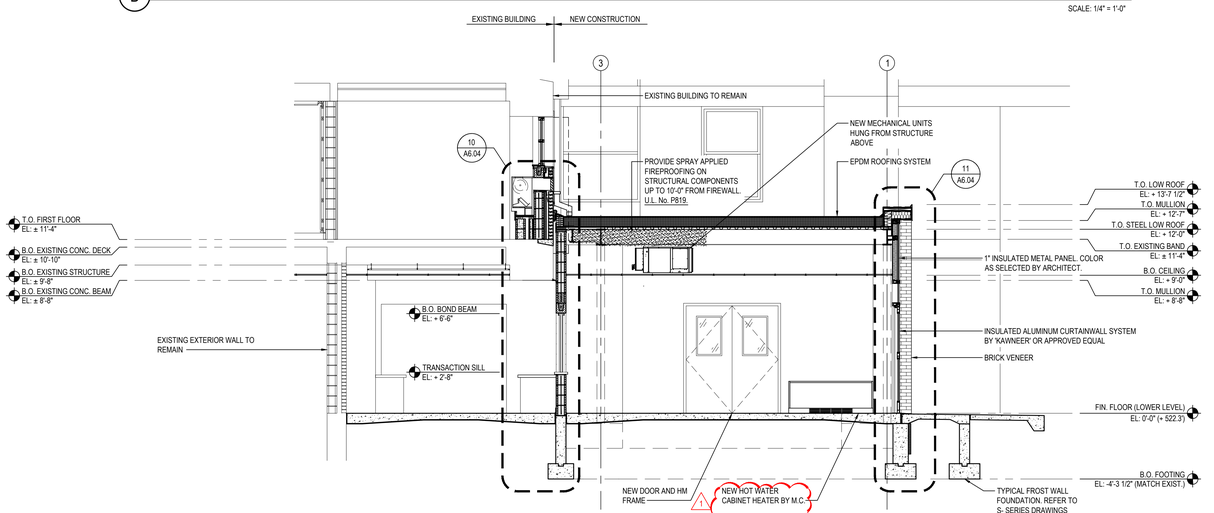
A BUILDING SECTION

SCALE: 1/4" = 1'-0"



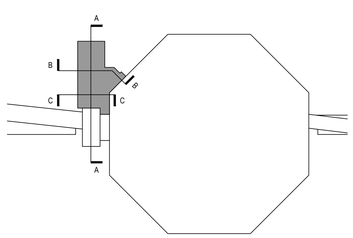
B BUILDING SECTION

SCALE: 1/4" = 1'-0"



C BUILDING SECTION

SCALE: 1/4" = 1'-0"



KEY PLAN (ADDITION AT CENTRAL BUILDING)

SCALE: N.T.S.

REV.	DATE	ITEM
1	03/12/2025	BID ADDENDUM No. 3

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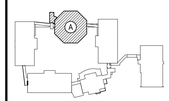

KEY PLAN

NOT TO SCALE

PROJECT: BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE: BUILDING SECTIONS

DRAWING BY:	E.M.
CHECK BY:	P.J.H.

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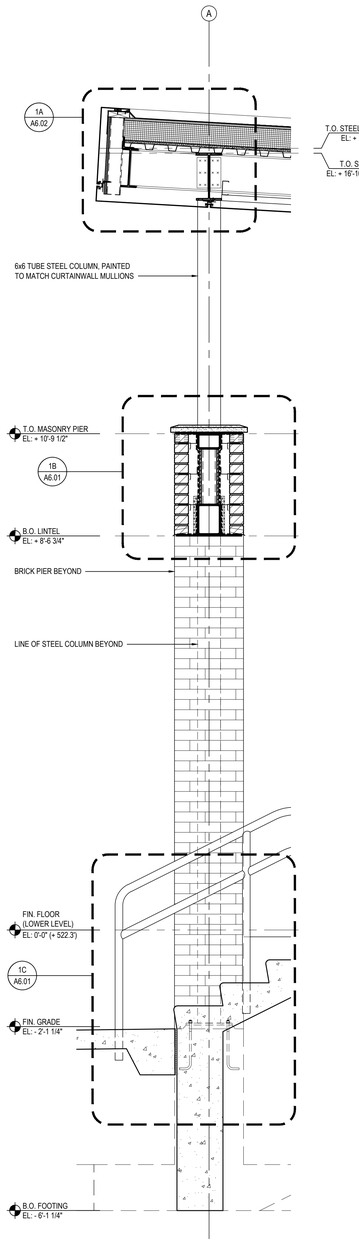
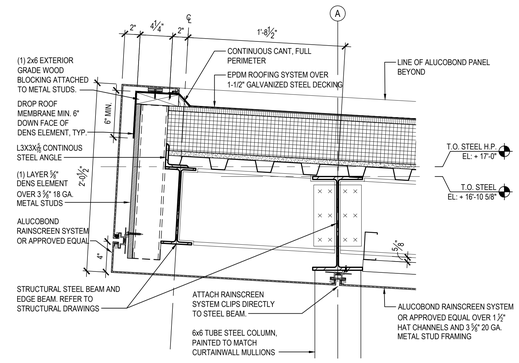
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	BUILDING SECTIONS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

A5.01



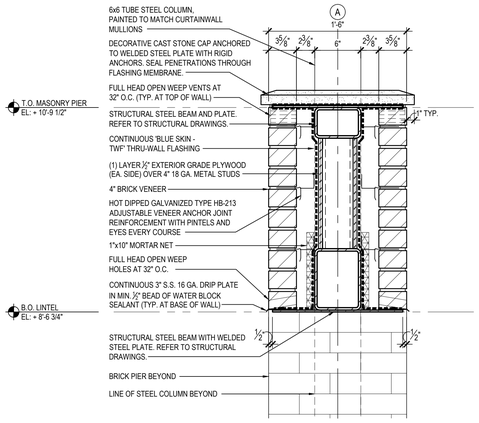
1 WALL SECTION

SCALE: 3/4" = 1'-0"



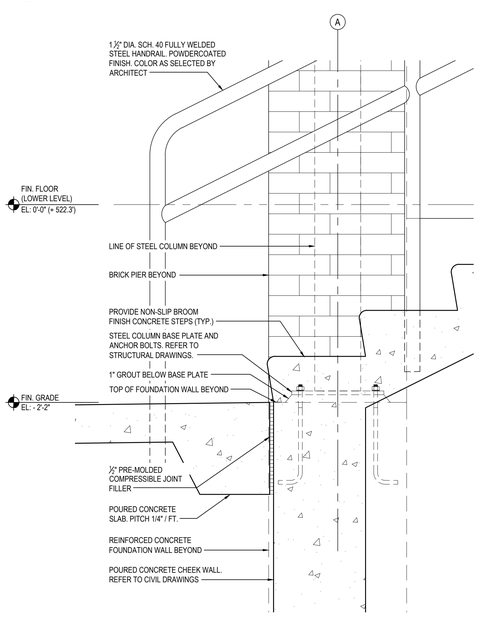
1A SECTION DETAIL

SCALE: 1-1/2" = 1'-0"



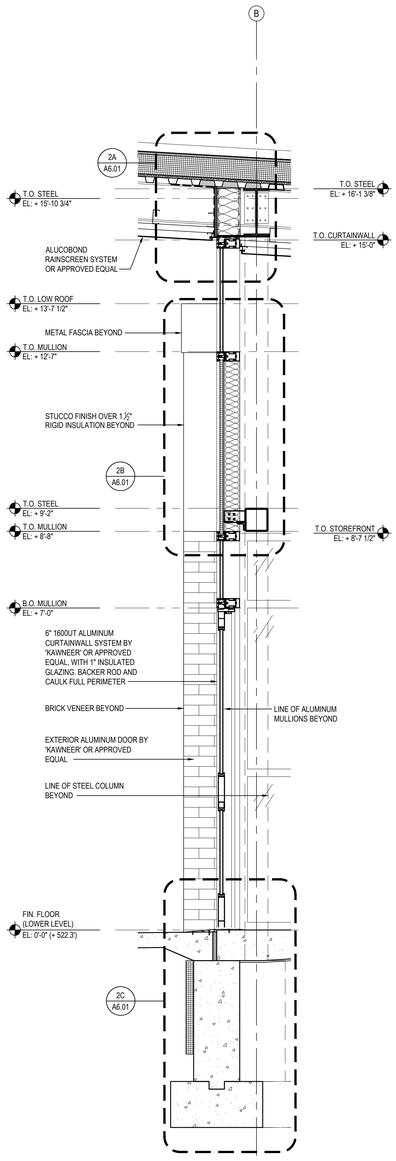
1B SECTION DETAIL

SCALE: 1-1/2" = 1'-0"



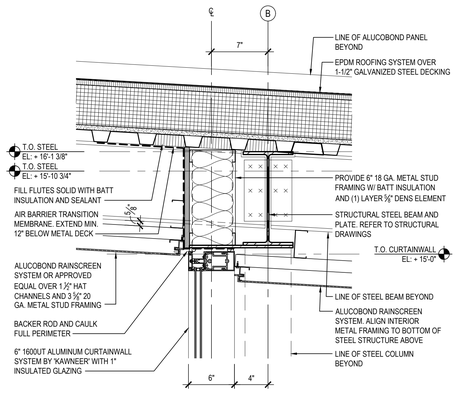
1C SECTION DETAIL

SCALE: 1-1/2" = 1'-0"



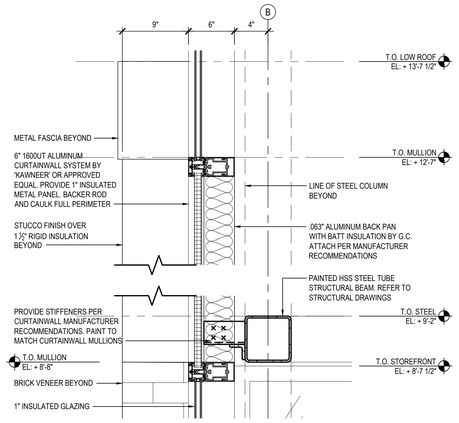
2 WALL SECTION

SCALE: 3/4" = 1'-0"



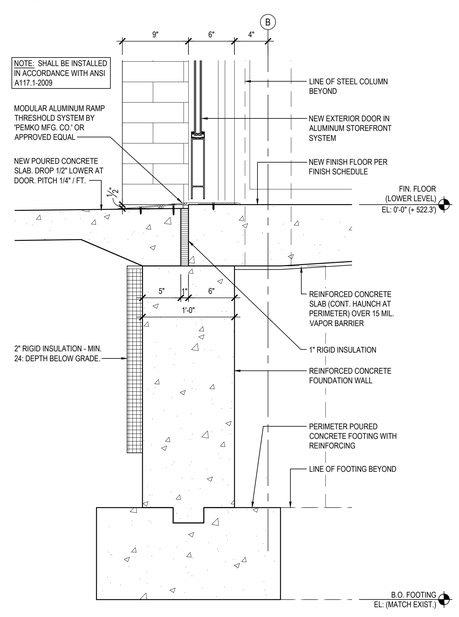
2A SECTION DETAIL

SCALE: 1-1/2" = 1'-0"



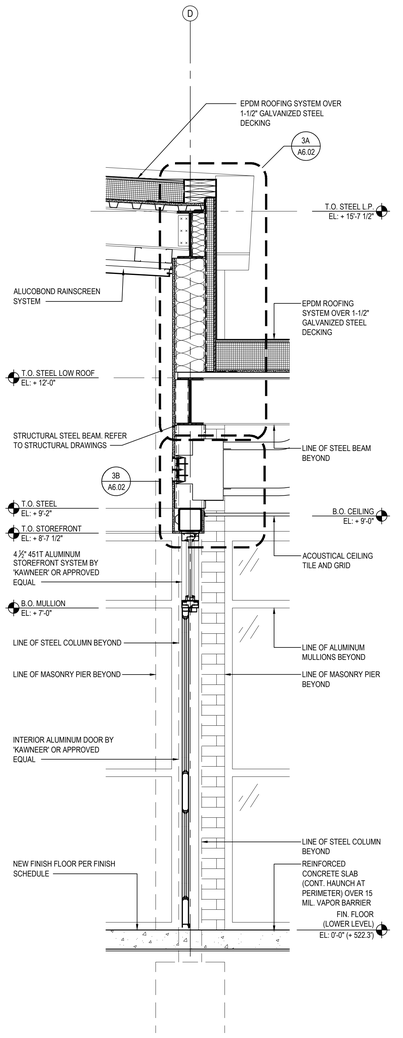
2B SECTION DETAIL

SCALE: 1-1/2" = 1'-0"



2C SECTION DETAIL

SCALE: 1-1/2" = 1'-0"



3 WALL SECTION

SCALE: 3/4" = 1'-0"

REV.	DATE	ITEM

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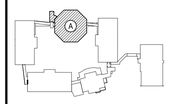

KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

WALL SECTIONS and DETAILS

DRAWING BY: E.M.

CHECK BY: P.J.H.

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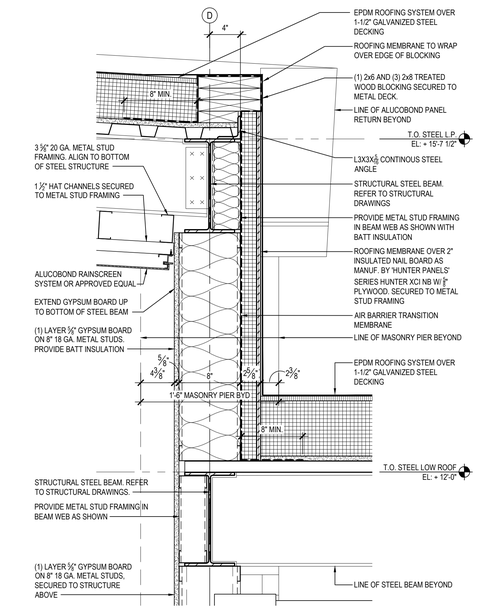
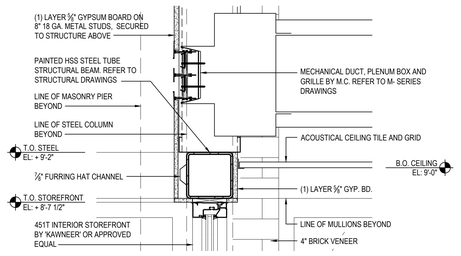
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	WALL SECTIONS and DETAILS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

A6.01



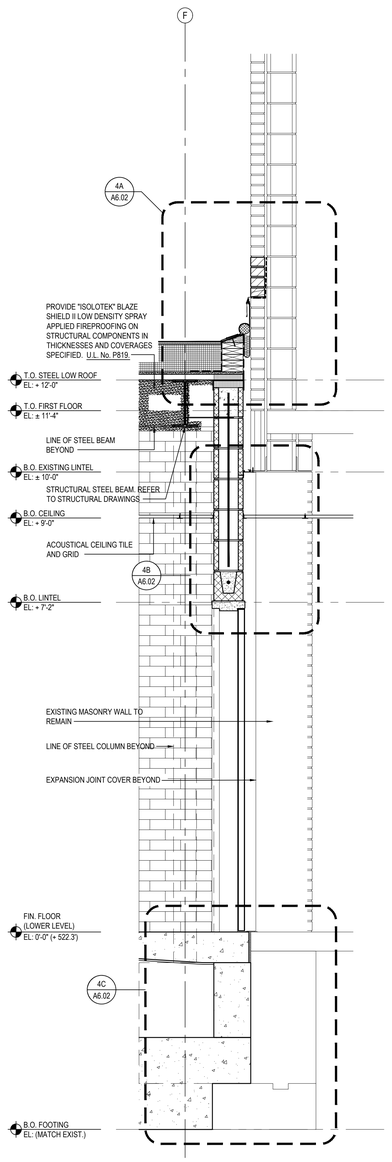
3A SECTION DETAIL

SCALE: 1-1/2" = 1'-0"



3B SECTION DETAIL

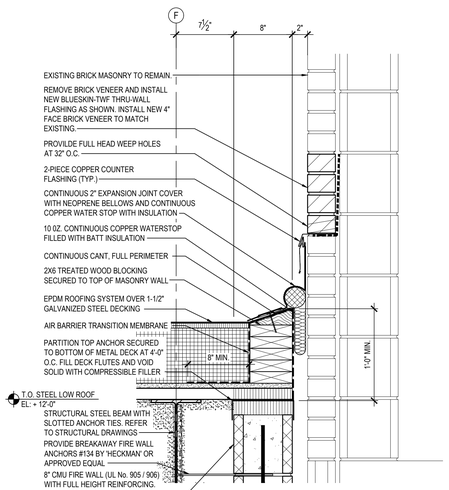
SCALE: 1-1/2" = 1'-0"



4 DRAWING TITLE

NOTE:

SCALE: 3/4" = 1'-0"



4A SECTION DETAIL

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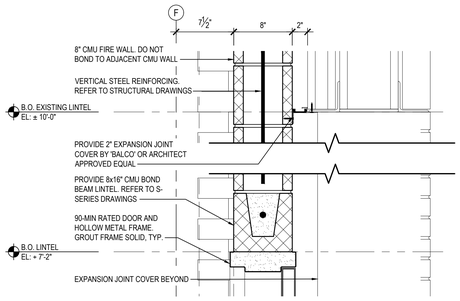

4B SECTION DETAIL

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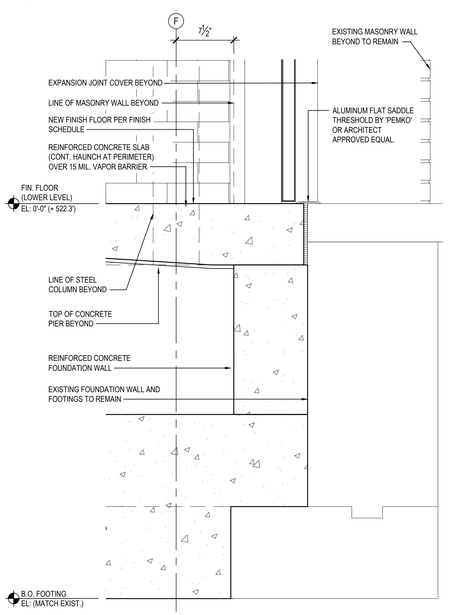

4C SECTION DETAIL

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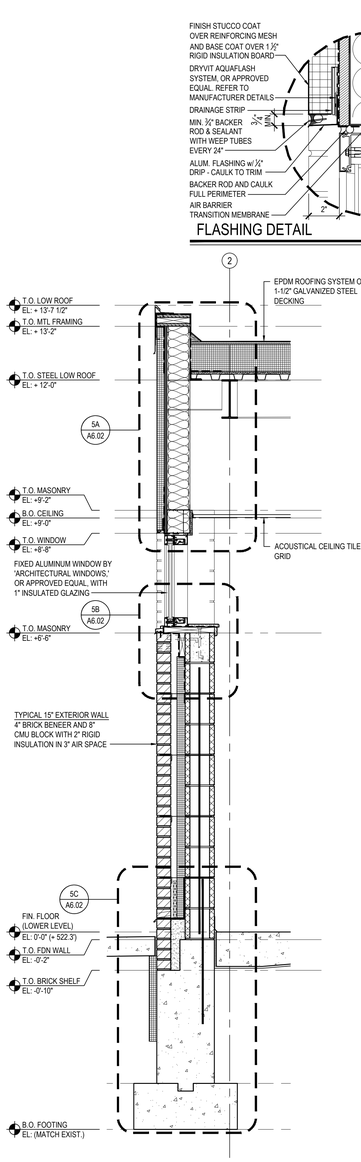
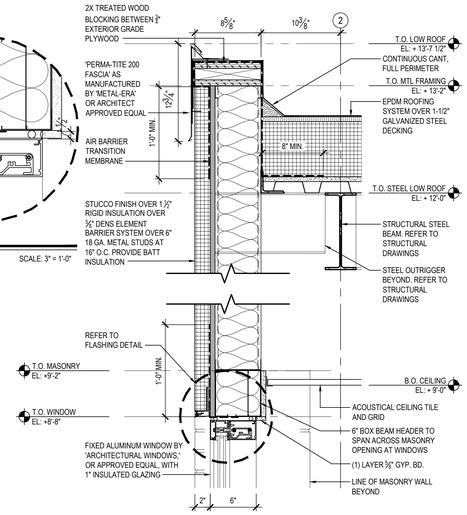


5 WALL SECTION

SCALE: 3/4" = 1'-0"



5A SECTION DETAIL

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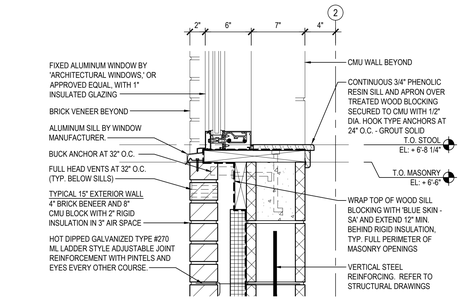

5B SECTION DETAIL

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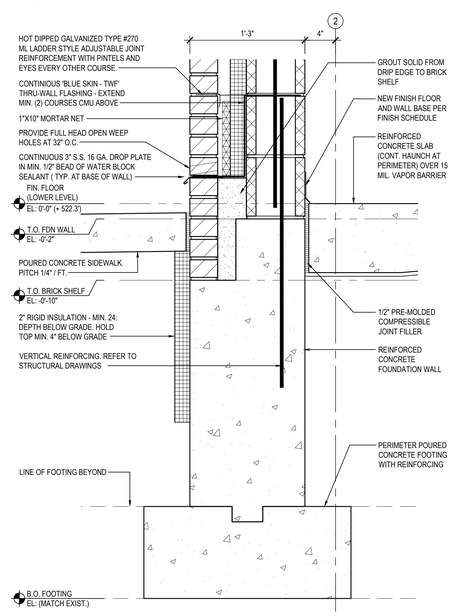

5C SECTION DETAIL

SCALE: 1-1/2" = 1'-0"

REV.	DATE	ITEM

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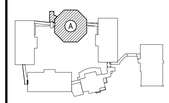

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

WALL SECTIONS and DETAILS

PROJECT

DWG TITLE

DRAWING BY: E.M.

CHECK BY: P.J.H.

NOTICE

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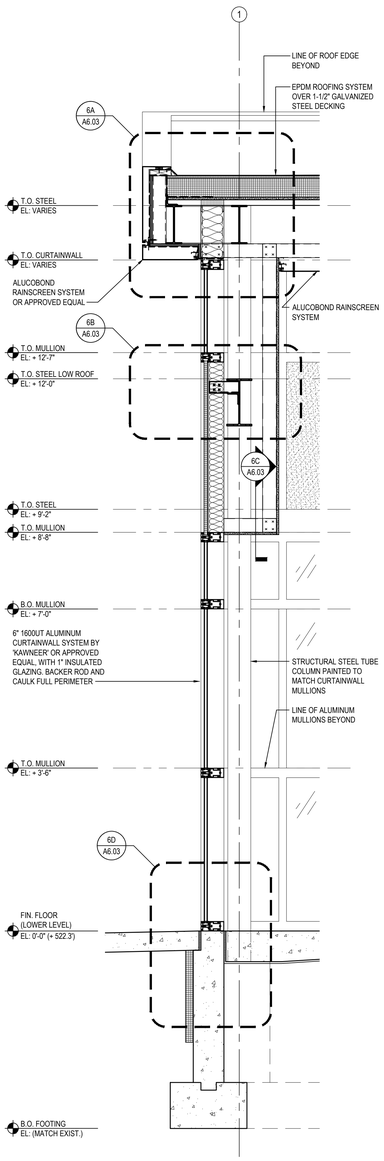
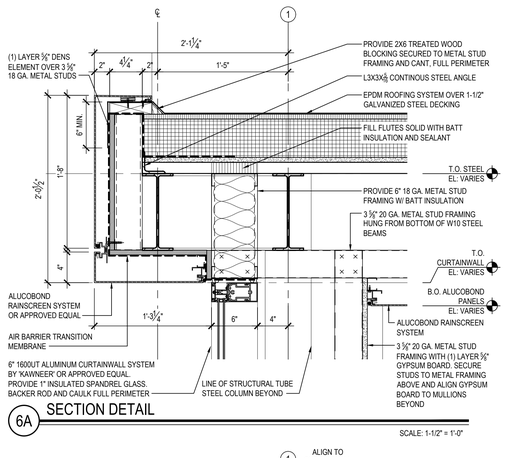
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	WALL SECTIONS and DETAILS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

A6.02



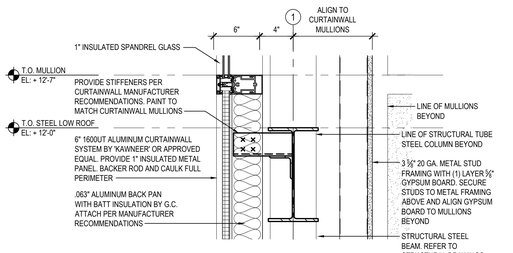
6 WALL SECTION

SCALE: 3/4" = 1'-0"



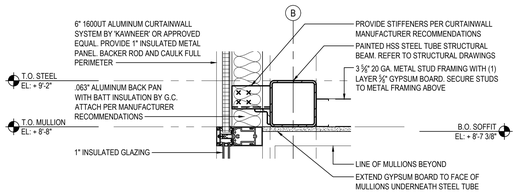
6A SECTION DETAIL

SCALE: 1-1/2" = 1'-0"



6B SECTION DETAIL

SCALE: 1-1/2" = 1'-0"



6C SECTION DETAIL

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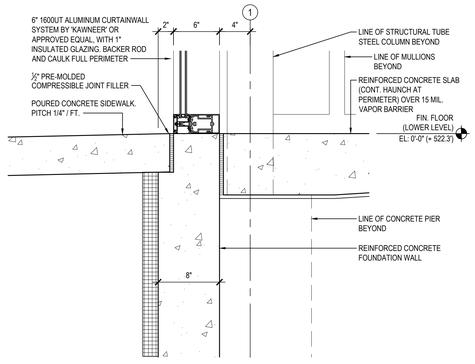
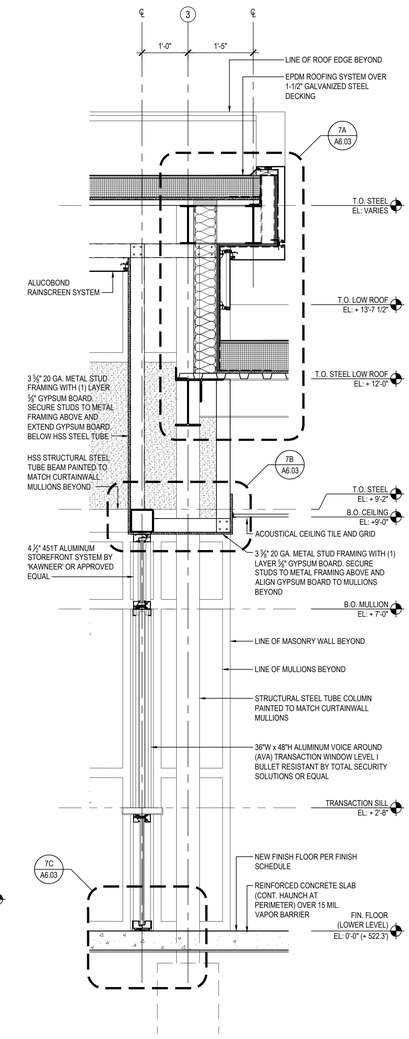


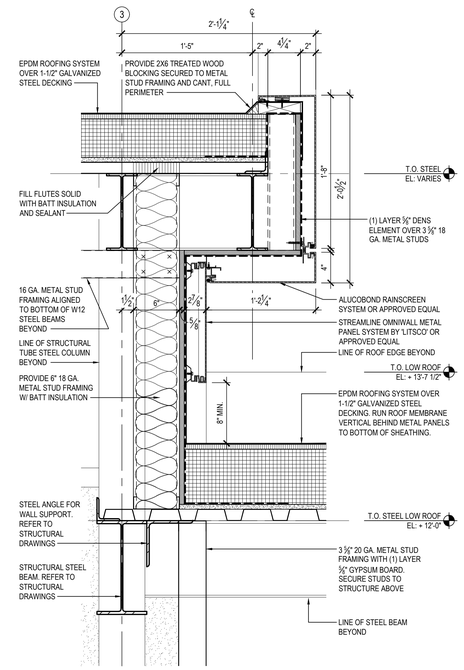
6D SECTION DETAIL

SCALE: 1-1/2" = 1'-0"



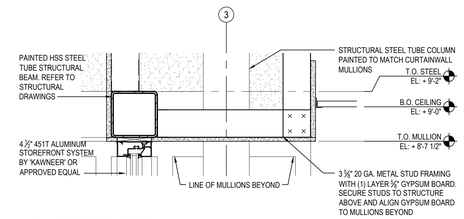
7 WALL SECTION

SCALE: 3/4" = 1'-0"



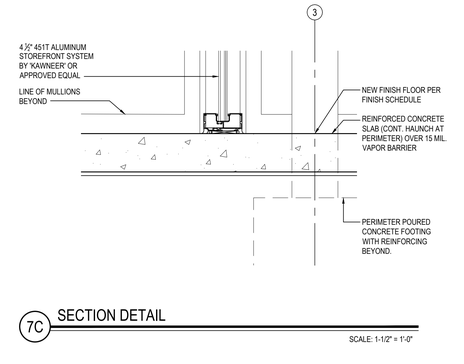
7A SECTION DETAIL

SCALE: 1-1/2" = 1'-0"



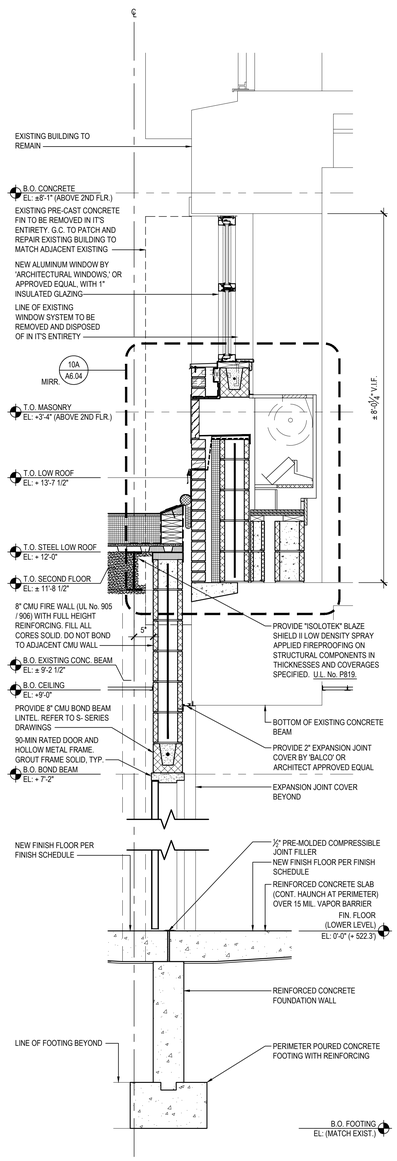
7B SECTION DETAIL

SCALE: 1-1/2" = 1'-0"



7C SECTION DETAIL

SCALE: 1-1/2" = 1'-0"



8 WALL SECTION

SCALE: 3/4" = 1'-0"

REV.	DATE	ITEM

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KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

WALL SECTIONS and DETAILS

PROJECT

DWG TITLE

DRAWING BY: E.M.
CHECK BY: P.J.H.

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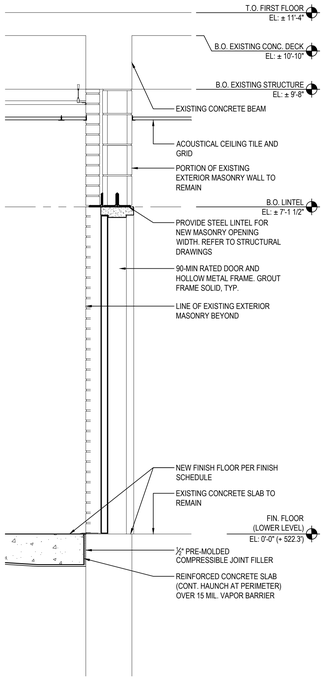
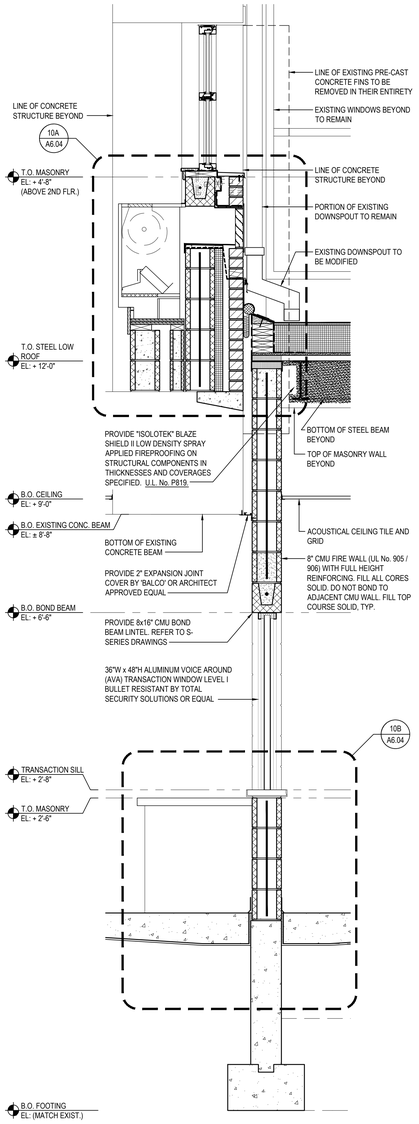
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	WALL SECTIONS and DETAILS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

A6.03



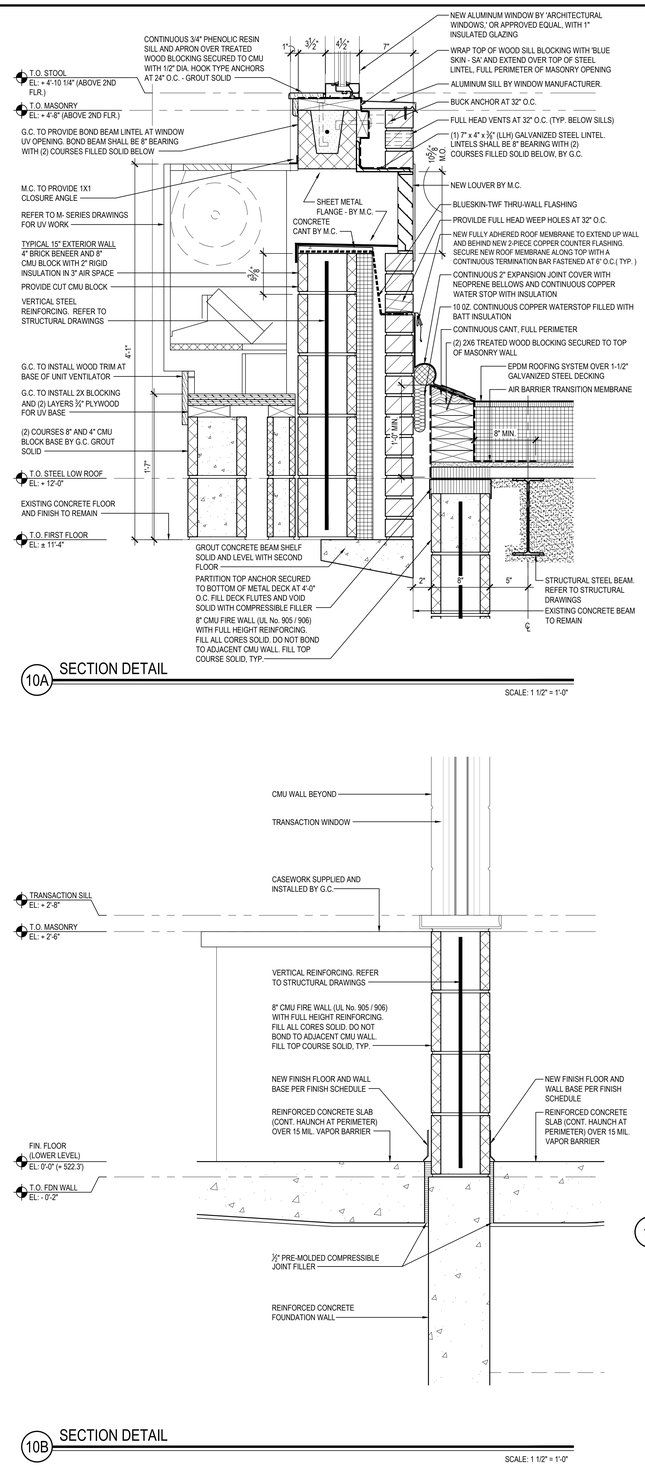
9 WALL SECTION

SCALE: 3/4" = 1'-0"



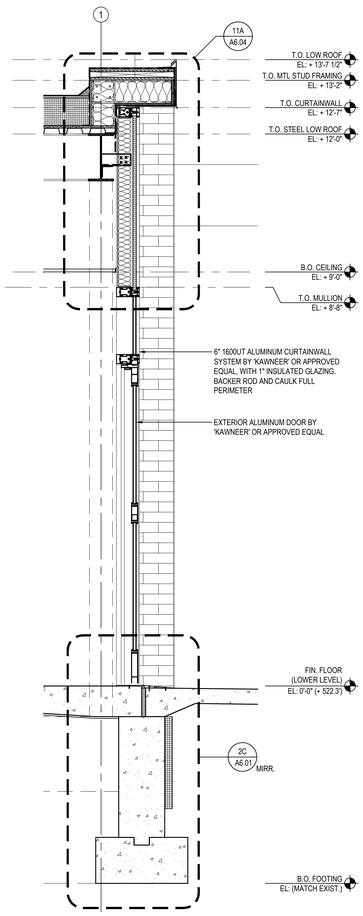
10 WALL SECTION

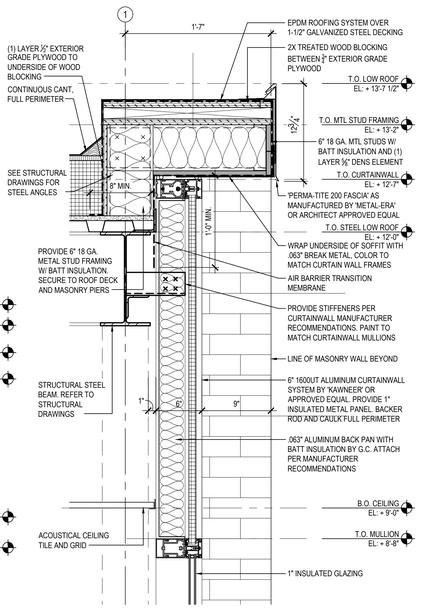
SCALE: 3/4" = 1'-0"



10A SECTION DETAIL

SCALE: 1 1/2" = 1'-0"





11A SECTION DETAIL

SCALE: 1 1/2" = 1'-0"

10B SECTION DETAIL

SCALE: 1 1/2" = 1'-0"

11 WALL SECTION

SCALE: 3/4" = 1'-0"

REV.	DATE	ITEM

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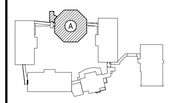

KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

WALL SECTIONS and DETAILS

DRAWING BY: E.M.

CHECK BY: P.J.H.

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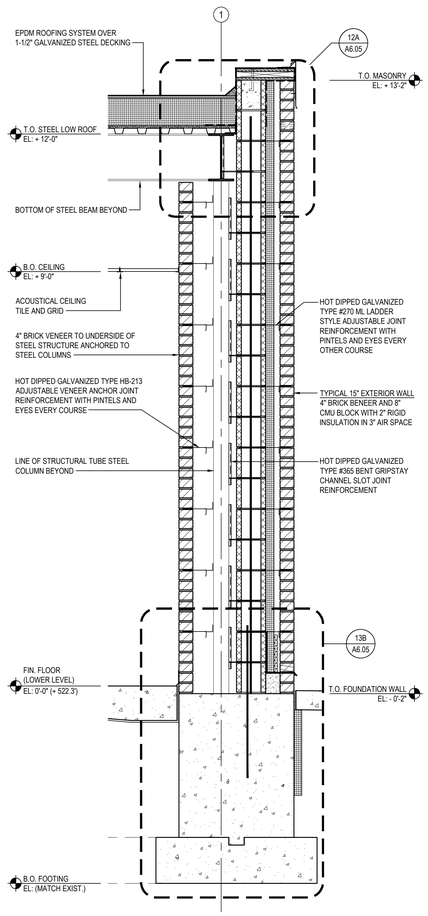
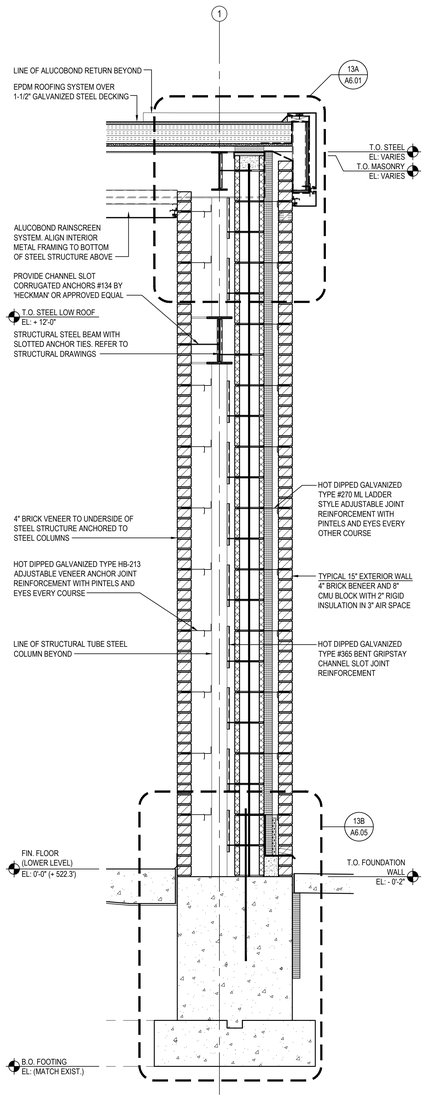
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	WALL SECTIONS and DETAILS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

A6.04



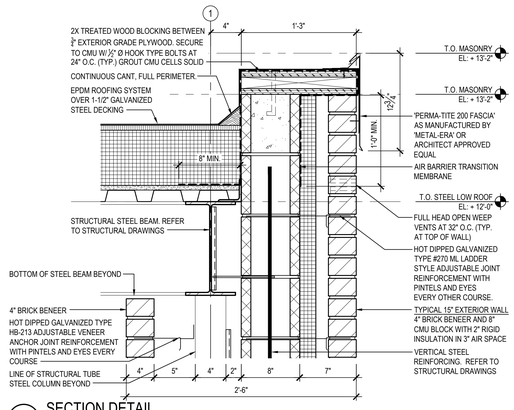
12 WALL SECTION

SCALE: 3/4" = 1'-0"



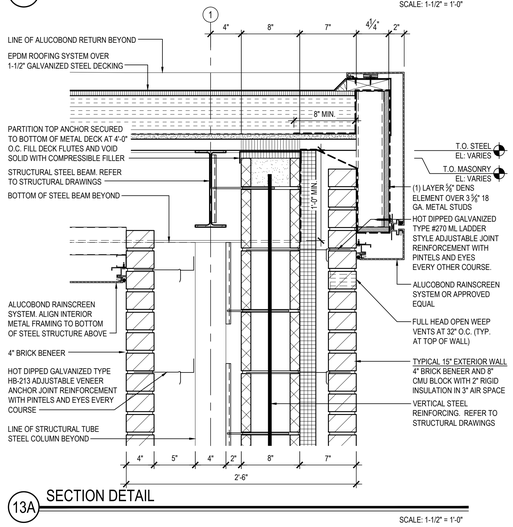
13 WALL SECTION

SCALE: 3/4" = 1'-0"



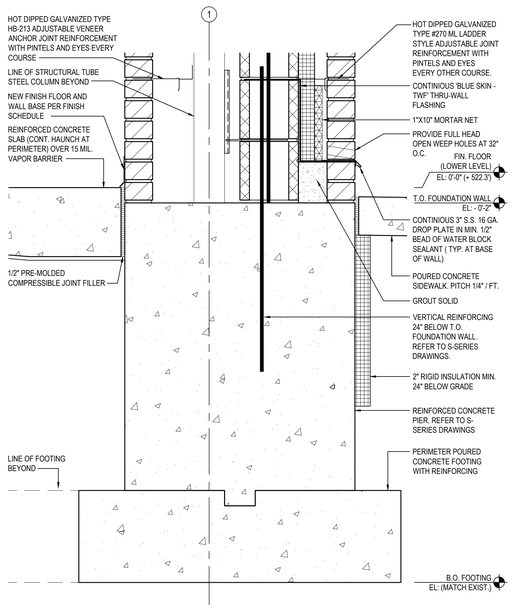
12A SECTION DETAIL

SCALE: 1-1/2" = 1'-0"



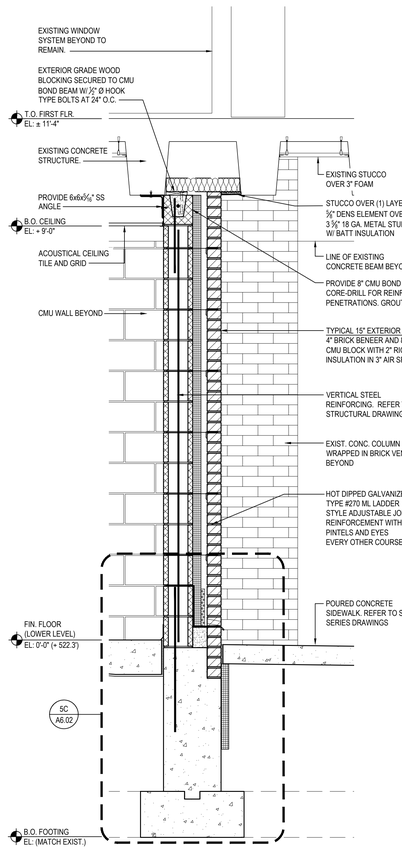
13A SECTION DETAIL

SCALE: 1-1/2" = 1'-0"



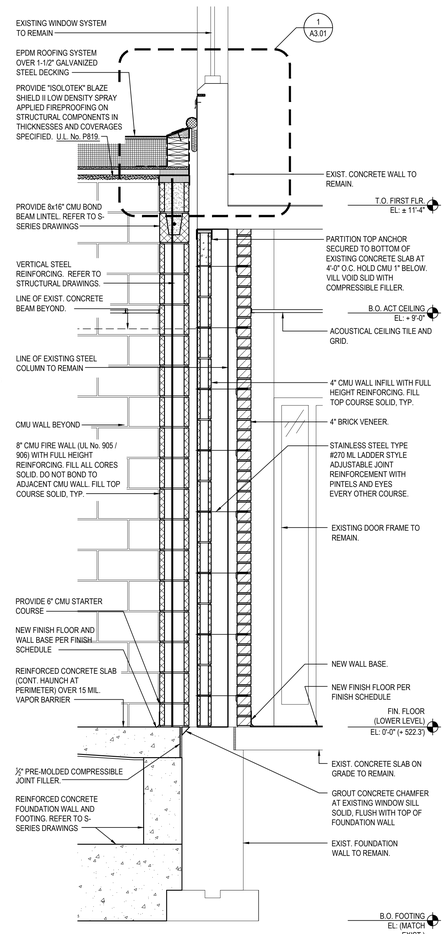
13B SECTION DETAIL

SCALE: 1-1/2" = 1'-0"



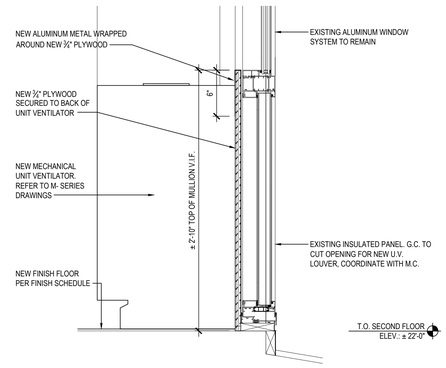
14 SECTION DETAIL

SCALE: 3/4" = 1'-0"



15 SECTION DETAIL

SCALE: 3/4" = 1'-0"



16 SECTION DETAIL

NOTE: AT WOODSHOP / PREP ROOM 315

SCALE: 1 1/2" = 1'-0"

REV.	DATE	ITEM

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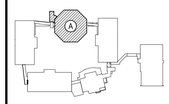

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

WALL SECTIONS and DETAILS

PROJECT

DWG TITLE

DRAWING BY: E.M.

CHECK BY: P.J.H.

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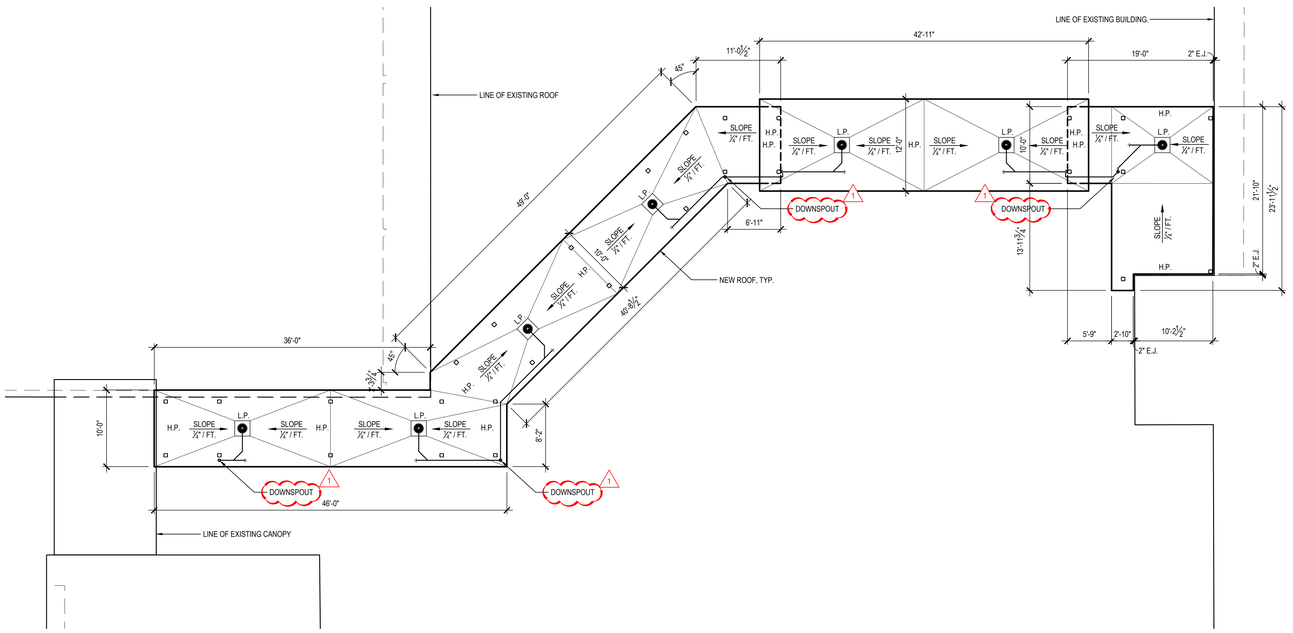
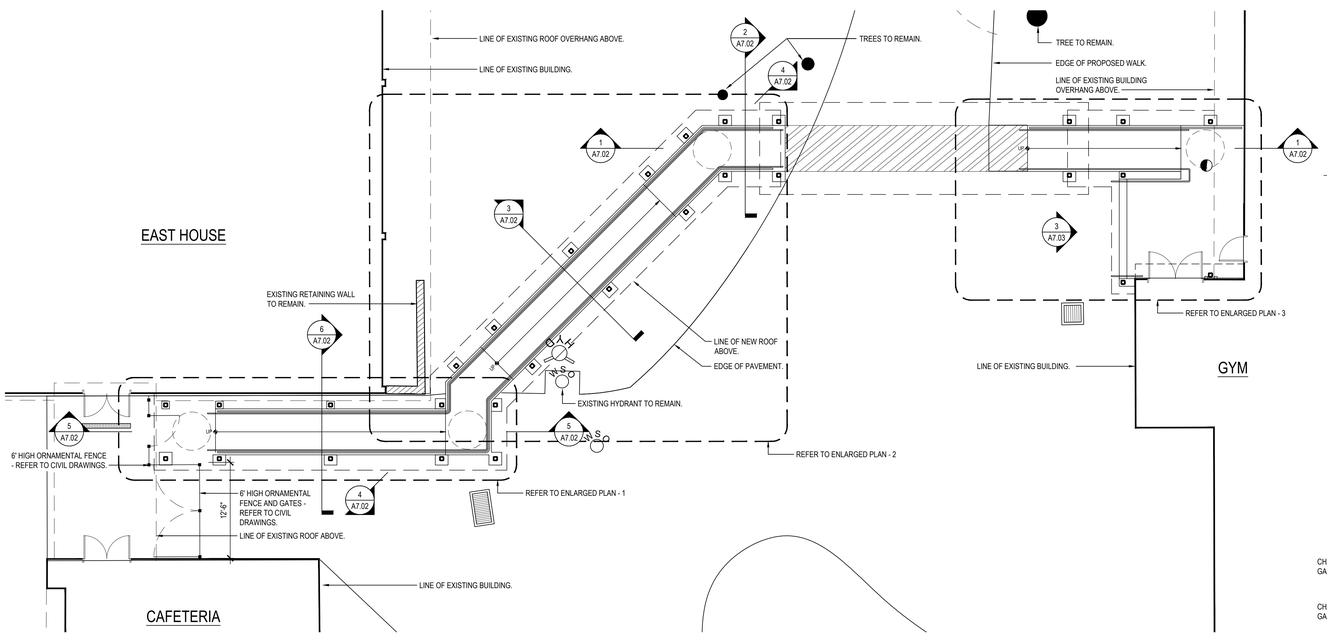
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	WALL SECTIONS and DETAILS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

A6.05



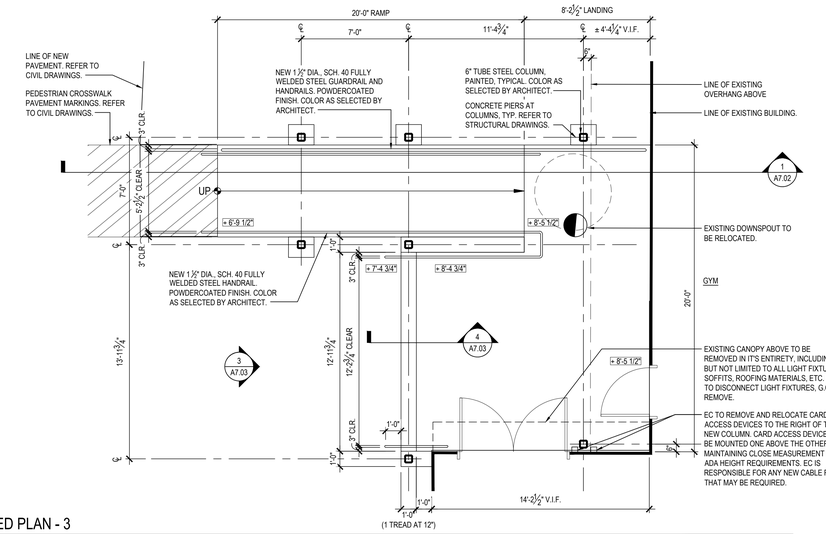
OVERALL ROOF PLAN

SCALE: 1/8" = 1'-0"



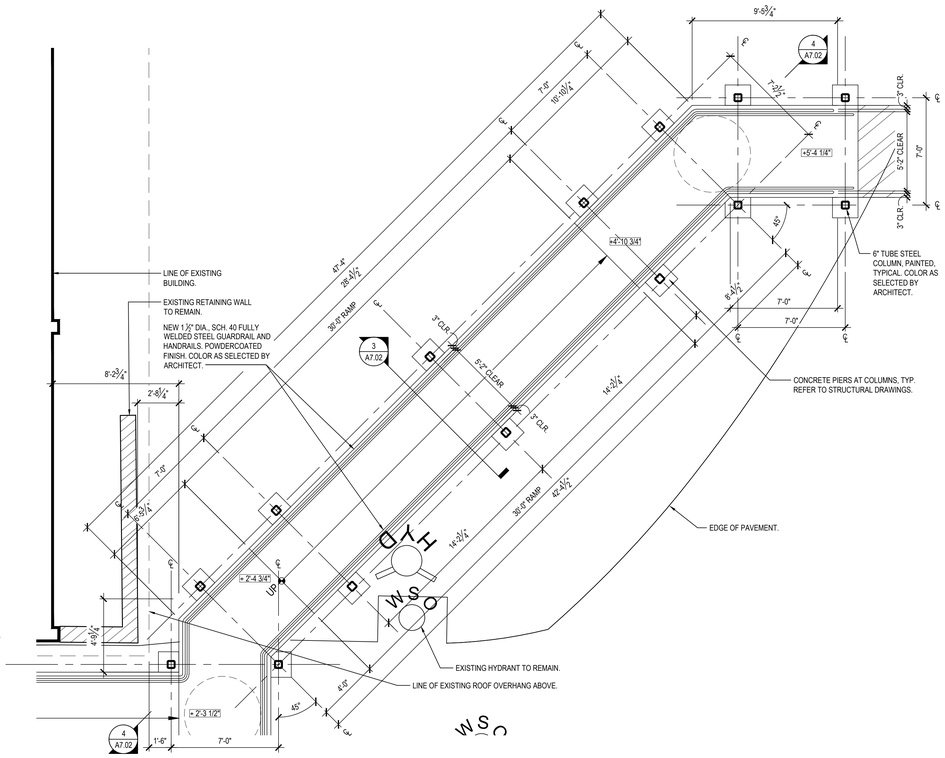
OVERALL FLOOR PLAN

SCALE: 1/8" = 1'-0"



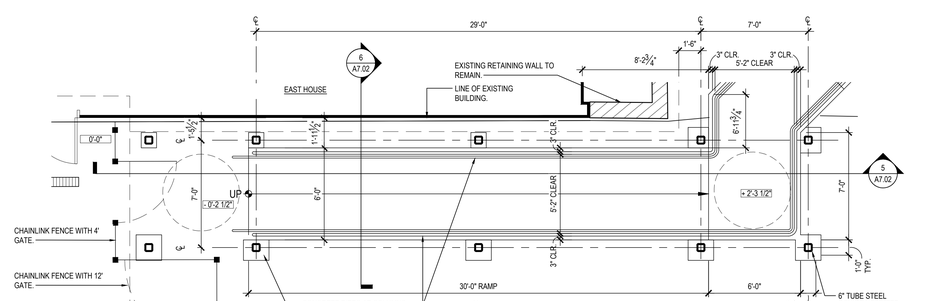
ENLARGED PLAN - 3

SCALE: 1/4" = 1'-0"



ENLARGED PLAN - 2

SCALE: 1/4" = 1'-0"



ENLARGED PLAN - 1

SCALE: 1/4" = 1'-0"

REV.	DATE	ITEM
1	03/12/2025	BID ADDENDUM No. 3

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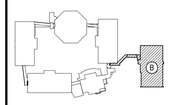

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

PROJECT

ENLARGED RAMP and WALKWAY CANOPY PLANS

DWG TITLE

DRAWING BY:	E.M.
CHECK BY:	P.J.H.

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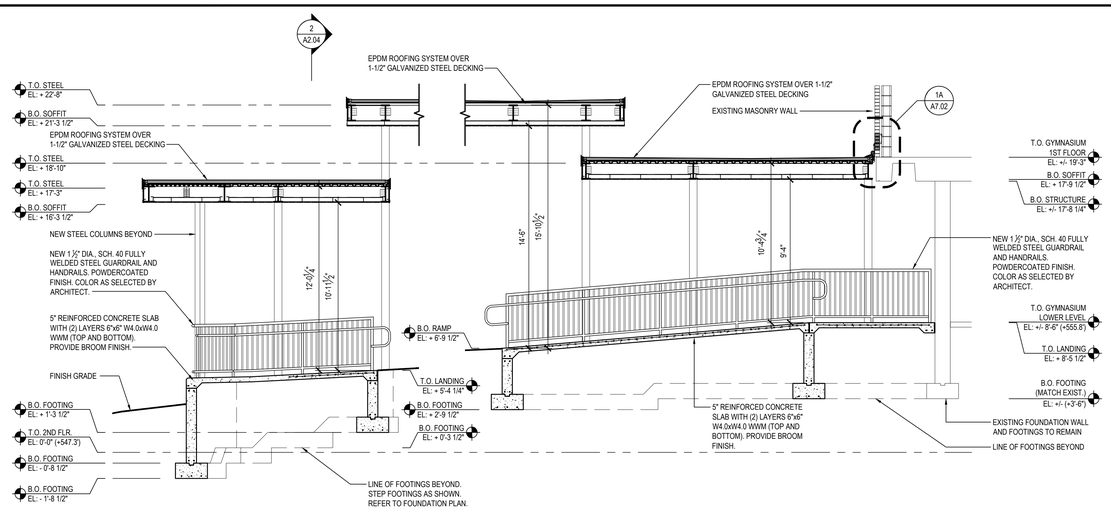
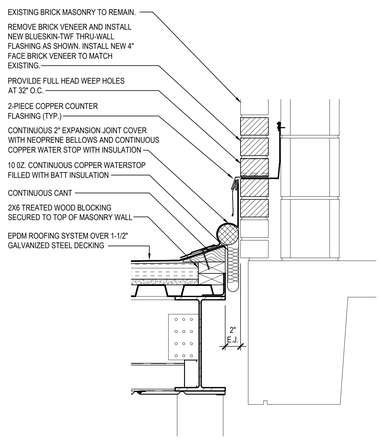
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	ENGLARGED RAMP and WALKWAY CANOPY PLANS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

A7.01



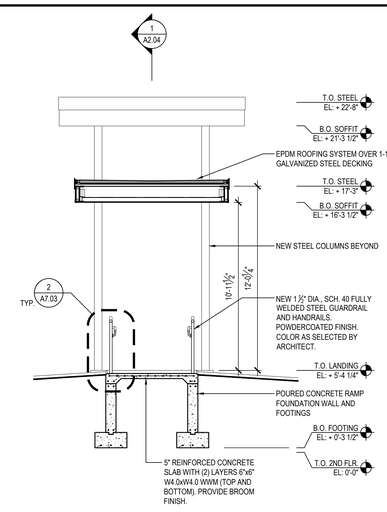
1 RAMP SECTION

SCALE: 1/4" = 1'-0"



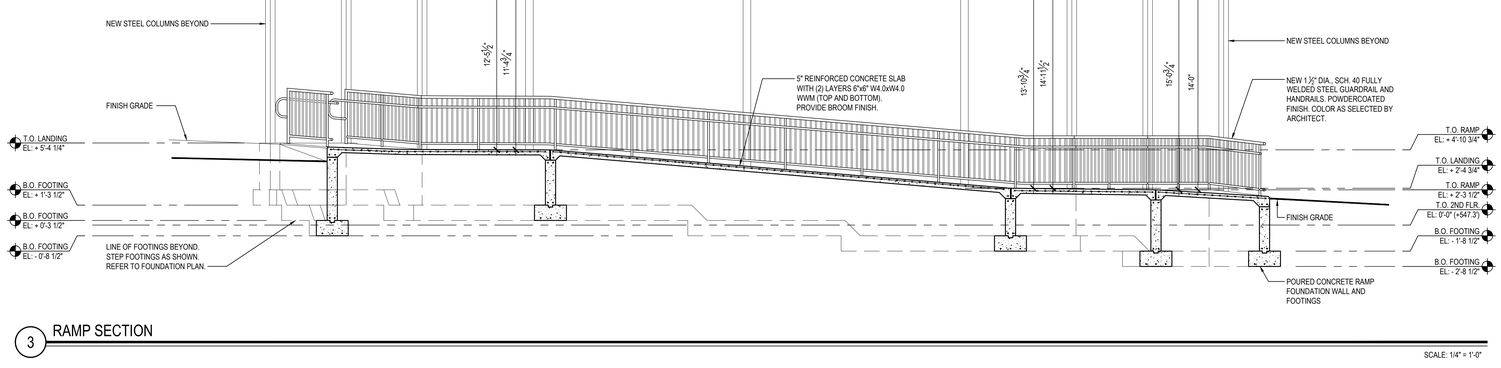
1A RAMP SECTION

SCALE: 1/4" = 1'-0"



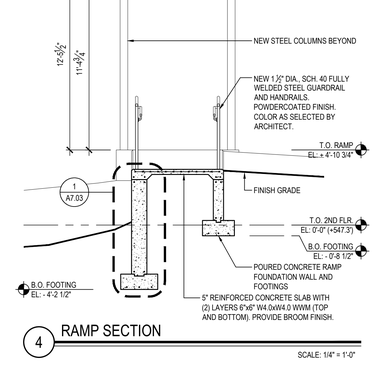
2 RAMP SECTION

SCALE: 1/4" = 1'-0"



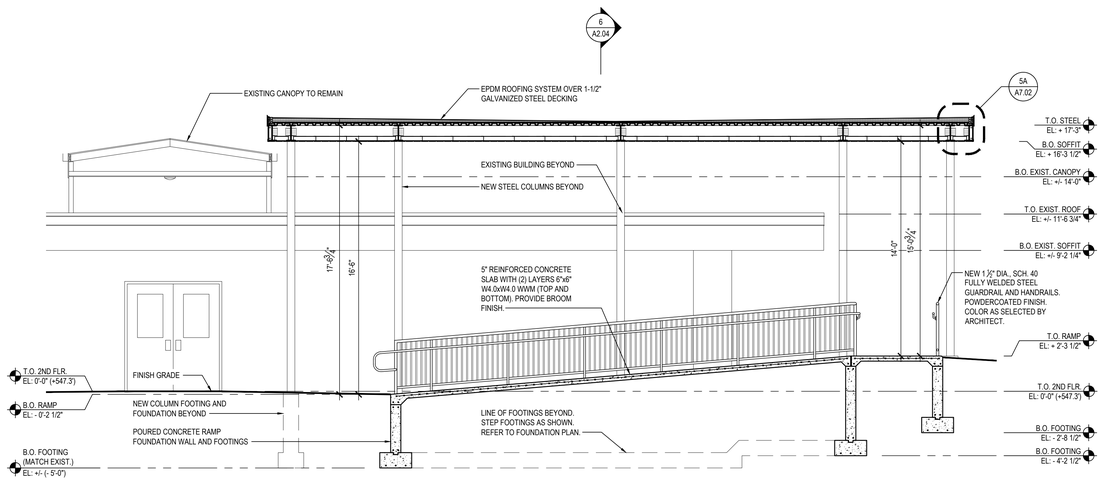
3 RAMP SECTION

SCALE: 1/4" = 1'-0"



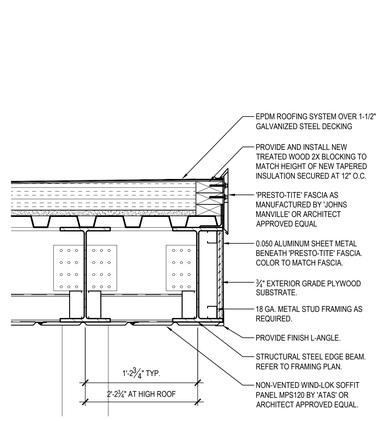
4 RAMP SECTION

SCALE: 1/4" = 1'-0"



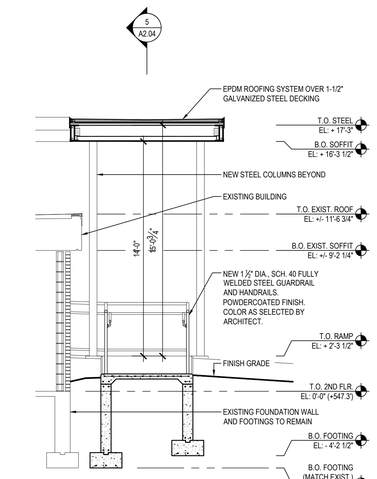
5 RAMP SECTION

SCALE: 1/4" = 1'-0"



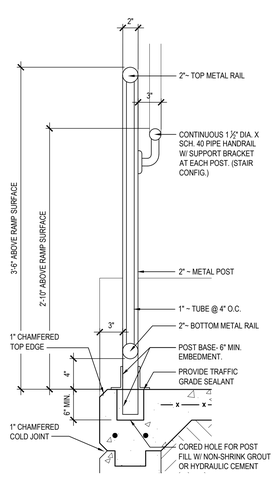
5A SECTION DETAIL

SCALE: 1 1/2" = 1'-0"



6 RAMP SECTION

SCALE: 1/4" = 1'-0"



7 GUARDRAIL DETAIL

SCALE: 1 1/2" = 1'-0"

REV.	DATE	ITEM

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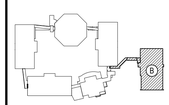

KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

RAMP and CANOPY SECTIONS and DETAILS

DRAWING BY: E.M.
CHECK BY: P.J.H.

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SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	RAMP and CANOPY SECTIONS and DETAILS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

A7.02

DOOR SCHEDULE

AREA	DOOR NO.	LOCATION	SIGNAGE	DOOR						FRAME			HARDWARE SET	DETAIL				FIRE RATING	REMARKS	DOOR NO.
				LEAVES	WIDTH	HEIGHT	THICKNESS	ELEV. TYPE	MAT.	GLAZING	TYPE.	MAT.	GLAZING		HEAD	JAMB	SILL	T'HOLD		
LOWER LEVEL	101	EXTERIOR	- - -	2	3'-0"	7'-0"	1 3/4"	F	ALUM.	SG-2	W1	ALUM.	SG-2					2CA/A6.01	- - -	PROVIDE REMOVABLE MULLION	101
	102	EXTERIOR	- - -	1	3'-0"	7'-0"	1 3/4"	F	ALUM.	SG-2	W1	ALUM.	SG-2					2CA/A6.01	- - -		102
	103	STUDENTS / STAFF VESTIBULE	- - -	2	3'-0"	7'-0"	1 3/4"	F	ALUM.	S.L.	SF-1	ALUM.	S.L.					T2	- - -	PROVIDE REMOVABLE MULLION. PROVIDE SECURITY FILM	103
	104	SECURITY VESTIBULE	- - -	1	3'-0"	7'-0"	1 3/4"	F	ALUM.	S.L.	SF-3	ALUM.	S.L.					T2	- - -	PROVIDE SECURITY FILM	104
	105	SECURITY OFFICE No. 03	B	1	3'-0"	7'-0"	1 3/4"	F	ALUM.	F.L.P.	SF-5	ALUM.	F.L.P.					T2	60 MIN.	PROVIDE SECURITY FILM	105
	106	SECURITY OFFICE No. 03	B	1	3'-0"	7'-0"	1 3/4"	E	MCMV	F.L.P.	F1	H.M.	- - -		H1	J1		T2	90 MIN.		106
	107	EXTERIOR	- - -	1	3'-0"	7'-0"	1 3/4"	F	ALUM.	SG-2	W4	ALUM.	SG-2					2CA/A6.01	- - -		107
	108	MAIN LOBBY	- - -	2	3'-0"	7'-0"	1 3/4"	E	MCMV	F.L.P.	F2	H.M.	- - -		H1	J1		T2	90 MIN.	PROVIDE MAGNETIC HOLD OPENS. 180 DEG. SWING.	108
	109	ATTENDANCE OFFICE No. 04	B	1	3'-0"	7'-0"	1 3/4"	C	SCLCMV	F.G.	F1	H.M.	- - -		H4	J4		T2	20 MIN.		109
	110	MAIN OFFICE No. 125	B	1	3'-0"	7'-0"	1 3/4"	C	SCLCMV	F.G.	SF-9	H.M.	F.L.P.			J1		T2	20 MIN.		110
	111	CONFERENCE ROOM No. 127	B	1	3'-0"	7'-0"	1 3/4"	D	SCLCMV	TEMP.	F1	H.M.	- - -		H3	J3		T3	- - -		111
	112	OFFICE No. 124	B	1	3'-0"	7'-0"	1 3/4"	D	SCLCMV	TEMP.	F1	H.M.	- - -		H3	J3		T3	- - -		112
	113	CONFERENCE ROOM No. 123	B	1	3'-0"	7'-0"	1 3/4"	D	SCLCMV	TEMP.	F1	H.M.	- - -		H3	J3		T3	- - -		113
	114	OFFICE No. 122	B	1	3'-0"	7'-0"	1 3/4"	D	SCLCMV	TEMP.	F1	H.M.	- - -		H3	J3		T3	- - -		114
	115	OFFICE No. 129	B	1	3'-0"	7'-0"	1 3/4"	D	SCLCMV	TEMP.	F1	H.M.	- - -		H3	J3		T3	- - -		115
	116	OFFICE No. 130	B	1	3'-0"	7'-0"	1 3/4"	D	SCLCMV	TEMP.	F1	H.M.	- - -		H3	J3		T3	- - -		116
	117	TOILET ROOM No. 131	D	1	3'-0"	7'-0"	1 3/4"	A	SCLCMV	- - -	F1	H.M.	- - -		H3	J3		T4	- - -		117
	118	VAULT No. 135	B	1	3'-0" V.I.F.	7'-0" V.I.F.	1 3/4"	A	H.M.	- - -	F1	H.M.	- - -		H2	J2		T5	- - -		118
	119	STORAGE ROOM No. 134	B	1	3'-0" V.I.F.	7'-0" V.I.F.	1 3/4"	A	MCMV	- - -	F1	H.M.	- - -		H2	J2		T5	45 MIN.		119
	120	STORAGE ROOM No. 128	B	1	3'-0"	7'-0"	1 3/4"	A	SCLCMV	- - -	F1	H.M.	- - -		H2	J1/J2		T5	20 MIN.		120
	121	NURSE'S OFFICE No. 119	B	1	3'-0"	7'-0"	1 3/4"	A	SCLCMV	- - -	F1	H.M.	- - -		H3	J3		T3	- - -		121
	122	TOILET ROOM No. 132	D	2	3'-0"	7'-0"	1 3/4"	A	SCLCMV	- - -	F1	H.M.	- - -		H3	J3		T4	- - -		122
	123	EXAM ROOM	B	1	3'-0"	7'-0"	1 3/4"	A	SCLCMV	- - -	F1	H.M.	- - -		H3	J3		T2	- - -		123
	124	OFFICE No. 120	B	1	3'-0"	7'-0"	1 3/4"	D	SCLCMV	TEMP.	F1	H.M.	- - -		H3	J3		T2	- - -		124
	125	NURSE'S OFFICE No. 119	B	1	3'-0"	7'-0"	1 3/4"	D	SCLCMV	F.G.	F1	H.M.	- - -		H1	J1		T2	20 MIN.		125
	126	STORAGE ROOM No. 133	B	1	3'-0"	7'-0"	1 3/4"	A	SCLCMV	- - -	F1	H.M.	- - -		H1	J1		T2	- - -		126
FIRST FLOOR	201	CROSS-CORRIDOR DOORS	- - -	2	3'-0"	7'-0"	1 3/4"	C	SCLCMV	F.G.	F2	H.M.	- - -		H5	J5			20 MIN.	PROVIDE MAGNETIC HOLD OPENS. 180 DEG. SWING.	201
	202	MUSIC CLASSROOM No. 209 / 210	A	1	3'-0"	7'-0"	1 3/4"	D	SCLCMV	F.G.	F1	H.M.	- - -		H1	J1		T5	20 MIN.		202
	203	MUSIC CLASSROOM No. 209 / 210	A	1	3'-0"	7'-0"	1 3/4"	D	SCLCMV	F.G.	F1	H.M.	- - -		H1	J1		T5	20 MIN.		203
	204	PRACTICE ROOM No. 210a	B	1	3'-0"	7'-0"	1 3/4"	D	SCLCMV	TEMP.	SF-10	H.M.	TEMP.			J3		T2	- - -	PROVIDE 3/4" UNDERCUT.	204
SECOND FLOOR	301	LECTURE ROOM No. 318	A	2	3'-0" V.I.F.	7'-0" V.I.F.	1 3/4"	D	SCLCMV	F.G.	F2	H.M.	- - -		H2	J2			20 MIN.		301
	302	STEAM / ROBOTICS LAB No. 317	- - -	1	3'-0"	7'-0"	1 3/4"	G	ALUM.	F.L.P.	SF-11	ALUM.	F.L.P.			J3			45 MIN.		302
	303	STORAGE ROOM No. 317A	B	1	3'-0"	7'-0"	1 3/4"	A	MCMV	- - -	F1	H.M.	- - -		H3	J3			45 MIN.	PROVIDE 3/4" UNDERCUT.	303
	304	STEAM / ROBOTICS LAB No. 317	- - -	1	3'-0"	7'-0"	1 3/4"	G	ALUM.	F.L.P.	SF-11	ALUM.	F.L.P.			J3			45 MIN.		304
	305	WOOD SHOP No. 315	B	1	3'-0"	7'-0"	1 3/4"	D	SCLCMV	TEMP.	F2	H.M.	- - -		H3	J3/J9			- - -		305
	306	LECTURE ROOM No. 316	A	2	3'-0" V.I.F.	7'-0" V.I.F.	1 3/4"	D	SCLCMV	F.G.	F2	H.M.	- - -		H2	J2			20 MIN.		306
	307	CROSS-CORRIDOR DOORS	- - -	2	3'-0"	7'-0"	1 3/4"	c	SCLCMV	F.G.	F2	H.M.	- - -		H5	J5			20 MIN.	PROVIDE MAGNETIC HOLD OPENS. 180 DEG. SWING.	307

ABBREVIATION LEGEND

ALUM.	ALUMINUM
S.C.L.C.O.V.	SOLID COMPOSITE LUMBER CORE OAK VENEER
M.C.O.V.	MINERAL CORE OAK VENEER
S.C.L.C.M.V.	SOLID COMPOSITE LUMBER CORE MAPLE VENEER
M.C.M.V.	MINERAL CORE MAPLE VENEER
F.R.P.	FIBERGLASS REINFORCED POLYESTER
H.M.	HOLLOW METAL
F.G.	¼" FIREGLASS 20
F.L.P.	¼" FIRE-LITE PLUS
PYRO	PYROSTOP GLAZING
INSUL.	1" INSULATED GLAZING
S.L.	¼" SAFETY LAMINATED GLAZING
OBSC.	OBSCURE GLAZING
U.O.N.	UNLESS OTHERWISE NOTED
S.F.	SECURITY FILM
SG-1	⅜₆" SHOOTER ATTACK GLAZING
SG-2	1" INSULATED SHOOTER ATTACK GLAZING
SG-3	.20 MIN. RATED SHOOTER ATTACK GLAZING
SG-4	.45 MIN. RATED SHOOTER ATTACK GLAZING
SG-5	.60 MIN. RATED SHOOTER ATTACK GLAZING
SG-6	.90 MIN. RATED SHOOTER ATTACK GLAZING
BRG-L1	LEVEL 1 BULLET RESISTANT GLAZING
BRG-L2	LEVEL 2 BULLET RESISTANT GLAZING
BRG-L3	LEVEL 3 BULLET RESISTANT GLAZING
SGP-L1	LEVEL 1 BULLET RESISTANT SECURITY PANEL
SGP-L2	LEVEL 2 BULLET RESISTANT SECURITY PANEL
SGP-L3	LEVEL 3 BULLET RESISTANT SECURITY PANEL
TEMP	¼" TEMPERED GLAZING

DOOR NOTES

1. ALL DOORS, FRAMES AND HARDWARE SHALL BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.
2. GENERAL CONTRACTOR SHALL COORDINATE ALL KEYING WITH OWNER.
3. FIRE RATED WOOD DOORS (45 MIN. AND ABOVE ONLY) SHALL HAVE SOLID MINERAL CORE, ALL OTHER WOOD DOORS SHALL HAVE SOLID COMPOSITE LUMBER CORE.
4. FLUSH WOOD DOORS SHALL BE 5 PLY LAMINATED FACE SHEETS WITH 2 PLY FINISH VENEER OVER SPECIFIED CORE. AT FIRE RATED DOORS, TOP AND BOTTOM RAILS AND STILES SHALL BE FIRE RESISTANT COMPOSITION MATERIAL BONDED TO CORE. PROVIDE SOLID BLOCKING FOR CLOSER AND HARDWARE. REFER TO SPECIFICATION SECTION 081416.
5. FLUSH WOOD DOORS AS MANUFACTURED BY 'VT INDUSTRIES' OR APPROVED EQUAL. SPECIES: SELECT WHITE MAPLE. COLOR: ALPINE, AL-18
6. ALL GLAZING IN DOORS SHALL BE INSTALLED IN METAL VISION KIT TO MATCH FIRE LABEL. VISION KIT COLOR SHALL BE AS SELECTED BY ARCHITECT. INTERIOR GLAZING TYPES AND SIZES SHALL CONFORM TO NFPA 80 AND/OR ASTM E119. WHERE SECURITY GLAZING IS INDICATED, VISION KIT SHALL BE THROUGH BOLT TYPE.
7. ALL NEW H.M. FRAMES SHALL BE FULLY WELDED WRAP AROUND TYPE (UNLESS OTHERWISE NOTED OR DETAILED). THROATS SHALL BE SIZED ACCORDING TO WALL THICKNESS AND FINISH. REFER TO FLOOR PLAN AND ENLARGED DETAILS FOR ADDITIONAL INFORMATION.
8. FOR DOOR REPLACEMENTS IN KIND, GENERAL CONTRACTOR SHALL MODIFY AND PATCH EXISTING WOOD OR H.M. DOOR FRAMES (DESIGNATED TO REMAIN) TO ACCOMMODATE NEW DOOR OPERATOR, LOCKSET, LATCH, HINGES, DOOR SWING AND/OR CLOSER, ETC. AS REQUIRED FOR COMPLETE AND FUNCTIONAL OPERATION.
9. GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING HEIGHT AND WIDTH OF PROPOSED DOORS TO BE INSTALLED IN EXISTING FRAMES (PRIOR TO SHOP DRAWING SUBMITTAL) TO ENSURE PROPER FIT AND DOOR FUNCTION.
10. ALL NEW HOLLOW METAL FRAMES AND HOLLOW METAL DOORS SHALL BE FINISH PAINTED. REFER TO SPECIFICATION SECTION 099000 FOR PAINT TYPE. COLOR AS SELECTED BY ARCHITECT.
11. GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL A.D.A. COMPLIANT SIGNAGE AT ALL DOORS WHERE SPECIFIED IN DOOR SCHEDULE AND/OR SHOWN ON FLOOR PLANS. INSTALL IN CONFORMANCE WITH ALL ADA HEIGHT AND PLACEMENT REQUIREMENTS.
    - ▲A. WHERE DENOTED IN SCHEDULE, PROVIDE 4"x4" SIGNAGE WITH BRAILLE INDICATING ROOM NUMBER (COORD. WITH OWNER), MODEL No. E-BTCUST.
    - ▲B. WHERE DENOTED IN SCHEDULE, PROVIDE 4"x12" SIGNAGE WITH BRAILLE INDICATING ROOM NAME AND NUMBER (COORD. WITH OWNER), MODEL No. E-BTCUST.
    - ▲C. WHERE DENOTED IN SCHEDULE, PROVIDE 8"x8" SIGNAGE WITH BRAILLE INDICATING GENDER AND WHEELCHAIR PICTOGRAMS AND ROOM NAME AT MULTI-USE TOILET ROOMS.
        - AT MULTI-USE TOILET ROOMS, PROVIDE AND INSTALL MODEL No. X-5687 (WOMEN), X-5672 (MEN), X-7095 (BOY'S), X-7096 (GIRL'S),
        - AT MULTI-USE ACCESSIBLE TOILET ROOMS, PROVIDE AND INSTALL MODEL No. X-5688 (WOMEN), X-5671 (MEN), X-7108 (BOY'S), X-7107 (GIRL'S).
    - ▲D. WHERE DENOTED IN SCHEDULE, PROVIDE 6"x9" SIGNAGE WITH BRAILLE INDICATING GENDER AND WHEELCHAIR PICTOGRAMS AND ROOM NAME AT SINGLE-USE TOILET ROOMS.
        - AT SINGLE-USE TOILET ROOMS, PROVIDE AND INSTALL MODEL No. E-BTCUST. SIGN SHALL SPECIFY STAFF OR STUDENT USE AS REQUIRED.
        - AT SINGLE-USE ACCESSIBLE TOILET ROOMS, PROVIDE AND INSTALL MODEL No. E-BTCUST. SIGN SHALL SPECIFY STAFF OR STUDENT USE AS REQUIRED.

    MANUFACTURER: "ALLSTATE SIGN AND PLAQUE", DEER PARK, NY OR APPROVED EQUAL. ALL SIGNAGE SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW AND APPROVAL. COLOR AS SELECTED BY ARCHITECT
11. ALL REMOVABLE MULLIONS ARE TO BE KEYED ALIKE AND TO MATCH EXISTING BUILDING SYSTEM.
13. AUTOMATIC DOOR OPERATORS - THE ELECTRICAL CONTRACTOR SHALL PROVIDE A LINE VOLTAGE CIRCUIT TO THE AUTO OPERATOR. LOCATION SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL WIRING ASSOCIATED WITH AUTOMATIC DOOR OPERATORS, INCLUDING ELECTRONIC STRIKE, PUSH BUTTONS, TRANSFORMERS AND ANY OTHER DEVICES REQUIRED FOR A FULLY OPERATIONAL SYSTEM.
14. FIRE RATED GLAZING WITH SURFACE APPLIED FILMS WILL NOT BE CONSIDERED EQUIVALENT WHERE LAMINATED FILM IS SPECIFIED.
15. ALL ALUMINUM DOOR FRAMES, STOREFRONTS, VISION-LITE FRAMES AND WINDOW FRAMES SHALL BE POWDERCOATED FINISH. CUSTOM COLOR AS SELECTED BY ARCHITECT.

STOREFRONT ENTRANCE and FRAMING NOTES

1. REFER TO CODE COMPLIANCE DRAWINGS FOR WIND LOAD DESIGN CRITERIA.
2. ALL EXTERIOR STOREFRONT, CURTAIN WALL AND EXTERIOR DOOR GLAZING SHALL BE 1" DIRECT GLAZED AS INDICATED UNLESS OTHERWISE NOTED. REFER TO PROJECT MANUAL FOR GLAZING TYPE AND CONFIGURATION.
3. ALL STOREFRONT AND CURTAIN WALL FRAMING MEMBERS SHALL BE FACTORY FINISHED. COLOR: AS SELECTED BY ARCHITECT.
4. REFER TO WALL SECTIONS FOR STOREFRONT / CURTAIN WALL CONFIGURATION, ADJACENT CONDITIONS AND MATERIALS, AND TO ASSIST IN DETERMINING FASTENING LOCATIONS. STOREFRONT AND CURTAIN WALL SYSTEM SHALL BE SECURED TO STRUCTURE IN ACCORDANCE WITH MANUFACTURERS REQUIREMENTS TO MEET N.Y.S. WIND LOAD REQUIREMENTS.
5. G.C. SHALL COORDINATE STOREFRONT / CURTAIN WALL OPENING LOCATIONS / QUANTITIES WITH FLOOR PLAN, ELEVATIONS, AND SCHEDULE.
6. G.C. SHALL SUBMIT SHOP DRAWINGS WITH CALCULATIONS TO SHOW COMPLIANCE WITH WIND PRESSURE LOADING, DEFLECTION AND MOVEMENT REQUIREMENTS. FRAME DEPTH 4½", MAX. FRAME DEPTH 6" (U.O.N.).
7. EXTERIOR STOREFRONT FRAMING SYSTEM SHALL BE 4½" x 2" 'TRIFAB 451-T' BY 'KAWNEER'. INTERIOR STOREFRONT FRAMING SYSTEM SHALL BE 4½" x 2" 'TRIFAB 451' BY 'KAWNEER UNLESS OTHERWISE NOTED OR ARCHITECT APPROVED EQUAL.
8. PROVIDE 'TGP FIREFRAMES' OR ARCHITECT APPROVED EQUAL WHERE REQUIRED.
9. G.C. SHALL COORDINATE WIRING AND HARDWARE PREPARATION OF ELECTRONIC DOOR CONTROLS WITH E.C. FOR COMPLETE AND FUNCTIONAL OPERATION.

SECURITY GLAZING and PANEL NOTES

1. SECURITY FILM (SF) SHALL BE 'SCOTCHSHIELD ULTRA S800' SAFETY AND SECURITY FILM AS MANUFACTURED BY '3M' OR ARCHITECT APPROVED EQUAL. LOCATIONS AS INDICATED ON THE DRAWINGS.
2. SECURITY GLAZING (SG) AS MANUFACTURED BY 'ARMOURED ONE' OR ARCHITECT APPROVED EQUAL SHALL BE FROM THE FOLLOWING LIST. LOCATION AND TYPE AS INDICATED ON THE DRAWINGS. STRUCTURAL ADHESIVE SHALL BE USED TO BOND THE GLASS TO THE VISION KIT IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. INSTALL SO FILM IS ON THE INBOARD (PROTECTED) SIDE.

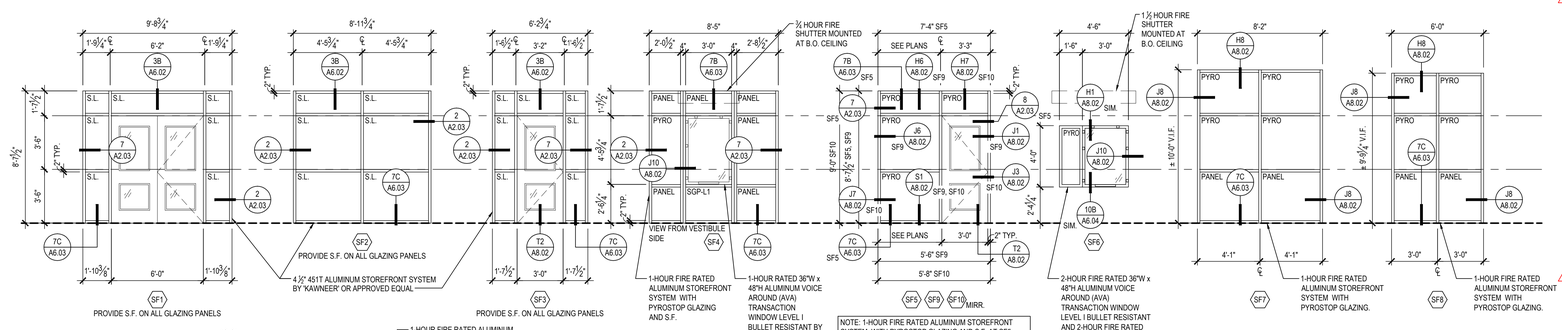
    SG-1: ⅜₆" SHOOTER / ATTACK / BOMB RESISTANT SECURITY GLASS, MODEL No. AOTSG516L
    SG-2: 1" INSULATED SHOOTER / ATTACK / BOMB RESISTANT SECURITY GLASS, MODEL No. AOTSG1
    SG-3: 20 MINUTE FIRE RATED SHOOTER / ATTACK / BOMB RESISTANT SECURITY GLASS, MODEL No. AOTSG516FR
    SG-4: 45 MINUTE FIRE RATED SHOOTER / ATTACK / BOMB RESISTANT SECURITY GLASS, MODEL No. AOTSG1016FR
    SG-5: 60 MINUTE FIRE RATED SHOOTER / ATTACK / BOMB RESISTANT SECURITY GLASS, MODEL No. AOTSG1616FR
    SG-6: 90 MINUTE FIRE RATED SHOOTER / ATTACK / BOMB RESISTANT SECURITY GLASS, MODEL No. AOTSG616FR
3. BULLET RESISTANT GLAZING (BRG) LEVEL 1, 2 OR 3 AS MANUFACTURED BY 'PATRIOT ARMOR' OR ARCHITECT APPROVED EQUAL SHALL BE FROM THE FOLLOWING LIST. LOCATION AND TYPE AS INDICATED ON THE DRAWINGS.

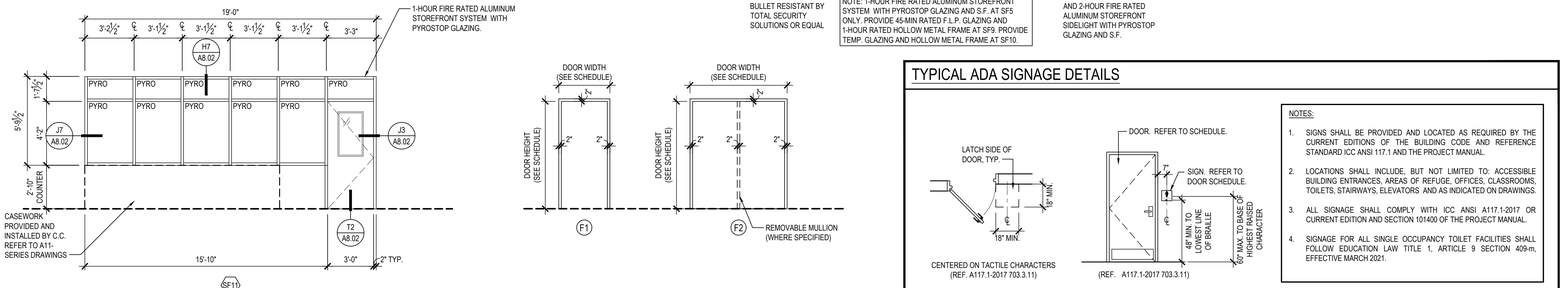
BRG-L1: PAS 1000 ½"	BRG-L2: PAS 002 L/S 1"	BRG-L3: PAS 003 L/S 1⅛"
THREAT SIDE	THREAT SIDE	THREAT SIDE
LAYER 1: ½" HEAT STRENGTHENED GLASS	LAYER 1: ½" ANNEALED GLASS	LAYER 1: ½" ANNEALED GLASS
LAYER 2: .05" URETHANE	LAYER 2: .025" URETHANE	LAYER 2: .025" URETHANE
LAYER 3: ¼" POLYCARBONATE	LAYER 3: ½" ANNEALED GLASS	LAYER 3: ½" ANNEALED GLASS
LAYER 4: .05" URETHANE	LAYER 4: .05" URETHANE	LAYER 4: .05" URETHANE
LAYER 5: ½" HEAT STRENGTHENED GLASS	LAYER 5: ½" POLYCARBONATE	LAYER 5: ½" POLYCARBONATE
LAYER 6: .037 SPALL SHIELD	LAYER 6: .05 URETHANE	LAYER 6: .05" URETHANE
SAFE SIDE	LAYER 7: ¾" ANNEALED GLASS	LAYER 7: ⅜₆" ANNEALED GLASS
	SAFE SIDE	SAFE SIDE

4. SECURITY GLAZING PANEL (SGP) SHALL BE LEVEL 1, 2 OR 3 BULLET RESISTANT COMPOSITE PANEL AS MANUFACTURED BY 'MAPES ARCHITECTURAL PANELS' OR ARCHITECT APPROVED EQUAL. LOCATION AND TYPE AS INDICATED ON THE DRAWINGS.

SGP-L1: LEVEL 1 COMPOSITE PANEL	SGP-L2: LEVEL 2 COMPOSITE PANEL	SGP-L3: LEVEL 3 COMPOSITE PANEL
THREAT SIDE	THREAT SIDE	THREAT SIDE
LAYER 1: .032" ALUMINUM EXTERIOR SKIN	LAYER 1: .032" ALUMINUM EXTERIOR SKIN	LAYER 1: .032" ALUMINUM EXTERIOR SKIN
LAYER 2: 4MM CEMENT BOARD	LAYER 2: 4MM CEMENT BOARD	LAYER 2: 4MM CEMENT BOARD
LAYER 3: .25" BALLISTIC OPAQUE FIBERGLASS	LAYER 3: .375" BALLISTIC OPAQUE FIBERGLASS	LAYER 3: .50" BALLISTIC OPAQUE FIBERGLASS
LAYER 4: .50" TYPE 'X' GYPSUM BOARD	LAYER 4: .50" TYPE 'X' GYPSUM BOARD	LAYER 4: .50" TYPE 'X' GYPSUM BOARD
LAYER 5: .032" ALUMINUM INTERIOR SKIN	LAYER 6: .032" ALUMINUM INTERIOR SKIN	LAYER 6: .032" ALUMINUM INTERIOR SKIN
SAFE SIDE	SAFE SIDE	SAFE SIDE
TOTAL PANEL THICKNESS: 1" NOMINAL	TOTAL PANEL THICKNESS: 1⅛" NOMINAL	TOTAL PANEL THICKNESS: 1½" NOMINAL

NOTE: SKIN FINISH SHALL BE STANDARD KYNAR ON ALUMINUM (INTERIOR AND EXTERIOR)



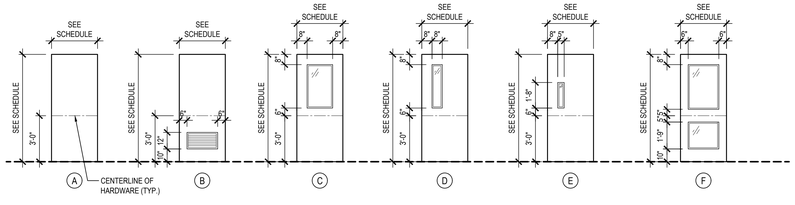


STOREFRONT ELEVATIONS

SCALE: 1/4" = 1'-0"

FRAME TYPE ELEVATIONS

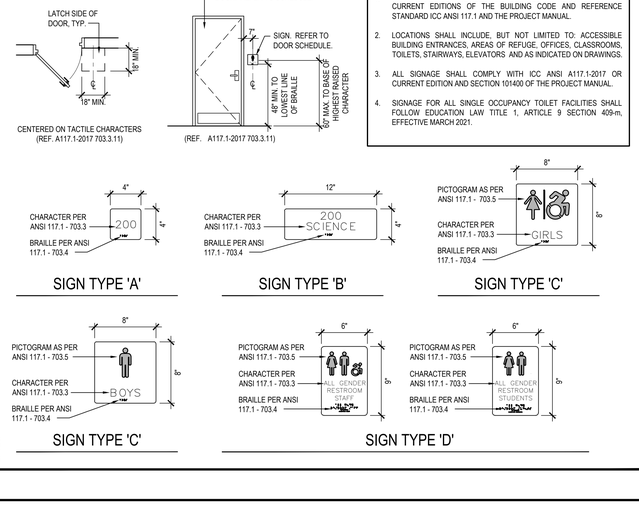
NOTE: REFER TO DOOR SCHEDULE FOR DOOR FRAME MATERIAL. SCALE: 1/4" = 1'-0"



DOOR TYPE ELEVATIONS

NOTE: REFER TO DOOR SCHEDULE FOR DOOR MATERIAL AND GLAZING TYPE (WHERE APPLICABLE). SCALE: 1/4" = 1'-0"

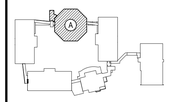
TYPICAL ADA SIGNAGE DETAILS



REV.	DATE	ITEM
1	03/20/2025	BID ADDENDUM No. 5

NOTICE

THESE DRAWINGS ARE BASED ON CONSTRUCTION DRAWINGS NOT PREPARED BY BBS ARCHITECTS, LANDSCAPE ARCHITECTS AND ENGINEERS, PC. AND, THEREFORE, MAY NOT REPRESENT THE CONDITIONS AS CONSTRUCTED AT THE TIME. ALL EXISTING CONDITIONS SHOWN ARE REPRESENTED AS SUGGESTIVE INFORMATION AS THEY MAY NOT HAVE BEEN BUILT AND DETAILED PER THE ORIGINAL DOCUMENTS OR PER THE OWNER'S INFORMATION.



KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

DOOR SCHEDULE and ELEVATIONS

DRAWING BY: - - -

CHECK BY: - - -

NOTICE

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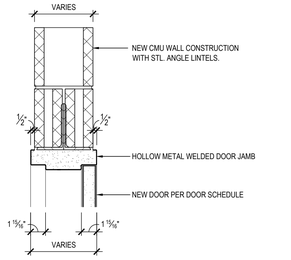
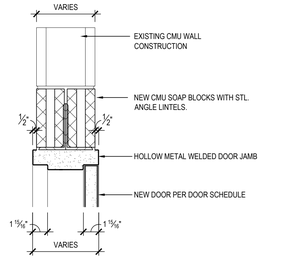
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	DOOR SCHEDULE and ELEVATIONS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

A8.01



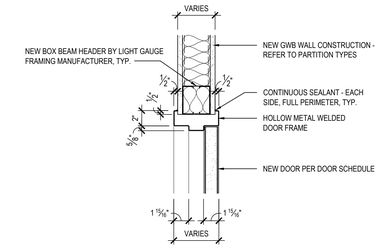
H1 DOOR HEAD DETAIL

NOTE: AT NEW CMU WALLS — SCALE: 1-1/2" = 1'-0"



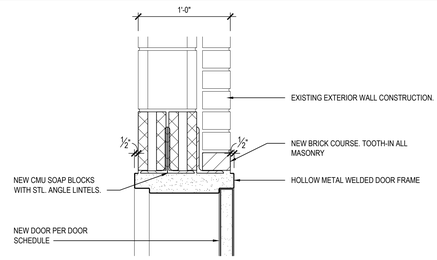
H2 DOOR HEAD DETAIL

NOTE: AT EXISTING CMU WALLS — SCALE: 1-1/2" = 1'-0"



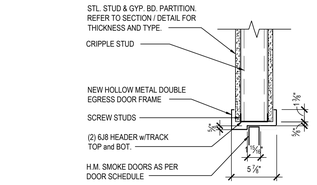
H3 DOOR HEAD DETAIL

NOTE: AT NEW METAL STUD FRAMED WALLS — SCALE: 1-1/2" = 1'-0"



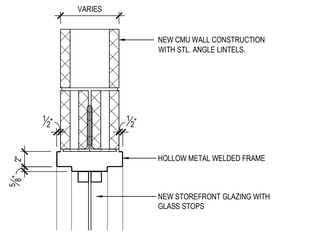
H4 DOOR HEAD DETAIL

NOTE: AT EXISTING EXTERIOR WALL DOOR 109 — SCALE: 1-1/2" = 1'-0"



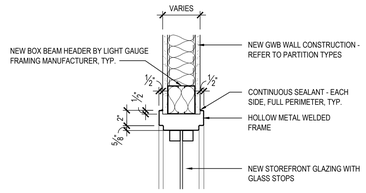
H5 DOOR HEAD DETAIL

SCALE: 1-1/2" = 1'-0"



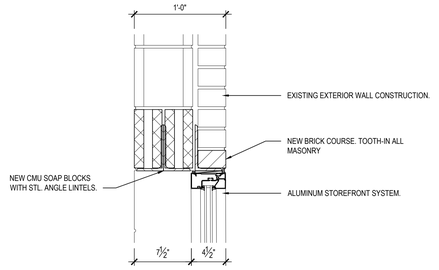
H6 STOREFRONT HEAD DETAIL

NOTE: AT NEW CMU WALLS — SCALE: 1-1/2" = 1'-0"



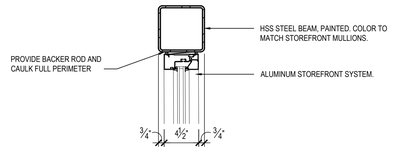
H7 STOREFRONT HEAD DETAIL

NOTE: AT NEW METAL STUD FRAMED WALLS — SCALE: 1-1/2" = 1'-0"



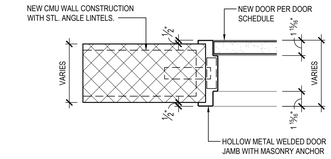
H8 STOREFRONT HEAD DETAIL

NOTE: AT EXISTING EXTERIOR WALLS — SCALE: 1-1/2" = 1'-0"



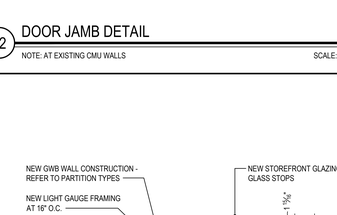
H9 STOREFRONT HEAD DETAIL

NOTE: AT INTERIOR VESTIBULE STOREFRONT — SCALE: 1-1/2" = 1'-0"



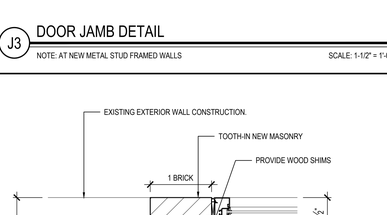
J1 DOOR JAMB DETAIL

NOTE: AT NEW CMU WALLS — SCALE: 1-1/2" = 1'-0"



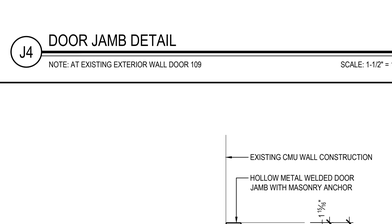
J2 DOOR JAMB DETAIL

NOTE: AT EXISTING CMU WALLS — SCALE: 1-1/2" = 1'-0"



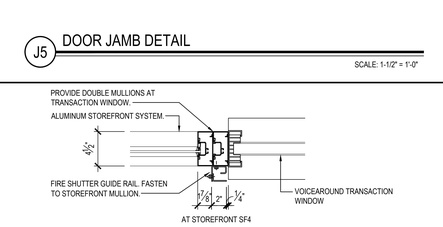
J3 DOOR JAMB DETAIL

NOTE: AT NEW METAL STUD FRAMED WALLS — SCALE: 1-1/2" = 1'-0"



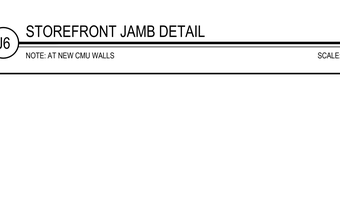
J4 DOOR JAMB DETAIL

NOTE: AT EXISTING EXTERIOR WALL DOOR 109 — SCALE: 1-1/2" = 1'-0"



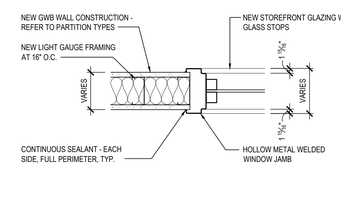
J5 DOOR JAMB DETAIL

SCALE: 1-1/2" = 1'-0"



J6 STOREFRONT JAMB DETAIL

NOTE: AT NEW CMU WALLS — SCALE: 1-1/2" = 1'-0"

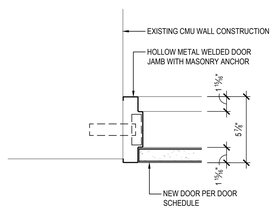


J7 STOREFRONT JAMB DETAIL

NOTE: AT NEW METAL STUD FRAMED WALLS — SCALE: 1-1/2" = 1'-0"

J8 STOREFRONT JAMB DETAIL

NOTE: AT EXISTING EXTERIOR WALLS — SCALE: 1-1/2" = 1'-0"

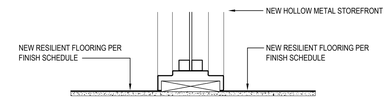


J9 DOOR JAMB DETAIL

NOTE: AT EXISTING CMU WALL DOOR 305 — SCALE: 1-1/2" = 1'-0"

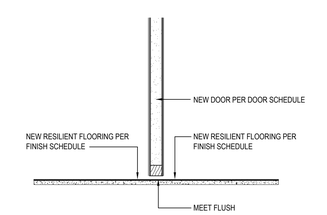
J10 WINDOW JAMB DETAIL

NOTE: AT TRANSACTION WINDOWS — SCALE: 1-1/2" = 1'-0"



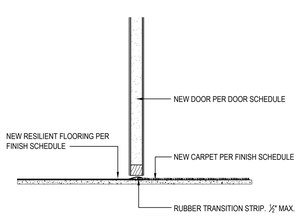
S1 SILL DETAIL

SCALE: 1-1/2" = 1'-0"



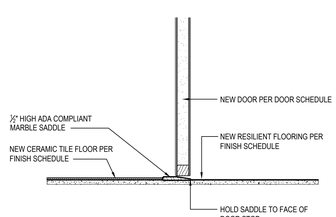
T1 THRESHOLD DETAIL

SCALE: 1-1/2" = 1'-0"



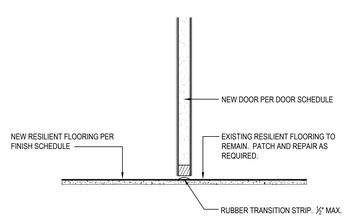
T2 THRESHOLD DETAIL

SCALE: 1-1/2" = 1'-0"



T3 THRESHOLD DETAIL

NOTE: SHALL BE INSTALLED IN ACCORDANCE WITH ANSI A117.1-2009 — SCALE: 1-1/2" = 1'-0"



T4 THRESHOLD DETAIL

SCALE: 1-1/2" = 1'-0"

REV.	DATE	ITEM

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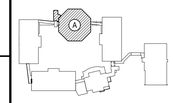

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DOOR DETAILS

PROJECT

DWG TITLE

DRAWING BY: E.M.

CHECK BY: P.J.H.

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SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	DOOR DETAILS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

A8.02

FINISH SCHEDULE

AREA	ROOM No.	LOCATION	FLOORS			WALLS			CEILINGS	REMARKS
			FIELD	ACCENT	BASE	TYPE:	FINISH	ACCENT		
LOWER LEVEL	01	STUDENTS / STAFF VESTIBULE	CPT1		RCB1	GYP.	P1			
	02	SECURITY VESTIBULE	CPT1		RCB1	GYP.	P1			
	03	SECURITY OFFICE	SVT1		RCB1	GYP.	P1		ACT1	ALL DOOR FRAMES P6
	04	ATTENDANCE OFFICE	SVT1		RCB1	GYP.	P1	P4	ACT1	ALL DOOR FRAMES P6
	05	MAIN LOBBY	SVT1	SVT2	RCB1	GYP.	P1	P4	ACT1	ALL DOOR FRAMES P6
	119	NURSE'S OFFICE	SVT1	SVT2	RCB1	GYP.	P1	P4	ACT1	ALL DOOR FRAMES P6
	119A	EXAM ROOM	SVT1		RCB1	GYP.	P1		ACT1	ALL DOOR FRAMES P6
	119B	EXAM ROOM	SVT1		RCB1	GYP.	P1		ACT1	ALL DOOR FRAMES P6
	119C	EXAM ROOM	SVT1		RCB1	GYP.	P1		ACT1	ALL DOOR FRAMES P6
	120	OFFICE	SVT1		RCB1	GYP.	P1	P4	ACT1	ALL DOOR FRAMES P6
	122	OFFICE	SVT1		RCB1	GYP.	P1	P4	ACT1	ALL DOOR FRAMES P6
	123	CONFERENCE ROOM	CPT2		RCB1	GYP.	P1	P4	ACT1	ALL DOOR FRAMES P6
	124	OFFICE	CPT2		RCB1	GYP.	P1	P4	ACT1	ALL DOOR FRAMES P6
	125	MAIN OFFICE	SVT1	SVT2	RCB1	GYP.	P1	P4	ACT1	ALL DOOR FRAMES P6
	126	KITCHEN	SVT1	SVT2	RCB1	GYP.	P1	P4	ACT1	ALL DOOR FRAMES P6
	127	CONFERENCE ROOM	CPT2		RCB1	GYP.	P1	P4	ACT1	ALL DOOR FRAMES P6
	129	OFFICE	CPT2		RCB1	GYP.	P1	P4	ACT1	ALL DOOR FRAMES P6
	130	OFFICE	CPT2		RCB1	GYP.	P1	P4	ACT1	ALL DOOR FRAMES P6
	131	TOILET ROOM	PFT1		CTCB1	GYP.	CWT1	CWT2	ACT2	ALL DOOR FRAMES P6
	132	TOILET ROOM	PFT1		CTCB1	GYP.	CWT1	CWT2	ACT2	ALL DOOR FRAMES P6
	133	STORAGE ROOM	SVT1		RCB1	GYP.	P1		ACT1	ALL DOOR FRAMES P6
	134	STORAGE ROOM								
	135	VAULT								
	136	STORAGE ROOM								
1ST FLOOR	209/210	MUSIC CLASSROOM	LVT1	LVT2	RCB2	GYP.	P1	P4	ACT3 / GYP.	ALL DOOR FRAMES P6
	210A	PRACTICE ROOM	LVT1		RCB2	GYP.	P1	P4	ACT3 / GYP.	ALL DOOR FRAMES P6
2ND FLOOR	315	WOOD SHOP / PREP ROOM	EP1		RCB3	GYP.	P2	P4	EXPOSED - P3 / ACT4	ALL DOOR FRAMES P5
	316	INSTRUCTION CLASSROOM	EP1		RCB3	GYP.	P2	P4	EXPOSED - P3 / ACT4	ALL DOOR FRAMES P5
	317	STEAM / ROBOTICS LAB	EP1		RCB3	GYP.	P2	P4	EXPOSED - P3 / ACT4	ALL DOOR FRAMES P5
	317B	PROJECT STORAGE ROOM	EP1		RCB3	GYP.	P2	P4	EXPOSED - P3 / ACT4	ALL DOOR FRAMES P5
	318	DESIGN / COLLABORATIVE CLASSROOM	EP1		RCB3	GYP.	P2	P4	EXPOSED - P3 / ACT4	ALL DOOR FRAMES P5

FLOOR TYPES

VINYL:

TYPE VCT1: 12"x12"x1/8" VINYL COMPOSITE TILE AS MANUFACTURED BY ARMSTRONG FLOORING
COLLECTION: STANDARD EXCELON IMPERIAL TEXTURE
COLOR: TO BE SELECTED BY ARCHITECT
(EXISTING 2ND LEVEL CORRIDOR- MATCH EXIST. COLORS/PATTERN)

TYPE VCT2: 12"x12"x1/8" VINYL COMPOSITE TILE AS MANUFACTURED BY ARMSTRONG FLOORING
COLLECTION: STANDARD EXCELON IMPERIAL TEXTURE
COLOR: TO BE SELECTED BY ARCHITECT
(EXISTING 2ND LEVEL CORRIDOR- MATCH EXIST. COLORS/PATTERN)

TYPE SVT1: 36" x 36" x 3.2mm SOLID VINYL TILE AS MANUFACTURED BY PATCRAFT
COLLECTION: NUMIX
COLOR: PEBLE FLECK
INSTALL METHOD: MONOLITHIC - GLUE DOWN
(NEW ADDITION / FIRST FLOOR CORRIDOR / NURSE/ MAIN OFFICE)

TYPE SVT2: 36" x 36" x 3.2mm SOLID VINYL TILE AS MANUFACTURED BY PATCRAFT
COLLECTION: NUMIX
COLOR: COLOR AS PER ARCHITECT
INSTALL METHOD: MONOLITHIC - GLUE DOWN
(NEW ADDITION / FIRST FLOOR CORRIDOR / NURSE/ MAIN OFFICE)

TYPE LVT1: 9"x59"x5MM" LUXURY VINYL TILE AS MANUFACTURED BY MOHAWK COMMERCIAL FLOORING
COLLECTION: HOT ND HEAVY - LINEATE , 20 MIL, 5MM THICK
COLOR: 948 FIGURED
INSTALLATION: GLUE DOWN, ASHLAR
(MUSIC EXPLORATION)

TYPE LVT2: 9"x59"x5MM" LUXURY VINYL TILE AS MANUFACTURED BY MOHAWK COMMERCIAL FLOORING
COLLECTION: HOT ND HEAVY - METAL, 20 MIL, 5MM THICK
COLOR: 353 RAVE RED
INSTALLATION: GLUE DOWN, ASHLAR
(MUSIC EXPLORATION)

CARPET:

TYPE CPT1: 24" X 24" CARPET TILE AS MANUFACTURED BY INTERFACE
STEP REPEAT COLLECTION, SR899, MONOLITHIC INSTALLATION
COLOR: TO BE SELECTED BY ARCHITECT
(VESTIBULES)

TYPE CPT2: 12" X 36" CARPET TILE AS MANUFACTURED BY MOHAWK GROUP
COLLECTION: WILD HORIZON
STYLE: GT366
COLOR: 863 SCARLET CREEPER
HALF-LAP INSTALLATION
(MAIN OFFICE)

EPOXY:

TYPE EP1: ACCELERA C 100% SOLIDS, DECORATIVE VINYL CHIP EPOXY FLOORING SYSTEM AS MANUFACTURED BY DURAFLEX OR EQUAL.
STYLE: MACROCHIP
COLOR: CUSTOM MULTICOLOR PREBLEND BY ARCHITECT- 5 COLORS MAX
(STEAM LABS)

PAINT TYPES

TYPE P1: PAINT BY SHERWIN WILLIAMS:
LATEX EGGSHELL ENAMEL FINISH
COLOR: TO BE SELECTED BY ARCHITECT
(CORRIDORS & GENERAL)

TYPE P2: PAINT BY SHERWIN WILLIAMS:
LATEX EGGSHELL ENAMEL FINISH
COLOR: TO BE SELECTED BY ARCHITECT
(WHITE)

TYPE P3: PAINT BY SHERWIN WILLIAMS:
LATEX EGGSHELL ENAMEL FINISH
COLOR: TO BE SELECTED BY ARCHITECT
(MEDIUM GREY)

TYPE P4: PAINT BY SHERWIN WILLIAMS:
LATEX EGGSHELL ENAMEL FINISH
COLOR: TO BE SELECTED BY ARCHITECT
(RED)

TYPE P5: PAINT BY SHERWIN WILLIAMS:
DTM ALKYD SEMI-GLOSS ENAMEL
COLOR: TO BE SELECTED BY ARCHITECT
(HM DOOR FRAMES-BLACK)

TYPE P6: PAINT BY SHERWIN WILLIAMS:
DTM ALKYD SEMI-GLOSS ENAMEL
COLOR: TO BE SELECTED BY ARCHITECT
(HM DOOR FRAMES-GRAY)

TYPE P7: PAINT BY SHERWIN WILLIAMS:
LATEX FLAT ENAMEL FINISH
COLOR: WHITE
(GYP. BD SOFFIT AND CEILINGS)

CEILING TYPES

TYPE ACT1: ACOUSTIC CEILING TILE BY "ARMSTRONG"
SIZE: 24" X 24" X 3/4"
STYLE: #1910 ULTIMA SQUARE LAY-IN
(CLASSROOMS, OFFICES, CORRIDORS)

TYPE ACT2: ACOUSTIC CEILING TILE BY "ARMSTRONG"
SIZE: 24" X 24" X 7/8", NRC RATING .80
STYLE: #1445 ULTIMA HEALTH ZONE HIGH NRC, SQUARE LAY IN
(TOILET ROOMS)

TYPE ACT3: ACOUSTIC CEILING TILE BY "ARMSTRONG"
SIZE: 24" X 24" X 1", NRC RATING .95
STYLE: #3250 OPTIMA SQUARE TEGULAR
(MUSIC ROOMS, PRACTICE ROOMS)

TYPE ACT4: 1" THICK TECTUM DIRECT ATTACH HIGH NRC. CEILING PANELS AS MANUFACTURED BY "ARMSTRONG"- SHORT EDGES SQUARE.
SIZE: 12"W X LENGTH VARRIES- REFER TO A10.01
PANEL SIZES CAN EITHER BE MADE-TO-ORDER OR FIELD CUT
COLOR: RED

TYPE ACT5: GYPSUM WALLBOARD, SQUARE EDGE LAY-IN.
SIZE: 24"X24"X5/8" PRIME & PAINT WALLBOARD BM READY-MIX WHITE PRIOR TO INSTALLING.

CEILING GRID BY "ARMSTRONG", 15/16" PRELUDE, U.O.N.
NOTE: ALL CEILING TILE & GRID TO BE STANDARD WHITE UNLESS OTHERWISE NOTED.

RUBBER BASE TYPES

TYPE RCB1: 4" RUBBER COVE BASE BY "JOHNSONITE"
COLOR: TO BE SELECTED BY ARCHITECT

TYPE RCB2: 4" RUBBER COVE BASE BY "JOHNSONITE"
COLOR: TO BE SELECTED BY ARCHITECT

TYPE RCB3: 4" RUBBER COVE BASE BY "JOHNSONITE"
COLOR: BLACK

PORCELAIN/CERAMIC TILE TYPES

FLOORS:

TYPE PFT1: 12" X 12" PORCELAIN FLOOR TILE BY DALTILE
STYLE: VOLUME 1.0
COLOR: VAPOR VL63
(BATHROOM FLOOR TILE)

WALLS:

TYPE CWT1: 8"X24" CERAMIC WALL TILE BY DALTILE
STYLE: COLOR WHEEL LINEAR
COLOR: MATTE BISCUIT
(BATHROOM WALL FIELD TILE)

TYPE CWT2: 4"X12" CERAMIC WALL TILE BY FIRECLAY TILE
COLLECTION: ORIGINAL CERAMIC
COLOR: TOMATO RED
(BATHROOM WALL ACCENT TILE)

SCHLUTER TRANSITIONS:

TYPE SCH1: PROVIDE SCHLUTER DILEX-AHK SANITARY COVE TRANSITION, INCLUDE ALL INSIDE CORNERS, CONNECTORS AND END CAPS AS REQUIRED BY LAYOUT. ANODIZED ALUMINUM FINISH
(COVE BASE)

TYPE SCH2: PROVIDE SCHLUTER FINEC AT OUTSIDE CORNERS AS REQUIRED BY LAYOUT. ANODIZED ALUMINUM FINISH

GROUT TYPES

FLOOR GROUT: AS MANUFACTURED BY LATICRETE OR MAPEI, SANDED,
COLOR: TO BE SELECTED BY ARCHITECT

WALL GROUT: AS MANUFACTURED BY LATICRETE OR MAPEI, UNSANDED,
COLOR: TO BE SELECTED BY ARCHITECT

ABBREVIATIONS

ACT	ACOUSTIC CEILING TILE
CTILE	CARPET TILE
PFT	PORCELIAN FLOOR TILE
CMU	CONCRETE MASONRY UNIT
CTCB	CERAMIC TILE COVE BASE
CWT	CERAMIC WALL TILE
EPOXY	EPOXY TERRAZZO
VET	VINYL ENHANCED TILE
LVT	LUXURY VINYL TILE
GYP	GYPSUM BOARD
RUB	RUBBER FLOOR TILE
RCB	RUBBER COVE BASE
TERR	TERRAZZO / TERRAZZO BASE
VCT	VINYL COMPOSITION TILE

FINISH NOTES

1. ALL FINISHED TYPES (STYLE/COLOR/PATTERN) SHALL BE OFF THE STANDARD OF QUALITY INDICATED BY THE PROJECT MANUAL. FINAL STYLE / COLOR / PATTERN TO BE SELECTED BY ARCHITECT.
2. ALL C.M.U. SURFACES SHALL BE PRIMED WITH INTERIOR & EXTERIOR BLOCK FILLER M88 INDUSTRIAL MAINTENANCE BY BENJAMIN MOORE PRIOR TO FINISH PAINT APPLICATION.
3. ALL NEW BRICK WALLS ARE TO REMAIN NATURAL, CLEANED AND SEALED, IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
4. CONTRACTOR SHALL PREP, PRIME AND PAINT ALL SHEET METAL PIPE ENCLOSURES (INSTALLED BY M.C.) COLOR AS SELECTED BY ARCHITECT.
5. BEFORE PAINTING, CONCRETE SURFACES MUST CURE 30 DAYS, BLOCK AND PLASTER SURFACES MUST CURE FOR 30 DAYS.
6. REFER TO REFLECTED CEILING PLANS AND FINISH FLOOR PLANS FOR ADDITIONAL INFORMATION.
7. ALL INTERIOR FINISHES IN CORRIDOR SHALL BE 'CLASS - A' RATED.
8. PATCH, REPAIR AND FINISH CEILING, WALLS, AND FLOOR AT POINTS OF DEMOLITION TO MATCH EXISTING. EXISTING FINISHES TO REMAIN.
9. SHOULD ANY FINISH MATERIALS BE DISCONTINUED BY MANUFACTURER, THE CONTRACTOR MUST REPLACE WITH CLOSEST MATCH AT NO ADDITIONAL COST, AND SUBMIT TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
10. AT ROOMS HAVING EXISTING FLOOR TILE TO BE REMOVED AND / OR ABATED, CONTRACTOR SHALL PROVIDE AND INSTALL FLOOR PATCH (PLANI/PATCH PLUS) BY 'MAPEI' OR ARCHITECT APPROVED EQUAL OVER ENTIRE EXISTING SUBSTRATE AND / OR CONCRETE SLAB TO PROVIDE A FLOOR SURFACE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND AS SPECIFIED FOR INSTALLATION OF FINISH FLOORING AS SPECIFIED ON FINISH SCHEDULE.
11. HOLLOW METAL DOOR FRAMES, SIDE LIGHTS AND WINDOW FRAMES SHALL BE PREPPED AND PAINTED AS PER PAINTING SPECIFICATION 099000. (ALL COLORS AS SELECTED BY ARCHITECT.)
12. CONTRACTOR SHALL PREP, PRIME AND PAINT SHEETROCK CEILINGS UNLESS OTHERWISE NOTED.
13. REFER TO FINISH FLOOR PLANS FOR TILE PATTERNS - THE TILE PATTERNS MAY NOT REPRESENT THE FINAL PATTERNS TO BE DESIGNED, INSTALLED AND TURNED OVER TO OWNER. THE BID SHALL BE BASED ON THE TILE MIX AND PERCENTAGES AS INDICATED IN THE PROJECT MANUAL.
14. ALL FINISHES SHALL BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.
15. REFER TO REFLECTED CEILING PLANS, TOILET ROOM TILE PLANS AND FINISHED FLOOR PLANS FOR ADDITIONAL FINISH INFORMATION.
16. NEW TOILET AND URINAL PARTITIONS SHALL BE 1" THICK HDPE AS MANUFACTURED BY SCRANTON, ASI GLOBAL PARTITIONS, OR APPROVED EQUAL. (COLOR AND FINISH TO BE SELECTED BY ARCHITECT).

GYPSUM BOARD FINISHING

1. GENERAL CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF GYPSUM ASSOCIATION TRADE PUBLICATION GA-214-96 'RECOMMENDED LEVELS OF GYPSUM BOARD FINISH' AND SPECIFICATION SECTION 092900.

A. LEVEL 0 - FOR USE IN TEMPORARY CONSTRUCTION, OR WHERE FINAL FINISH/DECORATION HAS NOT BEEN DETERMINED.

B. LEVEL 1 - FOR USE AT PLENUM AREAS, ABOVE CEILING, IN ATTICS & IN AREAS WHERE THE ASSEMBLY WOULD GENERALLY BE CONCEALED OR IN BUILDING CORRIDORS & OTHER AREAS NOT NORMALLY OPEN TO THE PUBLIC VIEW.

C. LEVEL 2 - FOR USE AT LOCATIONS WHERE WATER-RESISTANT GYPSUM BACKING BOARD IS INSTALLED AS A TILE SUBSTRATE AND FOR USE IN GARAGES, WAREHOUSE STORAGE OR OTHER SIMILAR AREAS WHERE SURFACE APPEARANCES ARE NOT OF PRIMARY CONCERN.

D. LEVEL 3 - FOR USE IN APPEARANCE AREAS THAT ARE TO RECEIVE HEAVY OR MEDIUM TEXTURE FINISHES BEFORE FINAL PAINTING, OR WHERE HEAVY - GRADE WALL COVERINGS ARE TO BE APPLIED AS THE FINAL DECORATION.

E. LEVEL 4 - FOR USE WHERE LIGHT TEXTURE OR WALL COVERINGS ARE TO BE APPLIED, OR WHERE ECONOMY IS OF THE ARCHITECT'S CONCERN.

F. LEVEL 5 - FOR USE WHERE GLOSS, SEMI-GLOSS, ENAMEL OR NON-TEXTURED FLAT PAINTS ARE SPECIFIED, OR WHERE SEVERE LIGHTING CONDITIONS OCCUR (IN THE OPTION OF THE ARCHITECT.)

NOTES

1. GENERAL CONTRACTOR SHALL PATCH ALL AREAS OF FLOOR DAMAGED BY THE REMOVAL OF MASTIC.
2. GENERAL CONTRACTOR SHALL FLASH PATCH ALL FLOORS IN THEIR ENTIRETY WHERE MASTIC REMOVAL HAS OCCURRED WITH (PLANI/PATCH PLUS) BY 'MAPEI' OR ARCHITECT APPROVED EQUAL.
3. GENERAL CONTRACTOR SHALL PERFORM A BOND TEST IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. PRIOR TO INSTALLATION OF NEW FLOORING.
4. PROVIDE NEW MARBLE SADDLE AT ALL TOILET ROOM DOORS. PROVIDE BEVELED SADDLE TO MEET ADA REQUIREMENTS.
5. ALL NEW V.C.T. FLOORING TO BE INSTALLED THROUGHOUT ENTIRE FLOOR AREA AS SHOWN UNLESS OTHERWISE NOTED.

WINDOW TREATMENTS

WS1: DRAPER CLUTCH OPERATED FLEXSHADE,
PHIFER SHEARWEAVE PW 2500, 1% OPEN
COLOR: AS SELECTED BY ARCHITECT
(ALL EXTERIOR WINDOWS IN WORK SCOPE)

NOTE: G.C. SHALL PROVIDE AND INSTALL NEW WINDOW TREATMENTS FOR ALL NEW AND EXISTING AREAS OF WORK EXCEPT AS NOTED BELOW:

NEW WINDOW TREATMENTS SHALL NOT BE REQUIRED AT THE FOLLOWING LOCATIONS: VESTIBULES, CORRIDORS, STAIRS, BATHROOMS, BOILER ROOMS, STORAGE.

PROVIDE (1) UNIT PER WINDOW

PRIVACY CURTAIN

7000 SERIES CEILING CURTAIN TRACK BY HEALTH CARE CURTAINS 855-563-3364 OR EQUAL AS APPROVED BY ARCHITECT. PROVIDE 3 CARRIERS PER LINEAR FOOT OF TRACK, END STOP, AND END STOP WITH PULLOUT(S) FOR REMOVAL AND CLEANING. PROVIDE ALL OTHER REQUIRED ACCESSORIES FOR COMPLETE TRACK SYSTEM AND INSTALLATION.

FABRIC SHALL BE CLASS A RATED WITH ANTIMICROBIAL COATING - DESIGNTEX. PRIVACY TEXTILE STYLE: COMPOSE 8096 OR AS SELECTED BY ARCHITECT - (ALLOW $40/SY) COLOR AS SELECTED BY ARCHITECT

ATTIC STOCK INFORMATION

VET:	(1) ONE BOX FOR EACH (50) BOXES OF PRODUCT INSTALLED
ACT:	NOT LESS THAN 1% OF TOTAL PRODUCT INSTALLED
RUBBER:	NOT LESS THAN 1% OF TOTAL PRODUCT INSTALLED
PAINT:	10% OF EACH COLOR, TYPE AND GLOSS OF PAINT USED
PFT:	NOT LESS THAN 1% OF TOTAL PRODUCT INSTALLED.
CPT:	(1) ONE BOX FOR EACH (50) BOXES OF PRODUCT INSTALLED

REV.	DATE	ITEM
1	03/12/2025	BID ADDENDUM No. 3

NOTICE

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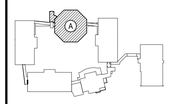

KEY PLAN
NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

PROJECT

FINISH SCHEDULE and DETAILS

DWG TITLE

DRAWING BY: ---
CHECK BY: ---

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LANDSCAPE ARCHITECTS
ENGINEERS

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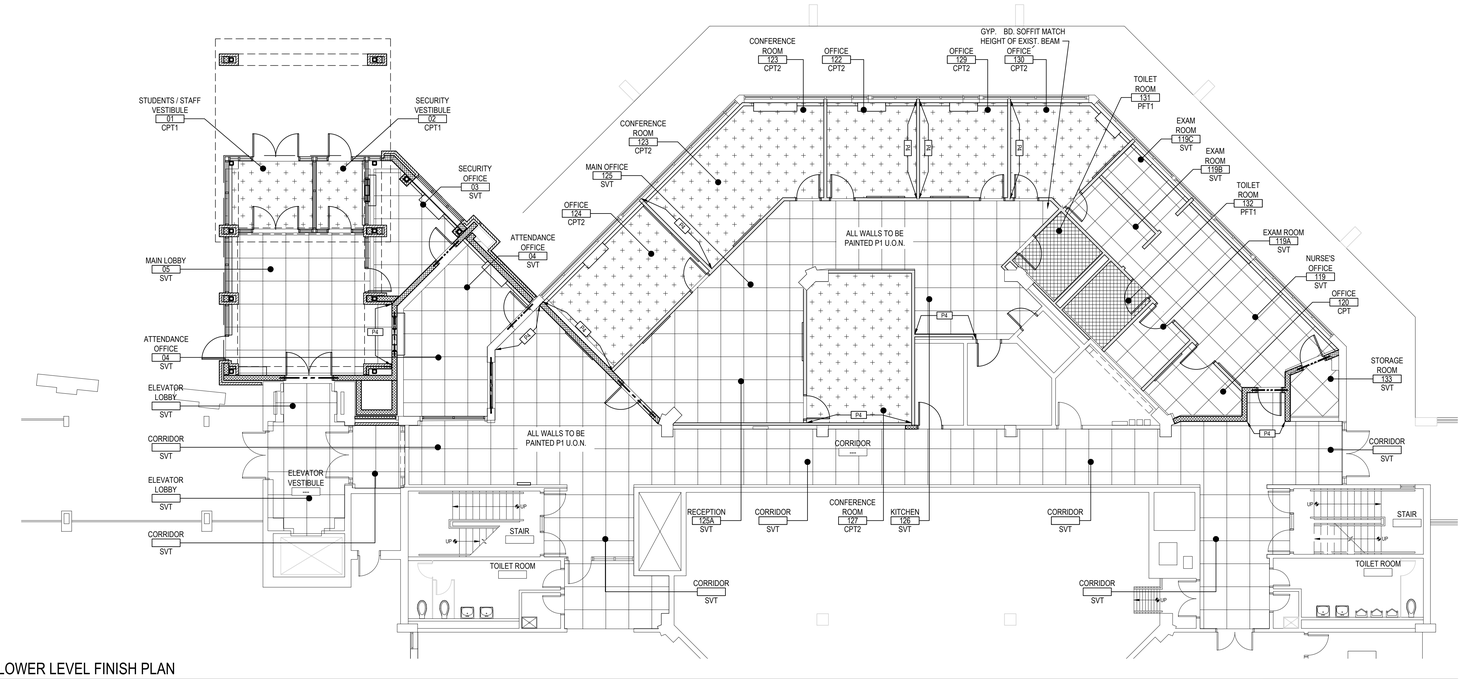
SED No. 66-01-02-06-0-007-013
DISTRICT BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT PHASE 2 - BOND IMPROVEMENTS
DWG TITLE FINISH SCHEDULE and DETAILS
SCALE: AS NOTED
DATE: APRIL 2024
BID PICK-UP: FEBRUARY 24, 2025
FILE No: 23-131b FLMS

A9.00

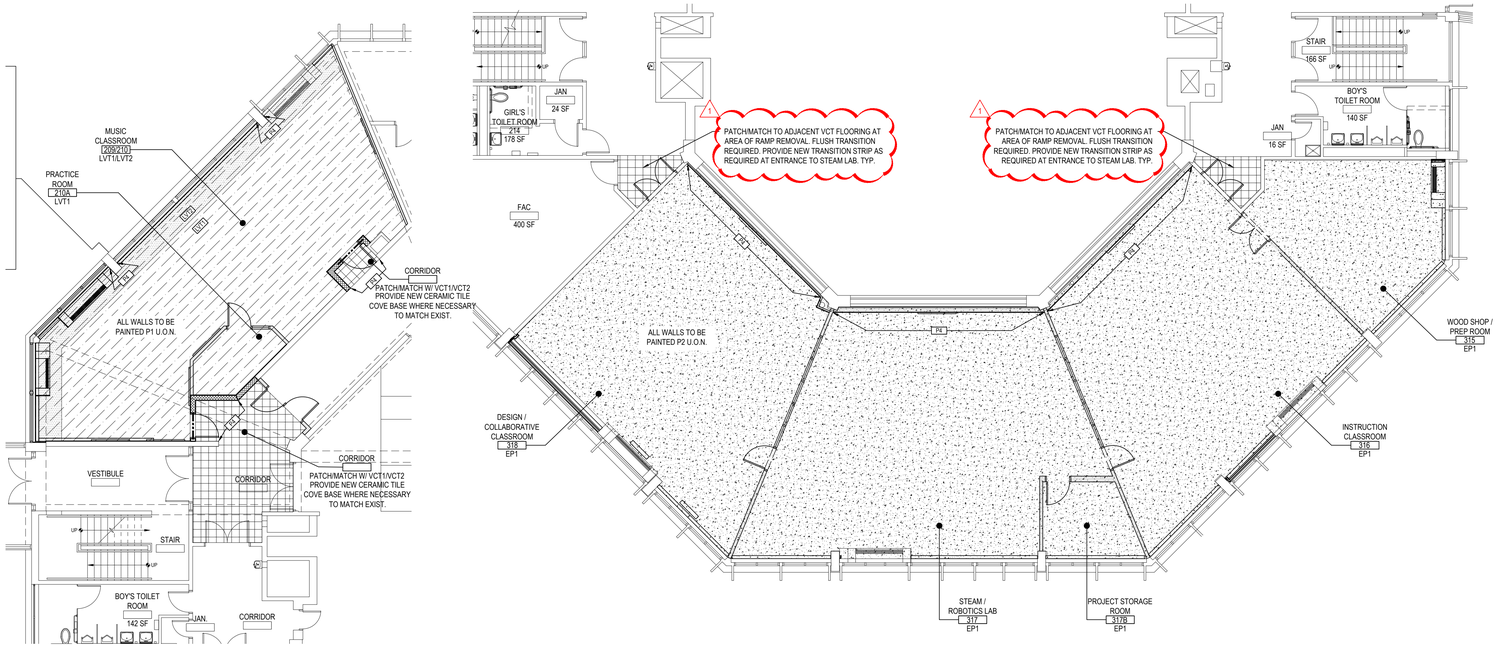
SYMBOLS LEGEND

SYMBOL	DESCRIPTION
	CARPET TILE
	VINYL COMPOSITE TILE
	SOLID VINYL TILE
	LUXURY VINYL TILE
	PORCELAIN FLOOR TILE
	PAINTED CONCRETE
	EPOXY



LOWER LEVEL FINISH PLAN

SCALE: 1/8" = 1'-0"

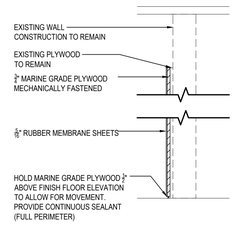


FIRST FLOOR FINISH PLAN

SCALE: 1/8" = 1'-0"

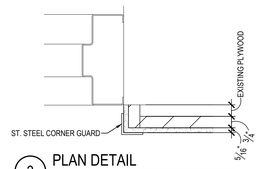
SECOND FLOOR FINISH PLAN

SCALE: 1/8" = 1'-0"



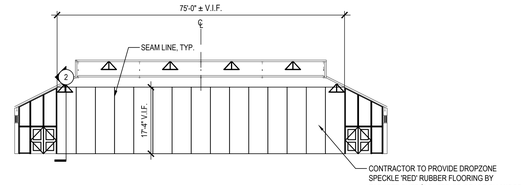
2 SECTION DETAIL

NOTE: ALTERNATE No. GC-2 SCALE: 3/4" = 1'-0"



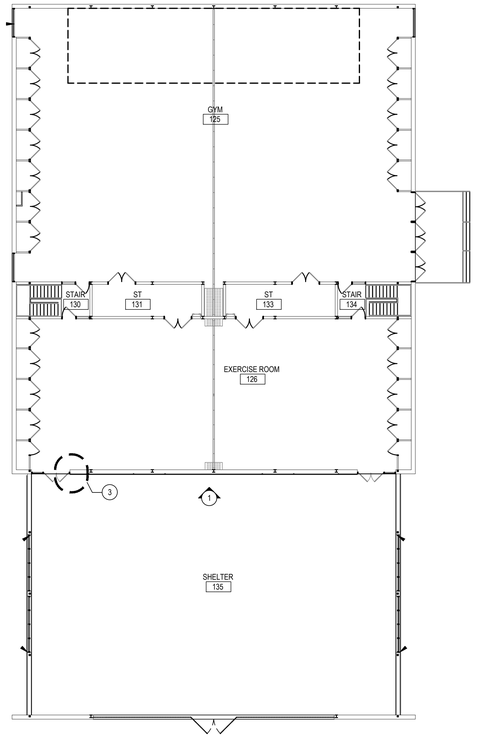
3 PLAN DETAIL

NOTE: ALTERNATE No. GC-2 SCALE: 3" = 1'-0"



1 INTERIOR ELEVATION

NOTE: ALTERNATE No. GC-2 SCALE: 1/16" = 1'-0"



FOUTH FLOOR - KEY PLAN

NOTE: ALL WORK SCOPE WITHIN THIS COUNDARY SHALL BE PART OF ALTERNATE No. GC-2 SCALE: 1/16" = 1'-0"

REV.	DATE	ITEM
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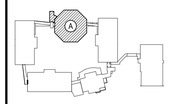

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

FINISH FLOOR PLANS

PROJECT

DWG TITLE

DRAWING BY: P.J.H.

CHECK BY: P.J.H.

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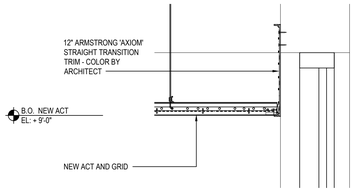
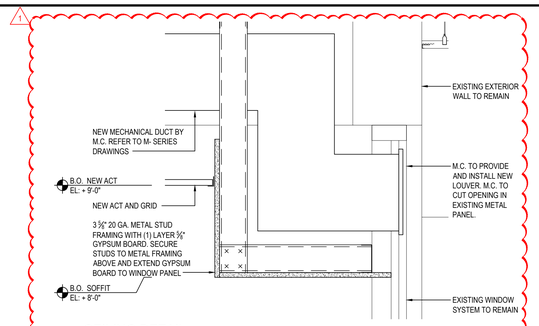
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	FINISH FLOOR PLANS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

A9.01



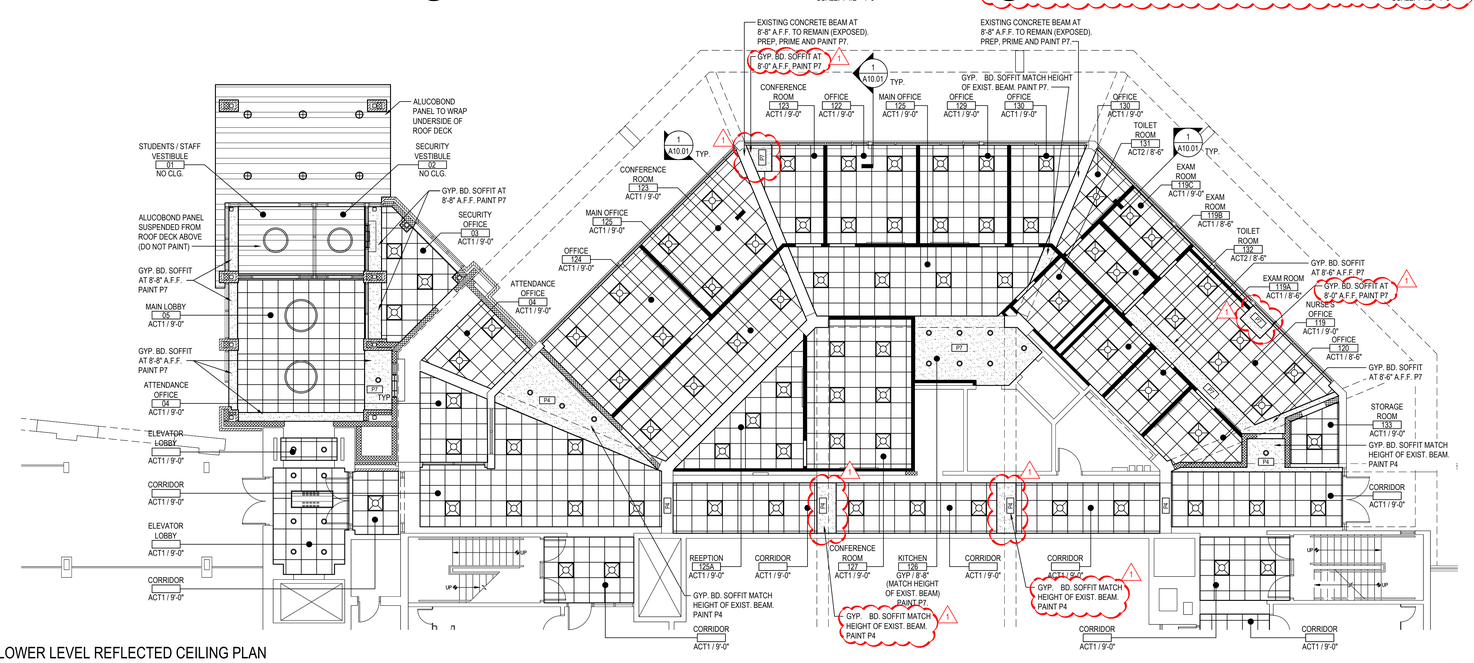
1 CEILING DETAIL

SCALE: 1-1/2"= 1'-0"



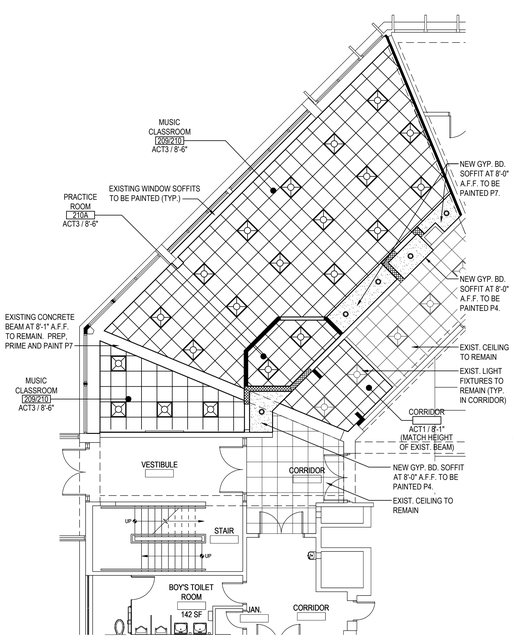
2 CEILING DETAIL

SCALE: 1-1/2"= 1'-0"



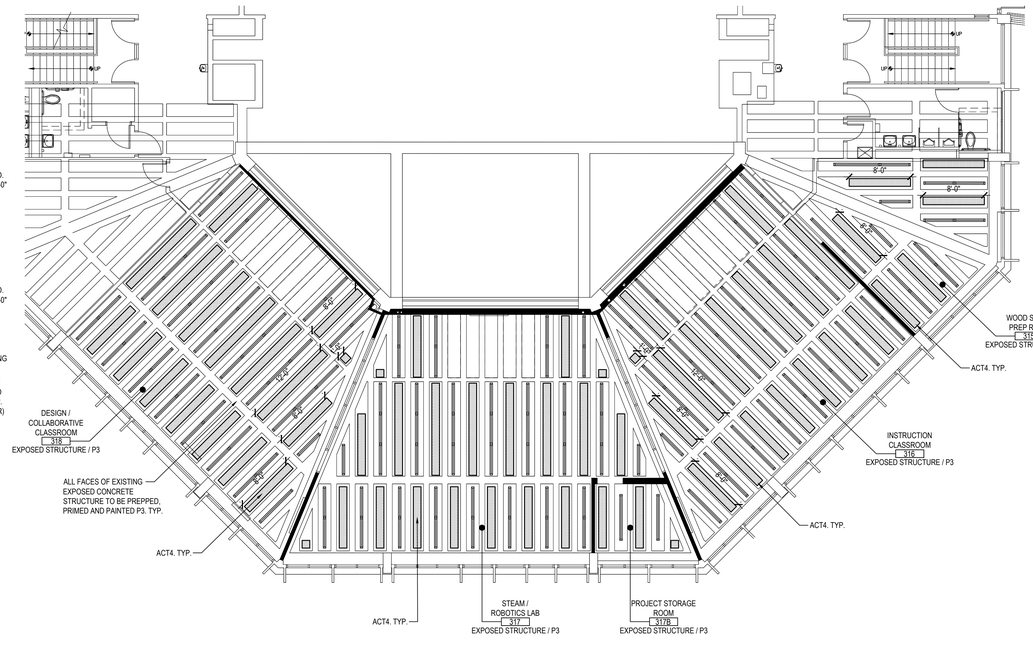
LOWER LEVEL REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"



FIRST FLOOR REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"



SECOND FLOOR REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

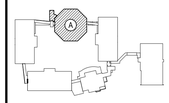
SYMBOLS LEGEND

SYMBOL	DESCRIPTION
ROOM NAME XXX CLG. HEIGHT / TYPE	ROOM TAG, CEILING TILE TYPE AND FINISH CEILING ELEVATION (A.F.F.)
NO CLG.	OPEN TO STRUCTURE AND DECK ABOVE (PAINT)
	SUSPENDED ACOUSTICAL CEILING TILE AND GRID
	GYPSUM BOARD SOFFIT OVER METAL FRAMING. REFER TO DETAIL, THIS SHEET. TAPE, SPACKLE AND PAINT.
	RECESSED OR SURFACE MOUNTED LIGHT FIXTURE BY E.C. REFER TO E-SERIES DRAWINGS.
	EXIT SIGN BY E.C. REFER TO E-SERIES DRAWINGS.
	CEILING MOUNTED SPEAKER BY E.C. REFER TO E-SERIES DRAWINGS.
	SMOKE / HEAT DETECTORS BY E.C. REFER TO E-SERIES DRAWINGS.
OS	OCCUPANCY SENSOR BY E.C. REFER TO E-SERIES DRAWINGS.
	CEILING GRILLE / REGISTER BY M.C. REFER TO M-SERIES DRAWINGS.
	EXTERIOR WALL MOUNTED LIGHT FIXTURE BY E.C. REFER TO E-SERIES DRAWINGS.
	CEILING MOUNTED CABINET HEATER BY M.C. REFER TO M-SERIES DRAWINGS.
1	REVISION CLOUD AND KEYED DESIGNATION. REFER TO DRAWING TITLEBLOCK FOR ADDITIONAL INFORMATION.

TYPICAL REFLECTED CEILING PLAN NOTES

1. CEILING PLANS MAY NOT INDICATE ALL MECHANICAL AND / OR ELECTRICAL CEILING MOUNTED ITEMS. REFER TO M - SERIES AND E - SERIES DRAWINGS FOR ADDITIONAL INFORMATION.
2. CEILING GRID SHALL BE ARRANGED TO BE SPACED EQUALLY IN EACH DIRECTION WITH NO TILE LESS THAN 6" UNLESS OTHERWISE REQUIRED.
3. PROVIDE CEILING EXPANSION JOINT AT ALL NEW TO EXISTING INTERSECTIONS AND WHERE INDICATED ON PLANS.
4. UNLESS OTHERWISE NOTED, ALL SOFFITS AND WINDOW POCKETS SHALL BE 5/8" TYPE 'X' GYP. BOARD OVER 18 GA. COLD FORMED FRAMING AT 16" O.C.
5. ALL AREAS NOTED AS 'OPEN' AND / OR 'NO CEILING (CLG.) SHALL BE PAINTED - INCLUDING BUT NOT LIMITED TO DECK, STRUCTURE, DUCTWORK, ETC.)
6. ACOUSTICAL CEILINGS SHALL HAVE A FLAME SPREAD OF 25 OR LESS COMPLYING WITH 'ASTM E-84'; SMOKE DEVELOPED RATING OF 50 OR LESS COMPLYING WITH PERFORMANCE REQUIREMENTS AND PHYSICAL CHARACTERISTICS OF THE SPECIFIED CEILINGS AS INDICATED IN THE REFLECTED CEILING PLAN. (ASTM E-1264)
7. ACOUSTICAL CEILINGS SHALL HAVE A MINIMUM NOISE REDUCTION COEFFICIENT (NRC) RATING OF 0.65.

REV.	DATE	ITEM
1	03/12/2025	BID ADDENDUM No. 3



KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

PROJECT

REFLECTED CEILING PLANS

DWG TITLE

DRAWING BY: P.J.H.
CHECK BY: P.J.H.

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SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	REFLECTED CEILING PLANS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

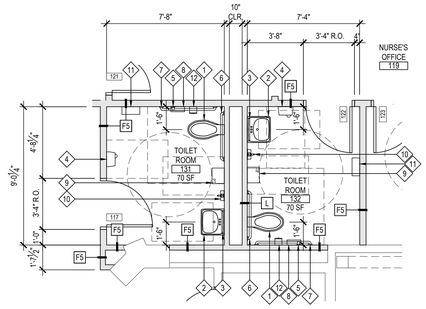
A10.01

TOILET FIXTURE MOUNTING HEIGHTS

1. AT ALL STUDENT USE TOILET FACILITIES, ALL TOILET FIXTURES, URINALS, LAVATORIES, GRAB BARS, ACCESSORIES, ETC. SHALL BE MOUNTED EITHER AT ADULT HEIGHT OR CHILD HEIGHT AS INDICATED ON THE PLANS AND 'TYPICAL ADA PLUMBING ELEMENTS MOUNTING STANDARDS.'
2. AT ALL ADULT USE TOILET FACILITIES, ALL TOILET FIXTURES, URINALS, LAVATORIES, GRAB BARS, ACCESSORIES, ETC. SHALL BE MOUNTED AT ADULT HEIGHT AS INDICATED ON THE PLANS AND 'TYPICAL ADA PLUMBING ELEMENTS MOUNTING STANDARDS.'
3. THE HEIGHT OF ALL GRAB BAR MUST BE THE SAME WITHIN EACH STALL / ROOM.
4. THE CHILD MOUNTING HEIGHT LIMITS APPLY FOR ADA AND NON-ADA LOCATIONS.

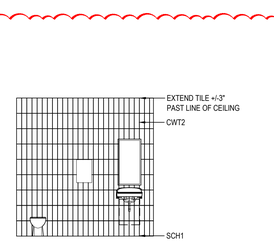
TOILET ROOM KEY NOTES

1. P.C. TO FURNISH AND INSTALL NEW ADA ACCESSIBLE WATER CLOSET AND FLUSHOMETER.
2. P.C. TO FURNISH AND INSTALL NEW ADA ACCESSIBLE LAVATORY, FAUCET AND LAV SHIELD.
3. G.C. TO FURNISH AND INSTALL NEW MIRROR WITH SHELF.
4. G.C. TO PROVIDE AND INSTALL NEW ADA COMPLIANT SURFACE MOUNTED HAND DRYER. E.C. TO CONNECT TO NEW OR EXISTING POWER.
5. G.C. TO FURNISH AND INSTALL NEW VERTICAL 18" GRAB BAR.
6. G.C. TO FURNISH AND INSTALL NEW HORIZONTAL 36" GRAB BAR.
7. G.C. TO FURNISH AND INSTALL NEW HORIZONTAL 42" GRAB BAR.
8. G.C. TO FURNISH AND INSTALL NEW TOILET PAPER DISPENSER.
9. G.C. TO FURNISH AND INSTALL NEW ROLL PAPER TOWEL DISPENSER.
10. G.C. TO FURNISH AND INSTALL NEW WALL MOUNTED SOAP DISPENSER.
11. G.C. TO FURNISH AND INSTALL NEW SANITARY NAPKIN DISPENSER.
12. G.C. TO FURNISH AND INSTALL NEW SANITARY NAPKIN WASTE RECEPTACLE.



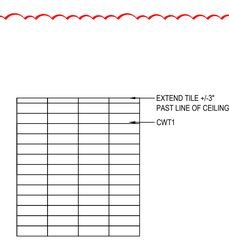
1 ENLARGED TOILET ROOM PLAN

NOTE: USE ADULT HEIGHT FIXTURES. SCALE: 1/4" = 1'-0"



TYP. TOIL. RM. WET WALL CERAMIC TILE ELEVATION

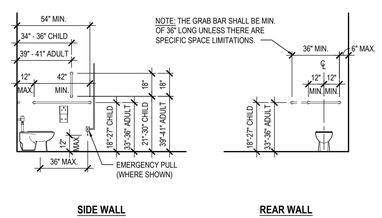
ON WET WALL ONLY SCALE: 1/4" = 1'-0"



TYP. TOIL. RM. CERAMIC WALL TILE ELEVATION

SCALE: 1/4" = 1'-0"

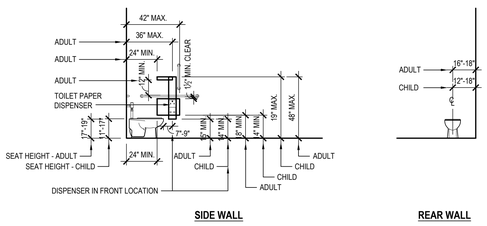
ADA COMPLIANT PLUMBING ELEMENTS MOUNTING STANDARDS



SIDE WALL REAR WALL

WATER CLOSET GRAB BAR MOUNTING DIMENSIONS

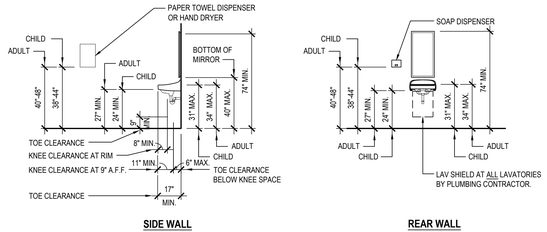
SCALE: 1/4" = 1'-0"



SIDE WALL REAR WALL

WATER CLOSET SEAT HEIGHT and PROTRUDING DISPENSER OUTLET LOCATIONS

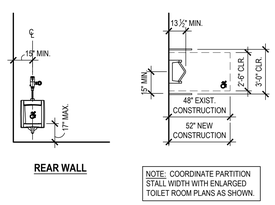
SCALE: 1/4" = 1'-0"



SIDE WALL REAR WALL

LAVATORY ACCESSIBLE HEIGHTS and CLEARANCES

SCALE: 1/4" = 1'-0"

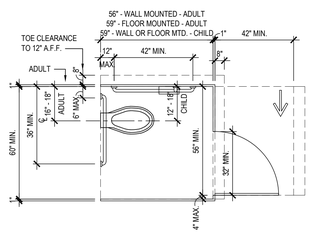


REAR WALL

NOTE: COORDINATE PARTITION STALL WIDTH WITH ENLARGED TOILET ROOM PLANS AS SHOWN.

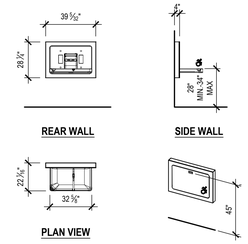
URINAL - ACCESSIBLE DIMENSIONS

SCALE: 1/4" = 1'-0"



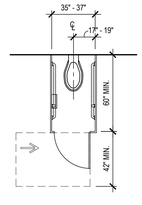
ACCESSIBLE WHEELCHAIR STALL DIMENSIONS

SCALE: 1/4"= 1'-0"



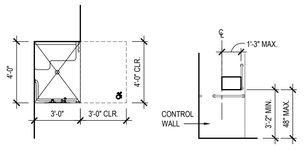
DIAPER CHANGING STATION DIMENSIONS

SCALE: 1/4" = 1'-0"



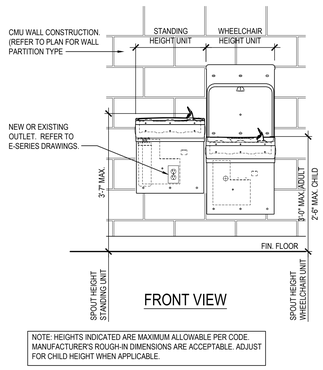
AMBULATORY STALL DIMENSIONS

SCALE: 1/4" = 1'-0"



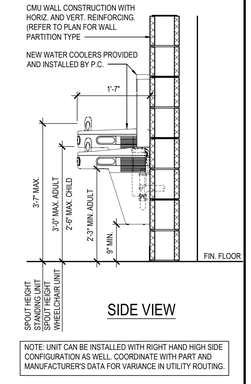
ACCESSIBLE SHOWER STALL DIMENSIONS

SCALE: 1/4" = 1'-0"



FRONT VIEW

NOTE: HEIGHTS INDICATED ARE MAXIMUM ALLOWABLE PER CODE. MANUFACTURER'S ROUGH-IN DIMENSIONS ARE ACCEPTABLE. ADJUST FOR CHILD HEIGHT WHEN APPLICABLE.



SIDE VIEW

NOTE: UNIT CAN BE INSTALLED WITH RIGHT HAND HIGH SIDE CONFIGURATION AS WELL. COORDINATE WITH PART AND MANUFACTURER'S DATA FOR VARIANCE IN UTILITY ROUTING.

ADA COMPLIANT DRINKING FOUNTAIN/BOTTLE FILL STATION DETAIL

"EZH20" BOTTLE FILLING STATION WITH FILTERED BI-LEVEL LZ COOLER BY 'ELKAY' OR APPROVED EQUAL. SHOWN WITH LEFT HAND HIGH SIDE CONFIGURATION. SCALE: 3/4"= 1'-0"

REV.	DATE	ITEM
1	03/12/2025	BID ADDENDUM No. 3

NOTICE

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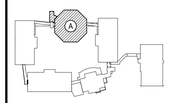

KEY PLAN

NOT TO SCALE

PROJECT: BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE: ENLARGED TOILET ROOM PLANS and DETAILS

DRAWING BY: E.M.
CHECK BY: P.J.H.

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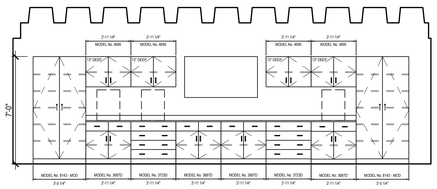
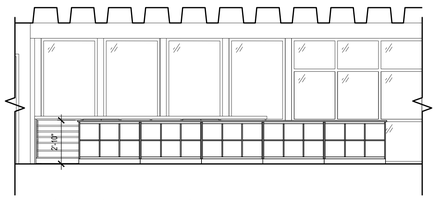
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	ENLARGED TOILET ROOM PLANS and DETAILS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

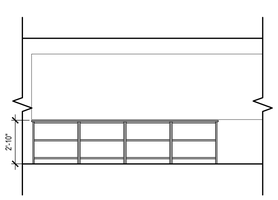
A11.01



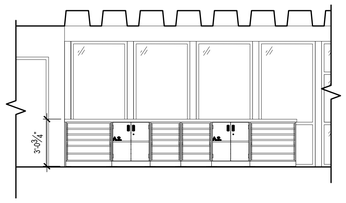
1 CASEWORK ELEVATION
at STEAM/ROBOTICS ROOM No. 317 SCALE: 1/4" = 1'-0"



2 CASEWORK ELEVATION
at STEAM/ROBOTICS ROOM No. 317 SCALE: 1/4" = 1'-0"



3 CASEWORK ELEVATION
at STEAM/ROBOTICS ROOM No. 317 SCALE: 1/4" = 1'-0"



4 CASEWORK ELEVATION
at STEAM/ROBOTICS ROOM No. 317 SCALE: 1/4" = 1'-0"

ART/STEAM/FACS/NURSE CASEWORK

ICI SCIENTIFIC OR EQUAL
SPECIES: MAPLE OR OAK - CLEAR OR STAIN AS SELECTED BY ARCHITECT
WITH 1" PHENOLIC RESIN TOPS - WILSONART CHEMSURF OR EQUAL

CLASSROOM CASEWORK

ICI SCIENTIFIC OR EQUAL
SPECIES: MAPLE OR OAK - CLEAR OR STAIN AS SELECTED BY ARCHITECT
WITH 1" PHENOLIC RESIN TOPS - WILSONART CHEMSURF OR EQUAL

COPY ROOM/FACULTY CASEWORK

CASE SYSTEMS OR EQUAL
PLASTIC LAMINATE AS PER SPECIFICATIONS OR AS SELECTED BY ARCHITECT
WITH 1" PLASTIC LAMINATE TOPS

GENERAL FURNITURE NOTE

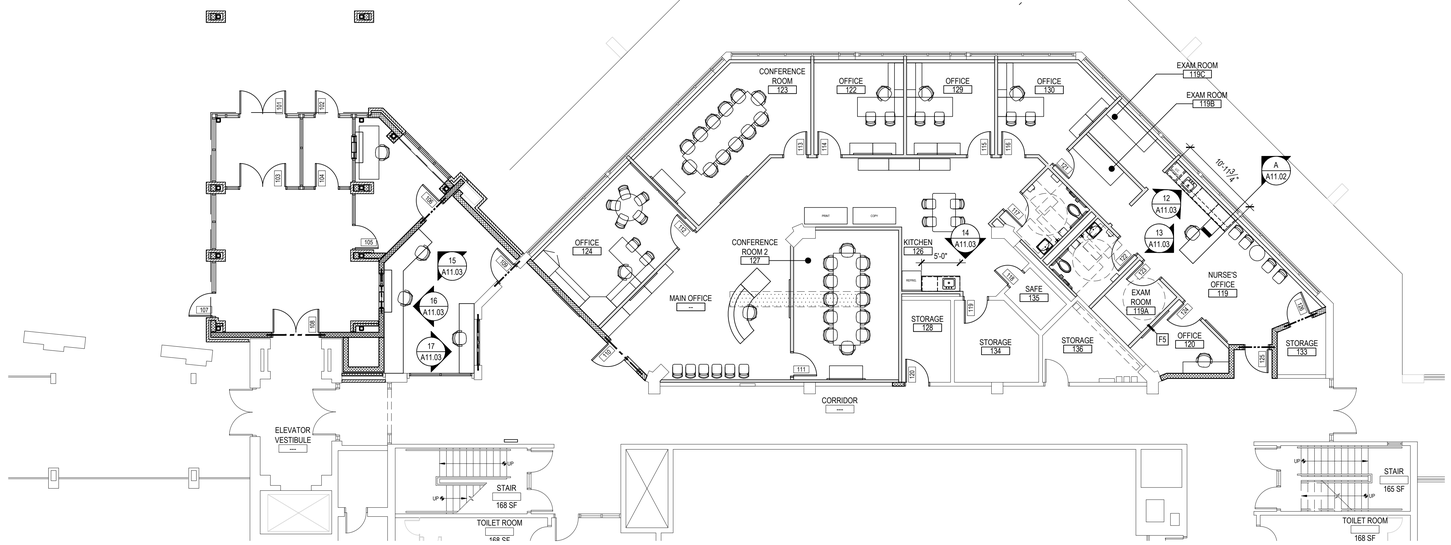
ALL LOOSE FURNISHINGS, CASEWORK AND SHELVING SHALL BE FURNISHED AND INSTALLED UNDER A SEPARATE CONTRACT BY THE OWNER'S CASEWORK CONTRACTOR UNLESS OTHERWISE NOTED AND DETAILED. THIS LAYOUT IS PROVIDED FOR REFERENCE AND GENERAL INFORMATIONAL PURPOSES (ONLY). THE GENERAL CONTRACTOR, CASEWORK CONTRACTOR, ELECTRICAL CONTRACTOR AND PLUMBING/MECHANICAL CONTRACTOR(S) SHALL COORDINATE ROUGH-IN, LOCATIONS, INSTALLATION AND FINAL CONNECTIONS WITH EACH OTHER. INFORMATION SHOWN HEREWITH IS FOR INFORMATIONAL PURPOSES ONLY AND SUBJECT TO CHANGE. SHOP DRAWINGS SHALL BE PROVIDED BY THE ARCHITECT FOR ALL FINAL LOCATIONS.

CASEWORK SCHEDULE

ID	DESCRIPTION	QTY.	SIZE H	SIZE W	SIZE D	COMMENTS
A	WALL CABINET	4	30"	48"	12"	
B	WALL CABINET	1	30"	36"	12"	
C	BASE CABINET	1	34"	36"	24"	
D	BASE CABINET	2	34"	48"	24"	
E	BASE CABINET	2	34"	36"	24"	PROVIDE ADA SINK

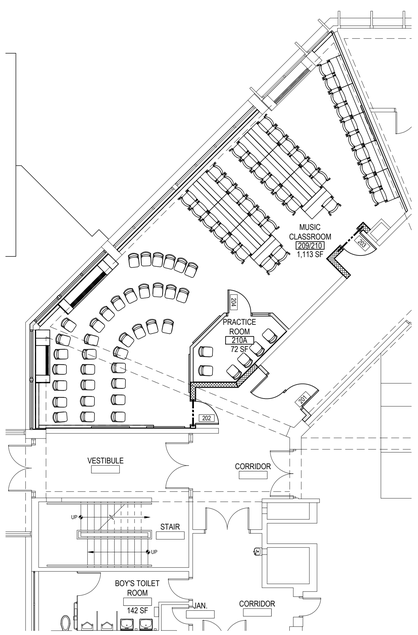
PLASTIC LAMINATE CASEWORK NOTES

1. PLASTIC LAMINATE CASEWORK SHALL BE MANUFACTURED BY 'CASE SYSTEMS' OR ARCHITECT APPROVED EQUAL AND SHALL MATCH THE CABINET CONFIGURATIONS SHOWN IN THE CASEWORK PLANS AND ELEVATIONS.
2. ALL PLASTIC LAMINATE CASEWORK / COUNTERS SHALL BE PROVIDED AND INSTALLED BY CASEWORK CONTRACTOR UNLESS OTHERWISE NOTED.
4. GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL CONTINUOUS BLOCKING BETWEEN COLD FORMED FRAMING AT ALL CASEWORK LOCATIONS.
5. REFER TO SPECIFICATIONS FOR TYPICAL FRAME, DRAWER, DOOR AND SHELF CONSTRUCTION FOR ALL CASEWORK.
6. UNLESS OTHERWISE NOTED OR SPECIFIED, FINISH HARDWARE FOR ALL CABINETS SHALL BE AS FOLLOWS:
   - ALL HINGES SHALL BE CONCEALED.
   - ALL DOOR AND DRAWER PULLS SHALL BE WIRE TYPE.
   - ALL DOOR CATCHES SHALL BE ADJUSTABLE SPRING ACTUATED NYLON ROLLER.
   - ALL DRAWER SLIDES SHALL BE FULL EXTENSION TYPE.
   - ALL SHELF CLIPS SHALL BE PLASTIC TWIN PIN TYPE THROUGHOUT.
7. ALL COUNTER TOPS SHALL BE PLASTIC LAMINATE UNLESS OTHERWISE INDICATED. COLOR AND FINISH AS SELECTED BY ARCHITECT.
8. ALL BASE CABINETS TO BE INSTALLED ALONG A WINDOW WALL SHALL BE PROVIDED WITH TOE SPACE GRILLS. ALL SAID BASE CABINETS SHALL ALSO BE INSTALLED WITH 3" WIDE ALUMINUM GRILLS AT TOP OF CABINET TO BE CUT INTO COUNTER (OR HORIZONTAL FILLER AT TALL CABINETS). GRILLS SHALL BE CENTERED BEHIND EACH CABINET AND TOTAL LENGTHS SHALL BE 6" LESS THAN SAID CABINET WIDTH. (IE: 47" CABINET YIELDS 41" GRILL).
9. FURNISH AND INSTALL FILLER PANELS, WHERE NECESSARY, TO PROVIDE A COMPLETE & FINISHED INSTALLATION. FILLER PANELS SHALL BE USED TO FORM CONTINUOUS CABINETRY BETWEEN ALL UNITS AND / OR ADJACENT SURFACES.
10. ALL DRAWERS AND DOORS SHALL BE SUPPLIED WITH SPECIFIED LOCKS. ALL CASEWORK IN EACH ROOM SHALL BE KEYED ALIKE, AND EACH ROOM SHALL BE KEYED DIFFERENTLY. UPPER WALL CABINETS IN PREP ROOMS SHALL BE PROVIDED WITH LABEL HOLDERS.
11. REMOVABLE BACK PANELS SHALL BE PROVIDED AT ALL SINK BASE CABINETS. TYPICAL THROUGHOUT. ALL SLOPED KNEE SPACES SHALL BE PROVIDED WITH REMOVABLE PANEL. PROVIDE SECURITY TYPE FASTENERS AT ALL EXPOSED LOCATIONS.
12. DOOR GLASS FOR EITHER TALL CABINETS OR WALL CABINETS SHALL BE ¼" TEMPERED SAFETY GLASS. PROVIDE GLAZING LABEL ON ALL PIECES.
13. PLUMBING CONTRACTOR SHALL PROVIDE AND INSTALL ALL SINKS AND FAUCETS. SINKS SHALL BE DROP-IN TYPE. REFER T P-SERIES DRAWINGS.
14. REFER TO ELECTRICAL AND TECHNOLOGY DRAWINGS FOR ADDITIONAL INFORMATION ON SURFACE MOUNTED OR RECESSED WALL BOXES AND / OR SURFACE RACEWAY.
15. ELECTRICAL CONTRACTOR SHALL COORDINATE MOUNTING LOCATIONS FOR POWER AND DATA MANAGEMENT SYSTEM TO UNDERSIDE OF CASEWORK WHERE REQUIRED. PROVIDE ALL CUTOUTS IN PANELS AS REQUIRED FOR CABLE PASSAGE BETWEEN UNITS.
16. G.C. SHALL SUBMIT SHOP DRAWINGS AND COLOR SAMPLES FOR APPROVAL BY ARCHITECT ACCORDING TO SPECIFICATIONS PRIOR TO FABRICATION.
17. CASEWORK CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH EXISTING FIELD CONDITIONS PRIOR TO FINAL FABRICATION OF ALL CASEWORK AND BUILD TO SUIT.
18. ALL FINAL PLUMBING CONNECTIONS BY P.C. ALL FINAL MECHANICAL CONNECTIONS BY M.C. ALL FINAL ELECTRICAL CONNECTIONS BY E.C.
19. UNLESS OTHERWISE NOTED ALL TACK BOARDS, MARKER BOARDS SHALL BE PROVIDED AND INSTALLED BY G.C. CASEWORK CONTRACTOR SHALL COORDINATE WITH ALL TRADES FOR WALL MOUNTED COMPONENTS WHICH MAY NOT BE SHOWN THESE PLANS OR ELEVATIONS.
20. UNLESS OTHERWISE NOTED ALL SMARTBOARDS AND / OR LCD SCREENS SHALL BE PROVIDED BY THE OWNER, INSTALLED BY THE E.C. CASEWORK CONTRACTOR SHALL COORDINATE WITH ALL TRADES FOR WALL MOUNTED COMPONENTS WHICH MAY NOT BE SHOWN THESE PLANS OR ELEVATIONS.



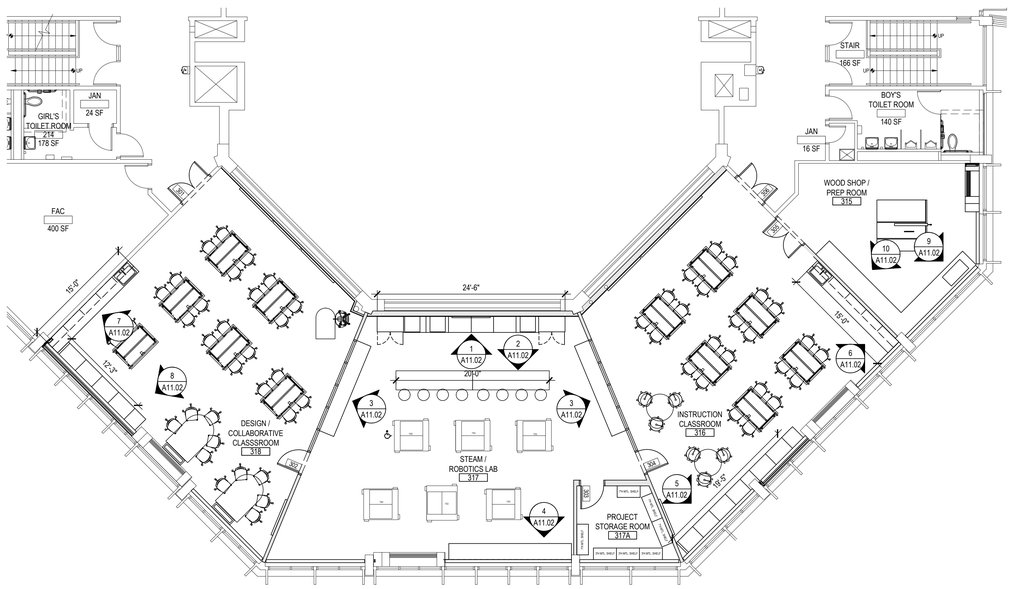
LOWER LEVEL CASEWORK AND FURNITURE PLAN

SCALE: 1/8" = 1'-0"



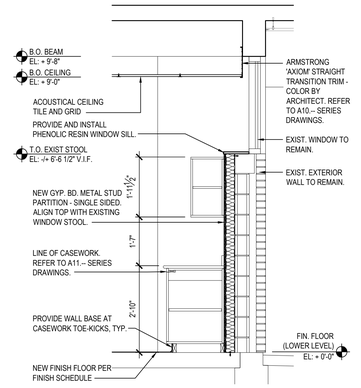
FIRST FLOOR CASEWORK AND FURNITURE PLAN

SCALE: 1/8" = 1'-0"



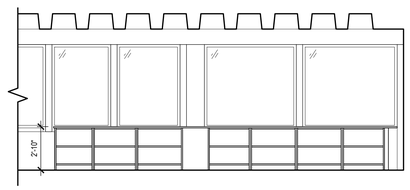
SECOND FLOOR CASEWORK AND FURNITURE PLAN

SCALE: 1/8" = 1'-0"

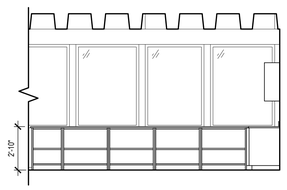


A SECTION DETAIL

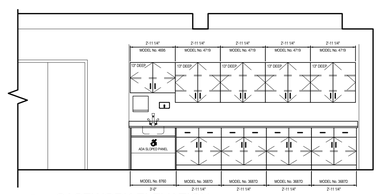
SCALE: 1/2" = 1'-0"



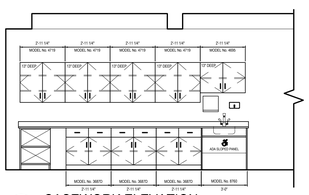
5 CASEWORK ELEVATION
at INSTRUCTION CLASSROOM No. 316 SCALE: 1/4" = 1'-0"



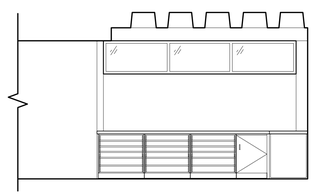
8 CASEWORK ELEVATION
at DESIGN / COLLABORATIVE CLASSSROOM No. 318 SCALE: 1/4" = 1'-0"



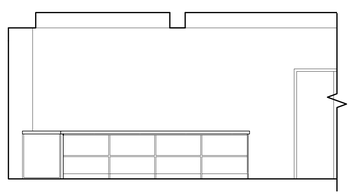
6 CASEWORK ELEVATION
at INSTRUCTION CLASSROOM No. 316 SCALE: 1/4" = 1'-0"



7 CASEWORK ELEVATION
at DESIGN / COLLABORATIVE CLASSSROOM No. 318 SCALE: 1/4" = 1'-0"



9 CASEWORK ELEVATION
at WOODSHOP/PREP ROOM No. 315 SCALE: 1/4" = 1'-0"



10 CASEWORK ELEVATION
at WOODSHOP/PREP ROOM No. 315 SCALE: 1/4" = 1'-0"

REV.	DATE	ITEM

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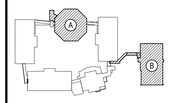

KEY PLAN
NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

CASEWORK PLANS

PROJECT

DWG TITLE

DRAWING BY: A.A.
CHECK BY: P.J.H.

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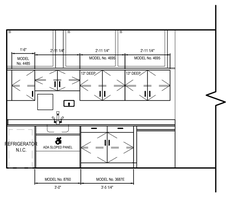
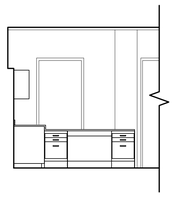
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	CASEWORK PLANS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

A11.02



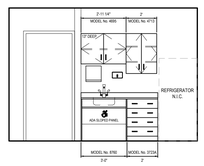
12 CASEWORK ELEVATION

at NURSE'S OFFICE No. 119 SCALE: 1/4" = 1'-0"



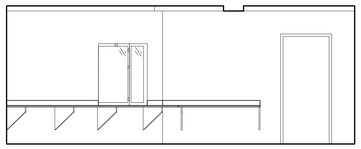
13 CASEWORK ELEVATION

at NURSE'S OFFICE No. 119 SCALE: 1/4" = 1'-0"



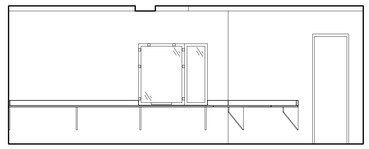
14 CASEWORK ELEVATION

at KITCHEN No. 126 SCALE: 1/4" = 1'-0"



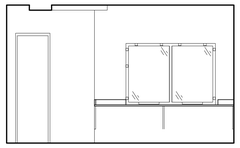
15 CASEWORK ELEVATION

at ATTENDANCE OFFICE No. 04 SCALE: 1/4" = 1'-0"



16 CASEWORK ELEVATION

at ATTENDANCE OFFICE No. 04 SCALE: 1/4" = 1'-0"



17 CASEWORK ELEVATION

at ATTENDANCE OFFICE No. 04 SCALE: 1/4" = 1'-0"

REV.	DATE	ITEM

NOTICE

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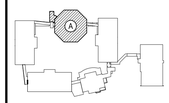

KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

CASEWORK ELEVATIONS

DRAWING BY: B.C.M.

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SED No. 66-01-02-06-0-007-013

DISTRICT BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT PHASE 2 - BOND IMPROVEMENTS

DWG TITLE CASEWORK PLANS

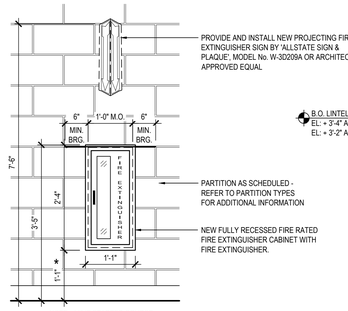
SCALE: AS NOTED

DATE: APRIL 2024

BID PICK-UP: FEBRUARY 24, 2025

FILE No: 23-131b FLMS

A11.03


PROVIDE AND INSTALL NEW PROJECTING FIRE EXTINGUISHER SIGN BY 'ALLSTATE SIGN & PLAQUE', MODEL No. W-3D209A OR ARCHITECT APPROVED EQUAL
6"
1'-0" M.O.
6"
MIN. BRG.
MIN. BRG.
7'-6"
2'-4"
3'-5"
1'-1"
1'-1"*
PARTITION AS SCHEDULED - REFER TO PARTITION TYPES FOR ADDITIONAL INFORMATION
NEW FULLY RECESSED FIRE RATED FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER.
* NOTE: 11" IF STARTER COURSE.
TYPICAL ELEVATION
8" MIN.
B.O. LINTEL
EL. + 3'-4" A.F.F. (FULL COURSING)
EL. + 3'-2" A.F.F. (STARTER COURSING)
7" x 3½" STEEL PLATE LINTEL (MIN. 6" BEARING, EA. SIDE)
CUT CMU BLOCK TO FIT.
FULLY RECESSED FIRE RATED FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER.
2x FIRE RETARDANT BLOCKING
NOTCH BLOCK AS REQUIRED FOR FIRE EXTINGUISHER CABINET
2'-2" M.O.
1'-2"
SECTION
at 8" CMU WALL
4⅛"
PARTITION AS SCHEDULED - REFER TO PARTITION TYPES AND FLOOR PLANS.
2½"
T.O. ROUGH OPENING
EL. + 3'-4" A.F.F.
GYP. BD. EACH SIDE (WHERE SCHEDULED)
BOX HEADER
SEMI- RECESSED FIRE RATED FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER.
SILL
PROVIDE STUD, EACH SIDE OF CABINET FOR ANCHORAGE.
2'-5⅛" R.O.
1'-7⅛"
SECTION
at 3 5/8" METAL STUD WALL
7⅛"
GYP. BD. EACH SIDE (WHERE SCHEDULED)
BOX HEADER
FULLY RECESSED FIRE RATED FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER.
SILL
PROVIDE STUD, EACH SIDE OF CABINET FOR ANCHORAGE.
2'-5⅛" R.O.
SECTION
at 6" METAL STUD WALL
1 TYPICAL FIRE EXTINGUISHER CABINET DETAIL
NOTE: THE INSTALLATION SHALL MAINTAIN THE FIRE RATING OF PARTITIONS (WHERE APPLICABLE)
SCALE: 3/4" = 1'-0"
REV. 12.2021
DEPTH VARIES. MAX 24"
NEW 3½" x 5" x ¼" STEEL ANGLE LINTEL.
LIGHT FIXTURE AND REFLECTOR BY 'CLARIDGE'. CONNECTED BY E.C.
NEW 4'-0"x8'-0" DISPLAY CASE BY 'CLARIDGE', MODEL 374 WITH SLIDING DOORS AND LOCKS. FRAME FINISH AND TACK SURFACE AS SELECTED BY ARCHITECT.
3'-8⅜" M.O.
TACKBOARD BACK PANEL
GLASS SHELVES ON SHELF BRACKETS
⅜" TEMPERED GLASS
SHELF STANDARDS
NEW CMU WALL. REFER TO FLOOR PLANS FOR WALL CONSTRUCTION.
2'-11½"
DEPTH VARIES. MAX 24"
LIGHT FIXTURE AND REFLECTOR BY 'CLARIDGE'. CONNECTED BY E.C.
NEW 4'-0"x8'-0" DISPLAY CASE BY 'CLARIDGE', MODEL 374 WITH SLIDING DOORS AND LOCKS. FRAME FINISH AND TACK SURFACE AS SELECTED BY ARCHITECT.
3'-8⅜" OPENING
TACKBOARD BACK PANEL
GLASS SHELVES ON SHELF BRACKETS
⅜" TEMPERED GLASS
SHELF STANDARDS
NEW GYP. BD. AND METAL STUD PARTITION. REFER TO FLOOR PLANS FOR WALL CONSTRUCTION.
2 RECESSED DISPLAY CASE DETAILS
SCALE: 3/4" = 1'-0"
REV. 2.2022
LINE OF SLOPED RISER BELOW, REFER TO STAIR PLANS/ SECTIONS FOR TREAD AND RISER DIMENSIONS AND PROFILE.
EDGE OF STAIRS
CONTRACTOR TO APPLY SLIP RESISTANT, CONTRASTING, MARKING PAINT AT EACH TREAD NOSING, 2" WIDE AND 1/2" MAX FROM LEADING EDGE OF TREADS. REFER TO SEC. 099000 OF THE PROJECT MANUAL FOR PAINT TYPE. COLOR AS SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL COLOR RANGE. MARKING TO EXTEND FROM EDGE TO EDGE OF TREAD AND SHALL BE APPLIED TO EVERY TREAD AND LANDING.
½" MAX.
METAL GUARDRAIL / HANDRAIL, REFER TO STAIR PLANS FOR TYPE, CONFIGURATION AND PLACEMENT.
LEADING EDGE OF TREAD, TYP.
3 TYPICAL TREAD CONTRACTING MARKING STRIPE
NOTE: FOR USE AT ALL POURED CONCRETE, BLUESTONE, OR MASONRY EXTERIOR STAIRWAYS PER CODE.
SCALE: 1" = 1'-0"
REV. 11.2024
NOTE: HEIGHTS INDICATED ARE MAXIMUM ALLOWABLE PER CODE. MANUFACTURER'S ROUGH-IN DIMENSIONS ARE ACCEPTABLE. ADJUST FOR CHILD HEIGHT WHEN APPLICABLE.
CMU WALL CONSTRUCTION. (REFER TO PLAN FOR WALL PARTITION TYPE
STANDING HEIGHT UNIT
WHEELCHAIR HEIGHT UNIT
NEW OR EXISTING OUTLET. REFER TO E-SERIES DRAWINGS.
3'-7" MAX.
3'-0" MAX. ADULT
2'-6" MAX. CHILD
FIN. FLOOR
SPOUT HEIGHT STANDING UNIT
SPOUT HEIGHT WHEELCHAIR UNIT
FRONT VIEW
NOTE: UNIT CAN BE INSTALLED WITH RIGHT HAND HIGH SIDE CONFIGURATION AS WELL. COORDINATE WITH PART AND MANUFACTURER'S DATA FOR VARIANCE IN UTILITY ROUTING.
CMU WALL CONSTRUCTION WITH HORIZ. AND VERT. REINFORCING. (REFER TO PLAN FOR WALL PARTITION TYPE
NEW WATER COOLERS PROVIDED AND INSTALLED BY P.C.
1'-7"
3'-7" MAX.
3'-0" MAX. ADULT
2'-6" MAX. CHILD
2'-9" MIN. ADULT
5" MIN.
FIN. FLOOR
SPOUT HEIGHT STANDING UNIT
SPOUT HEIGHT WHEELCHAIR UNIT
SIDE VIEW
4 ADA COMPLIANT DRINKING FOUNTAIN / BOTTLE FILL STATION DETAIL
"EZH20" BOTTLE FILLING STATION WITH FILTERED BI-LEVEL LZ COOLER BY 'ELKAY' OR APPROVED EQUAL. SHOWN WITH LEFT HAND HIGH SIDE CONFIGURATION.
SCALE: 1/4" = 1'-0"
REV. 2.2022

REV.	DATE	ITEM

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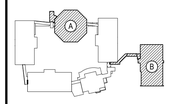

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NOT TO SCALE

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FOX LANE MIDDLE SCHOOL
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DWG TITLE
MISCELLANEOUS DETAILS

DRAWING BY: P.J.H.
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SED No. 66-01-02-06-0-007-013
DISTRICT BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT PHASE 2 - BOND IMPROVEMENTS
DWG TITLE MISCELLANEOUS DETAILS
SCALE: AS NOTED
DATE: APRIL 2024
BID PICK-UP: FEBRUARY 24, 2025
FILE No: 23-131b FLMS

A12.01

DESIGN LOADS AND CRITERIA: (FLMS ENTRY ADDITION)

1. DESIGN PROVISIONS: 2020 BUILDING CODE OF NEW YORK STATE
   BUILDING RISK CATEGORY, III
   TERRAIN EXPOSURE CATEGORY, B
   BASIC SEISMIC/MAIN WIND FORCE RESISTING SYSTEM:
   NORTH-SOUTH, STEEL MOMENT FRAMES
   EAST-WEST, STEEL MOMENT FRAMES

   NOTE: STEEL MOMENT FRAMES NOT SPECIFICALLY DETAILS FOR SEISMIC RESISTANCE.

2. ROOF DEAD LOAD, 20 PSF (TYPICAL)
   PORTION OF ABOVE ROOF DEAD LOAD FOR MECHANICAL EQUIPMENT AND PIPING SUSPENDED FROM STRUCTURAL FRAMING, 5 PSF

   CONCENTRATED LOADS SHALL BE LIMITED TO THOSE WHICH INDUCE MOMENTS AND SHEARS IN MEMBERS NOT GREATER THAN THOSE INDUCED BY THE NOTED UNIFORMLY DISTRIBUTED LOADS.

3. SNOW LOAD:

   GROUND SNOW LOAD (Pg), 30 PSF
   FLAT ROOF SNOW LOAD (Pf), 25 PSF
   EXPOSURE FACTOR (C_E), 1.0
   THERMAL FACTOR (C_t), 1.0
   IMPORTANCE FACTOR (I_s), 1.1
   RAIN LOAD (PONDING), NOT APPLICABLE
   RAIN-ON-SNOW SURCHARGE, NOT APPLICABLE

   DRIFTED, UNBALANCE AND SLIDING SNOW LOADS AS INDICATED IN AMERICAN SOCIETY OF CIVIL ENGINEERS STANDARD ASCE 7-16.

4. WIND LOAD:

   MAIN WIND FORCE RESISTING SYSTEM HAS BEEN DESIGNED USING THE PROCEDURE SIMPLE DIAPHRAGM LOW RISE BUILDINGS.
   BASIC WIND SPEED, 125 MPH
   EXPOSURE CATEGORY, B
   TOPOGRAPHIC FACTOR, 1.0
   HEIGHT OF MAIN ROOF, 12 FEET
   AVERAGE NET WIND UPLIFT PRESSURE, 20 PSF (ULTIMATE)

5. SEISMIC LOADS:

   RISK CATEGORY, III
   SITE CLASS, D
   SEISMIC IMPORTANCE FACTOR (I_e), 1.25
   SHORT-PERIOD ACCELERATION (S_{ds}), 0.291 g
   ONE-SECOND ACCELERATION (S_{d1}), 0.96 g
   SEISMIC DESIGN CATEGORY, B
   SEISMIC RESPONSE COEFFICIENT (C_s), 0.1057
   RESPONSE MODIFICATION COEFFICIENT (R), 3
   DESIGN BASE SHEAR (V), 4 KIPS

6. GEOTECHNICAL DESIGN CRITERIA:

   PRESUMTIVE SOIL BEARING PRESSURE, 2,000 PSF
   ASSUMED BEARING STRATA, NATIVE SOIL OR COMPACTED STRUCTURAL FILL

STRUCTURAL MATERIALS

STRUCTURAL STEEL AND MISCELLANEOUS STEEL
ROLLED STEEL W SHAPES: ASTM A 992
ROLLED STEEL C, MC SHAPES: ASTM A 36
ROLLED STEEL PLATES, BARS, AND ANGLES: ASTM A 36
HIGH-STRENGTH BOLTS: ASTM A 325 OR ASTM A 490
THREADED ANCHORS: ASTM A 36
WELD ELECTRODES: AWS E70XX
FOR CONNECTIONS, PROVIDE HIGHER GRADE OR AS REQUIRED FOR CAPACITY.

FASTENERS
POWDER ACTUATED FASTENERS (PAF): HILTI 0.177 DIA DS/EDS
ADHESIVE ANCHORS (SOLID CONC OR MASONRY): HILTI HIT HY 200

CONCRETE
FOOTINGS, FOUNDATION WALLS, PIERS, GRADE BEAMS, MISC:
28 DAY COMPRESSIVE STRENGTH, f'_c= 3,000 PSI
SLUMP, 3 TO 5 INCHES
AIR ENTRAINMENT, 5 % ± 1 %

INTERIOR SLABS ON GRADE:
28 DAY COMPRESSIVE STRENGTH, f'c = 3,500 PSI
SLUMP, 3 TO 5 INCHES
AIR ENTRAINMENT, 3 % (MAX). DO NOT ADD AIR ENTRAINING ADMIXTURE. AIR ENTRAINMENT OCCURS AS A RESULT OF MIXING.

SEE SPECIFICATIONS AND NOTES FOR ADDITIONAL INFORMATION.

MASONRY:
CONCRETE BLOCK: ASTM C 90, 2,800 PSI NET COMPRESSIVE STRENGTH, MORTAR - ASTM C 270, TYPE S
UNIT MASONRY: ASTM C 90 CMU, 2,800 PSI NET COMPRESSIVE STRENGTH, MORTAR - ASTM C 270, TYPE S, f 'm=2,000PSI
GROUT:ASTM C 476, 2,500 PSI COMPRESSIVE STRENGTH, 8 TO 10 INCH SLUMP

REINFORCING, CONCRETE: ASTM A 615. GRADE 60

GENERAL NOTES:

1. DIMENSIONS TO, OF, AND IN EXISTING STRUCTURE SHALL BE VERIFIED IN FIELD BY CONTRACTOR.
2. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES IN DIMENSIONS BETWEEN THE EXISTING CONDITIONS, ARCHITECTURAL DRAWINGS, AND STRUCTURAL DRAWINGS.
3. DO NOT CHANGE SIZE OR SPACING OF STRUCTURAL ELEMENTS.
4. SECTIONS, AND DETAILS SHOWN ARE TYPICAL.. SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS, UNLESS OTHERWISE INDICATED.
5. THE NOTES ON THIS DRAWING ARE TYPICAL UNLESS OTHERWISE INDICATED.
6. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR DAMAGES WHICH MIGHT BE OCCASIONED BY FAILURE TO EXACTLY LOCATE AND PRESERVE EXISTING UTILITIES.
7. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF PROPOSED DEVIATIONS OR SUBSTITUTIONS FROM DIMENSIONS, MATERIALS, OR COMPONENTS SHOWN ON THE DRAWINGS AND MAKE ONLY THOSE DEVIATIONS OR SUBSTITUTIONS ACCEPTED BY THE ENGINEER.
8. DO NOT SUSPEND MECHANICAL, ELECTRICAL, OR PLUMBING ITEMS FROM ROOF DECK. REFER TO THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS AND SPECIFICATIONS FOR HANGERS AND SUPPLEMENTAL FRAMING REQUIRED TO ATTACH THESE ITEMS TO THE MAIN ROOF FRAMING.
9. BRACE BUILDING UNTIL STRUCTURAL ELEMENTS NEEDED FOR STABILITY ARE INSTALLED. THESE ELEMENTS ARE AS FOLLOWS: ROOF DECK, MOMENT FRAMES, BRACING MEMBERS, AND CONNECTIONS.
10. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION SAFETY.
11. REFER TO ARCHITECTURAL DRAWINGS FOR DEMOLITION AND REMOVALS REQUIRED FOR EXISTING CONDITIONS.
12. COORDINATE THE NUMBER AND LOCATION OF ROOF DRAINS AND OPENINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.

FOUNDATION NOTES:

1. BEAR FOOTINGS ON FIRM UNDISTURBED SOIL, OR COMPACTED STRUCTURAL FILL OR BEDROCK.
2. FOOTING BEARING STRATUM SHALL BE VERIFIED IN FIELD BY A LICENSED GEOTECHNICAL ENGINEER BEFORE CASTING CONCRETE FOOTINGS.
3. UNLESS OTHERWISE NOTED, BOTTOM OF EXTERIOR FOOTINGS IS 4 FEET MINIMUM BELOW FINISHED GRADE. FOOTINGS MAY BE STEPPED DOWN OR LOWERED TO REACH AN ACCEPTABLE BEARING STRATUM AS DETERMINED BY GEOTECHNICAL ENGINEER.
4. WHERE FOOTING ELEVATIONS ARE LOWERED DUE TO SOIL CONDITIONS, LOWER ADJACENT FOOTINGS IN ELEVATION IN ORDER THAT RATIO OF CLEAR DISTANCE BETWEEN NEAREST EDGE OF FOOTINGS TO DIFFERENCE IN ELEVATION BETWEEN BOTTOMS OF FOOTINGS SHALL NOT EXCEED 2H:1V
5. ELEVATIONS OF BOTTOM OF FOOTINGS ARE FOR ESTIMATING PURPOSES AND WILL BE ADJUSTED TO REQUIRED BEARING STRATA AS DETERMINED UPON EXCAVATION.
6. DO NOT PLACE FOOTINGS IN WATER OR ON FROZEN GROUND.
7. DO NOT ALLOW GROUND BENEATH FOOTINGS OR SLABS TO FREEZE.
8. BEARING SURFACES PREVIOUSLY ACCEPTED BY GEOTECHNICAL ENGINEER WHICH ARE ALLOWED TO BECOME SATURATED, FROZEN, OR DISTURBED SHALL BE REWORKED TO THE SATISFACTION OF GEOTECHNICAL ENGINEER.
9. CENTER FOOTINGS UNDER WALLS, PIERS, OR GRADE BEAMS UNLESS NOTED OTHERWISE.
10. PROVIDE FOUNDATION WALL CONTROL JOINTS WHERE INDICATED ON PLAN. WHERE CONTROL JOINTS ARE NOT INDICATED ON PLAN, PROVIDE CONTROL JOINTS SPACED AT 35 FEET, MAXIMUM.
11. REINFORCE ALL FOUNDATION WALLS IN ACCORDANCE WITH THE TYPICAL CONCRETE WALL REINFORCING DETAIL, UNLESS NOTED OTHERWISE.
12. FOUNDATION PREPARATION: REFER TO SPECIFICATIONS FOR "STRUCTURAL EXCAVATION, BACKFILL, AND COMPACTION (BUILDING AREA)".
13. CONCRETE WALLS SHALL ATTAIN A MINIMUM STRENGTH OF 70 % f'c BEFORE PLACING BACKFILL AGAINST THEM.

CAST-IN-PLACE CONCRETE NOTES:

1. REINFORCE CONCRETE ELEMENTS INCLUDING FOOTINGS, WALLS, GRADE BEAMS, PIERS, AND SLABS. REINFORCEMENT SHOWN PERTAINS TO TYPICAL CONDITIONS.
2. COORDINATE CONCRETE MIX DESIGNS WITH CONCRETE MIX SCHEDULE AND DESIGN DATA NOTES.
3. LAP SPLICE CONCRETE REINFORCEMENT AS SHOWN IN BAR LAP SPLICE SCHEDULE, UNLESS NOTED OTHERWISE. PROVIDE CLASS B LAP UNLESS NOTED OTHERWISE.
4. PROVIDE CORNER BARS IN CONTINUOUS FOOTINGS, THE SAME SIZE AND NUMBER AS CONTINUOUS REINFORCEMENT. LAP SPLICE WITH MAIN REINFORCEMENT AS SHOWN IN BAR LAP SPLICE SCHEDULE BUT NOT LESS THAN 2'-0".
5. EXTEND WALL FOOTING REINFORCEMENT INTO COLUMN FOOTINGS WITH A MINIMUM EMBEDMENT EQUAL TO THE MINIMUM BAR DEVELOPMENT LENGTH.
6. CAST STEPPED FOOTINGS MONOLITHICALLY.
7. DOWEL CONCRETE WALLS AND PIERS INTO FOOTINGS WITH DOWELS THE SAME SIZE AND SPACING AS VERTICAL REINFORCEMENT. EXTEND DOWELS TO WITHIN 3 INCHES OF BOTTOM OF FOOTING, TERMINATED WITH ACI STANDARD 90 DEGREE HOOK. LAP SPLICE WITH VERTICAL REINFORCEMENT UNLESS NOTED OTHERWISE.
8. CAST CONCRETE PIERS IN CONCRETE WALLS MONOLITHICALLY WITH WALLS.
9. VERIFY SIZE AND LOCATION OF MECHANICAL OPENINGS THROUGH CONCRETE MEMBERS PRIOR TO PLACING CONCRETE. PROVIDE SLEEVE OR CHASE FOR PIPING, CONDUIT, OR DUCT PENETRATIONS. CORE DRILLING IS NOT PERMITTED.
10. DO NOT LOCATE PENETRATIONS FOR THROUGH FOOTINGS. STEP FOOTINGS DOWN AS REQUIRED TO LOCATE PENETRATION IN WALL.
11. DO NOT LOCATE PENETRATIONS THROUGH PIERS, COLUMNS, BEAMS OR GRADE BEAMS UNLESS SHOWN IN DRAWINGS OR ACCEPTED BY ENGINEER.
12. INSTALL EMBEDDED PIPES OR CONDUIT IN STRUCTURAL CONCRETE AS FOLLOWS:
    a. ALUMINUM CONDUITS AND PIPES ARE NOT PERMITTED.
    b. CONDUIT AND PIPE OUTSIDE DIAMETER SHALL NOT EXCEED 1/3 THE THICKNESS OF SLAB, BEAM OR WALL IN WHICH THEY ARE EMBEDDED.
    c. SPACE CONDUIT AND PIPE A MINIMUM OF 3 DIAMETERS (WIDTHS) ON CENTER OR 4 INCHES WHICHEVER IS GREATER.
    d. PROVIDE A MINIMUM OF 1 1/2 INCH COVER FOR CONCRETE EXPOSED TO EARTH OR WEATHER OR 3/4 INCH COVER OTHERWISE, UNLESS NOTED OTHERWISE.
    e. REFER TO ACI 318, SECTION 6.3 FOR ADDITIONAL REQUIREMENTS.
13. CHAMFER EXPOSED CONCRETE CORNERS AND EDGES 3/4 INCH UNLESS NOTED OTHERWISE.
14. CONCRETE COVER FOR REINFORCEMENT SHALL BE AS INDICATED IN CONCRETE COVER SCHEDULE.

STRUCTURAL STEEL NOTES:

1. DO NOT BEGIN STEEL ERECTION UNTIL SUPPORTING CONCRETE OBTAINS 75 PERCENT OF THE MATERIAL STRENGTHS NOTED IN DESIGN DATA NOTES.
2. LOCATE ROOFTOP MECHANICAL UNITS AS SHOWN: COORDINATE WITH MECHANICAL DRAWINGS. NOTIFY ENGINEER IF ACTUAL UNIT WEIGHTS EXCEED THE WEIGHTS SHOWN ON DRAWINGS.
3. WHERE BEAM SPACING IS NOT NOTED, SPACE BEAMS EQUALLY BETWEEN COLUMNS OR BETWEEN COLUMNS AND WALLS.
4. MINIMUM CAPACITY OF BEAM CONNECTIONS; FOR CONNECTIONS NOT DETAILED, PROVIDE CONNECTION CAPACITY FOR REACTIONS SHOWN ON DRAWINGS OR, IF NOT SHOWN, BASED ON EITHER ALLOWABLE STRESS DESIGN OR LOAD AND RESISTANCE FACTOR DESIGN AS FOLLOWS:
   A. AT LEAST 50 PERCENT OF THE ALLOWABLE UNIFORM LOAD FROM ALLOWABLE UNIFORM LOAD TABLES IN AISC ASD MANUAL, PART 2, FOR THE GIVEN STEEL MEMBER.
   B. AT LEAST 50 PERCENT OF THE MAXIMUM TOTAL FACTORED UNIFORM LOAD FROM MAXIMUM TOTAL FACTORED UNIFORM LOAD TABLES IN AISC LRFD MANUAL, PART 5, FOR THE GIVEN STEEL MEMBER.
   C. FOR BEAMS AND GIRDERS WITH SHEAR CONNECTORS, PROVIDE CONNECTION CAPACITY OF AT LEAST 70 PERCENT OF THE UNIFORM LOAD VALUES (ASD OR LRFD, AS APPROPRIATE), UNLESS INDICATED OTHERWISE ON DRAWINGS.
   D. CONCENTRATED LOADS NEAR SUPPORTS MUST BE ADDED.
5. PROVIDE HOT DIP GALVANIZED FASTENERS FOR GALVANIZED FRAMING CONNECTIONS AND STAINLESS STEEL FASTENERS FOR STAINLESS STEEL FRAMING CONNECTIONS.
6. FABRICATE AND ERECT STEEL IN ACCORDANCE WITH THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.
7. SLOPE ROOF STEEL UNIFORMLY BETWEEN ELEVATIONS SPECIFIED ON PLANS.
8. REMOVE ALL PAINT AND OTHER DEBRIS FROM STEEL PRIOR TO FIELD WELDING TO STRUCTURE. FIELD WELDS AND ADJACENT AREAS SHALL BE FIELD PRIMED AFTER INSPECTED.
9. ALL SAFETY REGULATION AND PRECAUTIONS WITH REGARDS TO FIELD WELDING SHALL BE COMPLIED WITH TO PROTECT EXISTING CONSTRUCTION TO REMAIN, FINISHES, AND ON SITE WORKERS (SCREENS & BARRIERS).
10. WHERE FILLET WELD SIZES ARE NOT SPECIFICALLY NOTED, THE FABRICATOR SHALL DETAIL A MINIMUM SIZE FILLET WELD IN ACCORDANCE WITH AWS STANDARDS. THE ACTUAL SIZES SHALL BE SHOWN ON THE SHOP DRAWINGS.
11. BACKER BARS AT COMPLETE JOINT PENETRATION WELDS MUST BE REMOVED IF "R" IS GREATER THAN 3 OR IF STEEL IS "AESS".
12. CONNECTION DESIGN BY FABRICATOR WILL BE SUBJECT TO REVIEW BY ENGINEER. USE DOUBLE ANGLE SHEAR CONNECTIONS WITH 3/4" DIAMETER ASTM A325 BOLTS WITH AT LEAST THE FOLLOWING NUMBER OF BOLT ROWS:

BEAM SIZE	NUMBER OF BOLT ROWS
W8, W10	2
W12, W14, W16	3
W18, W21, W24	4

13. DO NOT PLACE HOLES THROUGH STRUCTURAL STEEL MEMBERS EXCEPT UNLESS INDICATED IN STRUCTURAL DRAWINGS.
14. BOLTED CONNECTIONS SHALL UTILIZE TYPE 3 ASTM A 325 BOLTS, UNO. ALL CONNECTIONS SHALL BE INSTALLED SNUG TIGHT.
15. REMOVE BURRS, DIRT, AND OTHER FOREIGN MATERIALS FROM FRAYING SURFACES AND SURFACES ADJACENT TO BOLT HEADS AND NUTS. BURRS LESS THAN OR EQUAL TO 1/16" IN HEIGHT ARE PERMITTED TO REMAIN ON FAYING SURFACES.
16. FABRICATE BOLTED CONNECTIONS WITH STANDARD SIZED HOLES, UNLESS NOTED OTHERWISE.
17. COMPLY WITH AISC SPECIFICATIONS FOR STRUCTURAL JOINTS USING HIGH STRENGTH BOLTED CONNECTIONS.

COLD-FORMED METAL FRAMING NOTES:

1. MINIMUM MEMBER MATERIAL THICKNESS IS 18 GAUGE UNLESS NOTED OTHERWISE.
2. CUT FRAMING COMPONENTS SQUARELY OR ON AN ANGLE AS REQUIRED TO FIT TIGHTLY WITH FULL BEARING AGAINST ABUTTING MEMBERS. TEMPORARILY BRACE MEMBERS AS REQUIRED PRIOR TO FINAL FASTENING.
3. FIELD CUTTING OF MEMBERS SHALL BE PERFORMED BY SHEARING OR SAWING. TORCH CUTTING IS NOT ACCEPTABLE.
4. SPLICES ARE NOT PERMITTED IN STUDS, JOISTS, OR OTHER LOAD-CARRYING MEMBERS UNLESS CALCULATIONS AND DETAILS HAVE BEEN SUBMITTED TO ENGINEER FOR REVIEW AND ACCEPTED.
5. WHEN COLD-FORMED STUDS ARE TO BE USED FOR TRUSS, RAFTER, OR HEADER APPLICATIONS, STUDS SHALL BE UN-PUNCHED THROUGH THE WEB. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SPECIFY UN-PUNCHED STUDS WHEN ORDERING MATERIALS.
6. FIELD-INSTALLED HOLES ARE NOT PERMITTED IN MEMBERS UNLESS INDICATED IN DRAWINGS.
7. DO NOT SCREW OR WELD STUDS TO VERTICAL DEFLECTION TRACKS. DO NOT CONNECT SHEATHING TO VERTICAL DEFLECTION TRACKS. PROVIDE GAP IN SHEATHING TO ACCOMMODATE VERTICAL DEFLECTION.
8. ABUTTING TRACK MEMBERS SHALL BE SPLICED TOGETHER USING A TYPICAL STUD/JOIST SCREWED TO THE TRACK ON BOTH SIDES OF JOINT. BUTT-WELDING IS ALSO ACCEPTABLE.
9. FOR LOAD BEARING CONSTRUCTION, THE CONTRACTOR SHALL ENSURE THAT ADEQUATE BRACING IS IN PLACE UNTIL SHEATHING IS ATTACHED TO BOTH STUD FLANGES. DO NOT OVERLOAD STUDS DURING CONSTRUCTION.
10. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ERECTION BRACING.
11. MINIMUM SCREW SPACING AND EDGE DISTANCE IS 3/4 INCH UNLESS NOTED OTHERWISE.
12. THE FOLLOWING SHALL BE USED FOR POWDER-ACTUATED FASTENERS IN STEEL UNLESS NOTED OTHERWISE:
    MINIMUM EDGE DISTANCE = 1/2 INCH
    MINIMUM FASTENER SPACING = 1 INCH
13. THE FOLLOWING SHALL BE USED FOR POWDER-ACTUATED FASTENERS IN CONCRETE UNLESS NOTED OTHERWISE:
    MINIMUM EDGE DISTANCE = 3 INCHES
    MINIMUM FASTENER SPACING = 4 INCHES
14. WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AWS D1.3 "STRUCTURAL WELDING CODE - SHEET STEEL".
15. MINIMUM WELD THROAT THICKNESS EQUALS THE BASE METAL THICKNESS OF THE THINNEST CONNECTED MATERIAL UNLESS NOTED OTHERWISE.
16. TOUCH-UP WELDS WITH GALVANIZED REPAIR PAINT.

MASONRY NOTES:

1. MASONRY WALLS SHALL HAVE STANDARD WEIGHT JOINT REINFORCEMENT EVERY SECOND COURSE AND TOP TWO COURSES UNLESS NOTED OTHERWISE. PROVIDE LADDER TYPE JOINT REINFORCING FOR REINFORCED MASONRY WALLS. LAP SPLICE JOINT REINFORCEMENT A MINIMUM OF 6 INCHES TYPICALLY. USE PREFABRICATED CORNERS AND TEES.
2. PLACE JOINT REINFORCEMENT CONTINUOUSLY THROUGH PILASTERS.
3. BEARING AND OTHER EXTERIOR WALLS MADE OF BRICK AND BLOCK SHALL BE BUILT SIMULTANEOUSLY AS COMPOSITE WALLS, BONDED TOGETHER WITH FULL WIDTH HORIZONTAL JOINT REINFORCEMENT AT 16 INCHES ON CENTER. FILL COLLAR JOINTS SOLID WITH MORTAR.
4. SUBMIT PROPOSED GROUTING PROGRAM FOR GROUTING CONCRETE MASONRY WALLS. GROUTING SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF NCMA-TEK 3-2A, "GROUTING CONCRETE MASONRY WALLS." STOP GROUT 2 INCHES BELOW TOP OF BLOCK AT EACH POUR TO ENABLE AN INTERLOCK WITH NEXT POUR. GROUT CORES SOLID AT REINFORCING BARS AND ELSEWHERE AS INDICATED ON DRAWINGS.
5. REINFORCE WALLS WITH #___ AT ___ ON CENTER. SEE __/__ FOR ELEVATION OF MASONRY WALL REINFORCING. LAP #4 BARS 20 INCHES. LAP #5 BARS 25 INCHES. LAP #6 BARS 30 INCHES.
6. FILL CORES IN HOLLOW CONCRETE MASONRY UNITS WITH GROUT THREE COURSES (24 INCHES) UNDER BEARING PLATES, BEAMS, LINTELS, POSTS, AND SIMILAR ITEMS, UNLESS OTHERWISE INDICATED.
7. PROVIDE BOND BEAM AT TOPS OF WALLS, AT EACH FLOOR, AND ELSEWHERE AS DETAILED.
8. FILL COLUMN AND BEAM POCKETS WITH MASONRY AFTER COLUMN OR BEAM IS ERECTED.
9. NON-LOAD BEARING PARTITIONS SHALL NOT BE BUILT TIGHT TO STRUCTURE ABOVE. LEAVE GAP BETWEEN TOP OF PARTITION AND STRUCTURE, AND BRACE TOP OF PARTITION AS INDICATED ON DRAWINGS.
10. STRUCTURAL DRAWINGS DO NOT SHOW FLASHINGS, WEEPS, AND DRIPS; HOWEVER, THEY ARE ESSENTIAL TO MAINTAINING THE WATER TIGHTNESS OF THE BUILDING AND PROTECTION OF THE FRAMING. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR DETAILS AND INFORMATION.
11. VENEER ANCHORS, TIES, WEEPS, AND FLASHING ARE INDICATED ON THE ARCHITECTURAL DRAWINGS AND IN THE SPECIFICATIONS UNLESS DETAILED OR NOTED OTHERWISE.
12. LAP REINFORCEMENT BARS AS SHOWN IN CMU BAR LAP SCHEDULE.

COLD-FORMED METAL FRAMING NOTES:

1. SUBMIT SHOP DRAWINGS SHOWING ELEVATIONS AND CONNECTION DETAILS STAMPED BY AN ENGINEER LICENSED IN THE STATE OF NEW YORK.
2. MINIMUM MEMBER MATERIAL THICKNESS IS 18 GAUGE UNLESS NOTED OTHERWISE. MINIMUM EXTERIOR WALL TRACK IS 16 GAUGE UNLESS NOTED OTHERWISE.
3. CUT FRAMING COMPONENTS SQUARELY OR ON AN ANGLE AS REQUIRED TO FIT TIGHTLY WITH FULL BEARING AGAINST ABUTTING MEMBERS. TEMPORARILY BRACE MEMBERS AS REQUIRED PRIOR TO FINAL FASTENING.
4. FIELD CUTTING OF MEMBERS SHALL BE PERFORMED BY SHEARING OR SAWING. TORCH CUTTING IS NOT ACCEPTABLE.
5. SPLICES ARE NOT PERMITTED IN STUDS, OR OTHER LOAD-CARRYING MEMBERS UNLESS CALCULATIONS AND DETAILS HAVE BEEN SUBMITTED TO ENGINEER FOR REVIEW AND ACCEPTED.
6. WHEN COLD-FORMED STUDS ARE TO BE USED FOR HEADER APPLICATIONS, STUDS SHALL BE UN-PUNCHED THROUGH THE WEB. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SPECIFY UN-PUNCHED STUDS WHEN ORDERING MATERIALS.
7. FIELD-INSTALLED HOLES ARE NOT PERMITTED IN MEMBERS UNLESS INDICATED IN DRAWINGS.
8. DO NOT SCREW OR WELD STUDS TO VERTICAL DEFLECTION TRACKS. DO NOT CONNECT SHEATHING TO VERTICAL DEFLECTION TRACKS. PROVIDE GAP IN SHEATHING TO ACCOMMODATE VERTICAL DEFLECTION.
9. ABUTTING TRACK MEMBERS SHALL BE SPLICED TOGETHER USING A TYPICAL STUD/JOIST SCREWED TO THE TRACK ON BOTH SIDES OF JOINT. BUTT-WELDING IS ALSO ACCEPTABLE.
10. FOR LOAD BEARING CONSTRUCTION, THE CONTRACTOR SHALL ENSURE THAT ADEQUATE BRACING IS IN PLACE UNTIL SHEATHING IS ATTACHED TO BOTH STUD FLANGES. DO NOT OVERLOAD STUDS DURING CONSTRUCTION.
11. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ERECTION BRACING.
12. MINIMUM SCREW SPACING AND EDGE DISTANCE IS 3/4 INCH UNLESS NOTED OTHERWISE.
13. THE FOLLOWING SHALL BE USED FOR POWDER-ACTUATED FASTENERS IN STEEL UNLESS NOTED OTHERWISE:
    MINIMUM EDGE DISTANCE = 1/2 INCH
    MINIMUM FASTENER SPACING = 1 INCH
14. THE FOLLOWING SHALL BE USED FOR POWDER-ACTUATED FASTENERS IN CONCRETE UNLESS NOTED OTHERWISE:
    MINIMUM EDGE DISTANCE = 3 INCHES
    MINIMUM FASTENER SPACING = 4 INCHES
15. WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AWS D1.3 "STRUCTURAL WELDING CODE - SHEET STEEL".
16. MINIMUM WELD THROAT THICKNESS EQUALS THE BASE METAL THICKNESS OF THE THINNEST CONNECTED MATERIAL UNLESS NOTED OTHERWISE.
17. TOUCH-UP WELDS WITH GALVANIZED REPAIR PAINT.

SHEET LIST

1

ABBREVIATIONS

ADDL	ADDITIONAL	ENGR	EDGE OF DECK	OPP	OPPOSITE
ADJ	ADJACENT	FD	FLOOR DRAIN	OF	OUSIDE FACE
APPROX	APPROXIMATE	FT	FOOT		
ARCH	ARCHITECTURAL	FDN	FOUNDATION	PL	PLATE
AESS	ARCHITECTURAL EXPOSED STRUCTUAL STEEL	FTG	FOOTING	PAF	POWDER ACTUATED FASTENER
		GALV	GALVANIZED	PE	PROFESSIONAL ENGINEER
B/ , BO	BOTTOM OF	GA	GAUGE	PERP	PERPENDICULAR
BLDG	BUILDING			PLF	POUNDS PER LINEAL FOOT
BLKG	BLOCKING	HSS	HOLLOW STEEL SECTION	PSF	POUNDS PER SQUARE FOOT
BP	BASEPLATE	HORIZ	HORIZONTAL	PSI	POUNDS PER SQUARE INCH
BRG	BEARING	HI	HIGH	PCF	POUNDS PER CUBIC FOOT
BTWN	BETWEEN	HP	HIGH POINT	PC	PRECAST
		HVAC	HEATING, VENTILATION, AIR CONDITIONING	PSL	PARALLEL STRAND LUMBER
CANT	CANTILEVER			PT	PRESSURE TREATED
CIP	CAST IN PLACE	IF	INSIDE FACE		
CJ	CONTROL JOINT	INFO	INFORMATION	R	RADIUS
CL	CENTER LINE	INT	INTERIOR	RD	ROOF DRAIN
CLR	CLEAR	INV	INVERT	RDP	REGISTERED DESIGN PROFESSIONAL
CMU	CONCRETE MASONRY UNIT(S)	K	KIPS	REQD	REQUIRED
COL	COLUMN	KSF	KIPS PER SQUARE FOOT	REINF	REINFORCING
CONC	CONCRETE			REV	REVISION
CONT	CONTINUOUS	L	ANGLE	RO	ROUGH OPENING
CFMF	COLD-FORMED METAL FRAMING	LBS	POUNDS		
		LG	LONG	SIM	SIMILAR
COORD	COORDINATE	LLH	LONG LEG HORIZONTAL	SPA	SPACE
		LLV	LONG LEG VERTICAL	STD	STANDARD
DET	DETAIL	LO	LOW	SF	SQUARE FEET
DIA	DIAMETER	LOC	LOCATION	SS	STAINLESS STEEL
DIM	DIMENSION	LW	LIGHT WEIGHT	STL	STEEL
DN	DOWN	LVL	LAMINATED VENEER LUMBER	SQ	SQUARE
DO	DITTO				
DWLS	DOWELS			THK	THICK
DWG	DRAWINGS	MFR	MANUFACTURER	T/ , TO	TOP OF
		MAX	MAXIMUM	TYP	TYPICAL
EA	EACH	MIN	MIN	T&B	TOP AND BOTTOM
EF	EACH FACE	MECH	MECHANICAL		
ES	EACH SIDE	MISC	MISCELLANEOUS	UNO	THICK
EL	ELEVATION	MO	MASONRY OPENING		
ELEV	ELEVATOR			VERT	VERTICAL
EOS	EDGE OF SLAB	NA	NOT APPLICABLE	VIF	VERIFY IN FIELD
EOD	EDGE OF DECK	NIC	NOT IN CONTRACT		
EQ	EQUAL	NOM	NOMINAL	W	WIDTH, WIDE
EQUIP	EQUIPMENT	NW	NORMAL WEIGHT	W/	WITH
EW	EACH WAY	NS	NEAR SIDE	WD	WOOD
EXIST	EXIST	NTS	NOT TO SCALE	WP	WORK POINT
EXT	EXTERIOR			WWF	WELDED WIRE FABRIC
EIFS	EXTERIOR INSULATION FINISH SYSTEM	OC	ON CENTER	WCJ	WALL CONTROL JOINT
		OD	OUTSIDE DIAMETER		
EXP	EXPANSION	OPNG	OPENING		

REV.	DATE	ITEM
01	03/12/2025	BID ADD. NO. 03

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PROJECT
BEDFORD CENTRAL SCHOOL DISTRICT
CAPITAL IMPROVEMENTS - BOND PHASE 2
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE
DESIGN DATA AND GENERAL NOTES

DRAWING BY: AED
CHECK BY: AED

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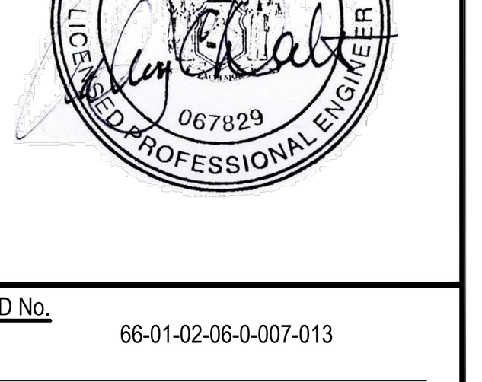


SED No. 66-01-02-06-0-007-013
DISTRICT BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT CAPITAL IMPROVEMENTS - BOND PHASE 2
DWG TITLE DESIGN DATA AND GENERAL NOTES

SCALE: AS NOTED
DATE: APRIL 2024
BID PICK-UP: FEBRUARY 24, 2025
FILE No: 23-131b FLMS

S0.01

CONCRETE COVER SCHEDULE

LOCATION	COVER
CONCRETE CAST AGAINST AND PERMANENTLY IN CONTACT WITH GROUND	3"
CONCRETE EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	
#6 BARS AND LARGER	2"
#5 BARS AND SMALLER	1 1/2"
CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	
SLABS, WALLS, JOIST	3/4"
BEAMS, GIRDERS, COLUMNS, AND PIERS	1 1/2"

CLASS B TENSION LAP SPLICE SCHEDULE

	fc' =3,000 PSI					fc' = 4,000 PSI				
BAR SIZE	TOP BAR		OTHER BAR		BAR SIZE	TOP BAR		OTHER BAR		
	CASE 1	CASE 2	CASE 1	CASE 2		CASE 1	CASE 2	CASE 1	CASE 2	
#3	28	42	21	32	#3	24	36	18	28	
#4	37	56	28	43	#4	32	48	25	37	
#5	46	69	36	53	#5	40	60	31	46	
#6	56	83	43	64	#6	48	72	37	55	
#7	81	131	62	93	#7	70	105	54	81	
#8	93	139	71	107	#8	80	120	62	92	
#9	104	157	80	120	#9	90	136	70	104	

1. TABULATED VALUES ARE IN INCHES.
2. TOP BARS ARE HORIZONTAL BARS PLACED WITH MORE THAN 12 INCHES OF FRESH CONCRETE PLACED BELOW THE DEVELOPMENT LENGTH OR SPLICE.
3. CASE 1 APPLIES TO CLEAR SPACING GREATER THAN OR EQUAL TO 2 BAR DIAMETERS AND COVER GREATER THAN OR EQUAL TO 1 DIAMETER.
4. CASE 2 APPLIES TO CLEAR SPACING LESS THAN 2 BAR DIAMETERS AND COVER LESS THAN 1 DIAMETER.
5. FOR VALUES OF COVER AND SPACING BETWEEN TABULATED VALUES USE THE LONGER LAP LENGTH. DO NOT INTERPOLATE.
6. CALCULATE CENTER TO CENTER SPACING OF BARS AT LAP SPLICE LOCATIONS.
7. FOR EPOXY COATED BARS INCREASE THE TABULATED VALUES AS FOLLOWS; TOP BARS MULTIPLY TABULATED VALUE BY 1.3, FOR OTHER BARS MULTIPLY TABULATED VALUE BY 1.5.
8. FOR LIGHTWEIGHT CONCRETE MULTIPLY TABULATED VALUE BY 1.3

CONCRETE MIX

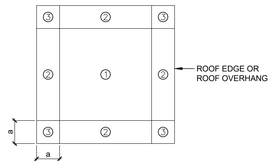
APPLICATION	EXPOSURE	F'c	MAXIMUM W/C RATIO	AIR CONTENT	NOMINAL MAX. AGGREGATE SIZE (NOTE 4)
FOOTINGS	F0	3,000 PSI	SEE NOTE 2	4.5% ± 1.5%	-
EXT SLAB ON GRADE	F1	4,500 PSI	0.45	4.5% ± 1.5%	-
SLAB ON GRADE	F0	3,500 PSI	SEE NOTE 2	SEE NOTE 3	-
FOUNDATION WALLS	F0	3,000 PSI	SEE NOTE 2	4.5% ± 1.5%	-
SITE WALLS	F1	4,000 PSI	0.45	4.5% ± 1.5%	-
SLAB ON DECK	F0	3,500 PSI	SEE NOTE 2	SEE NOTE 3	-
PIERS	F0	3,000 PSI	SEE NOTE 2	4.5% ± 1.5%	-

NOTES:
1. EXPOSURE CATEGORIES AND CLASSES FOR SULFATES, PERMEABILITY AND CORROSION PROTECTION OF REINFORCEMENT IS CLASS ZERO UNLESS NOTED OTHERWISE.
2. WHERE NO MAXIMUM WATER TO CEMENT RATIO IS NOTED, PROPORTION WATER TO CEMENT RATIO FOR SPECIFIED CONCRETE MIX DESIGN STRENGTH.
3. DO NOT AIR ENTRAIN INTERIOR SLABS ON GRADE OR SLABS ON METAL DECK. AIR ENTRAINMENT IS NOT PERMITTED FOR CONCRETE TO RECEIVE HARD TROWEL FINISH AND ENTRAPPED AIR SHALL NOT EXCEED 3%. SLABS SHALL BE FINISHED TO AVOID SURFACE IMPERFECTIONS, INCLUDING BLISTERING AND DELAMINATION.
4. COARSE AGGREGATE SHALL BE AS INDICATED IN SPECIFICATIONS. MAXIMUM CONCRETE UNIT WEIGHT NOT TO EXCEED 150 POUNDS PER CUBIC FEET.

MASONRY REINFORCEMENT LAP SPLICE

BAR LAP LENGTHS IN CMU WITH f'm = 2,000 psi			
LOCATION	#4	#5	#6
(1) BAR AT CENTER OF 6" CMU CORE OR BOND BEAM	23"	36"	73"
(1) BAR AT CENTER OF 8" CMU CORE OR BOND BEAM	23"	27"	50"
(1) BAR AT CENTER OF 12" CMU CORE OR BOND BEAM	23"	36"	73"
(2) BARS IN 8" CMU CORE LOCATED 5" FROM EACH FACE SHELL	23"	36"	73"
(2) BARS IN 12" CMU CORE LOCATED 9" FROM EACH FACE SHELL	23"	36"	73"
(2) BARS IN 8", 10", 12" BOND BEAMS LOCATED 3/4" FOR INSIDE FACE OF FACE SHELL	22"	22"	22"

BAR LAP LENGTHS IN CMU WITH f'm = 1,500 psi			
LOCATION	#4	#5	#6
(1) BAR AT CENTER OF 6" CMU CORE OR BOND BEAM	23"	36"	73"
(1) BAR AT CENTER OF 8" CMU CORE OR BOND BEAM	23"	27"	50"
(1) BAR AT CENTER OF 12" CMU CORE OR BOND BEAM	23"	36"	73"
(2) BARS IN 8" CMU CORE LOCATED 5" FROM EACH FACE SHELL	23"	36"	73"
(2) BARS IN 12" CMU CORE LOCATED 9" FROM EACH FACE SHELL	23"	36"	73"
(2) BARS IN 8", 10", 12" BOND BEAMS LOCATED 3/4" FOR INSIDE FACE OF FACE SHELL	22"	22"	22"

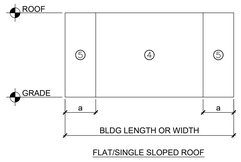


FLAT/SINGLE SLOPED ROOF

1 S0.1 ROOF PLAN - ROOF WIND PRESSURE ZONES

SCALE: 3/4= 1'-0"

NOTE:
a = 10 PERCENT OF LEAST HORIZONTAL DIMENSION OR 0.4XROOF HEIGHT WHICHEVER IS SMALLER, BUT NOT LESS THAN EITHER 4 PERCENT OF LEAST HORIZONTAL DIMENSION OR 3 FEET.

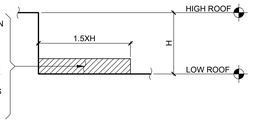


FLAT/SINGLE SLOPED ROOF

2 S0.1 EXTERIOR WALL ELEVATION - WALL WIND PRESSURE ZONES

SCALE: 3/4= 1'-0"

WITHIN THIS ZONE THE FOLLOWING DESIGN PRESSURES APPLY:
1. FOR PRESSURE TOWARDS SURFACE USE SAME AS WALL PRESSURE ZONES 4 AND 5.
2. FOR PRESSURE AWAY FROM SURFACE USE SAME AS ROOF PRESSURES EXCEPT ZONE 2 SHALL BE TREATED AS ZONE 1, AND ZONE 3 SHALL BE TREATED AS ZONE 2.



3 S0.1 SECTION - ROOF WIND PRESSURE ZONE AT ROOF STEPS

SCALE: 3/4= 1'-0"

DESIGN WIND PRESSURE FOR EXTERIOR COMPONENTS AND CLADDING MATERIALS

ROOF SLOPE	SURFACE	EFFECTIVE WIND AREA (sf)	WIND PRESSURE TOWARD SURFACE (psf)	WIND PRESSURE AWAY FROM SURFACE (psf)
0° TO 7°	ZONE 1 ROOF	10	10	17
		20	10	16
		50	10	16
		100	10	15
	ZONE 2 ROOF EDGES	10	10	28
		20	10	25
		50	10	21
		100	10	18
	ZONE 2 ROOF OVERHANG AT ROOF EDGES	10	0	24
		20	0	24
		50	0	23
		100	0	23
	ZONE 3 ROOF CORNERS	10	10	42
		20	10	35
		50	10	25
		100	10	18
	ZONE 3 ROOF OVERHANG AT ROOF CORNERS	10	0	40
		20	0	31
		50	0	20
		100	0	12
> 7° TO 27°	ZONE 1 ROOF	10	10	15
		20	10	15
		50	10	14
		100	10	14
	ZONE 2 ROOF EDGES	10	10	27
		20	10	25
		50	10	22
		100	10	20
	ZONE 2 ROOF OVERHANG AT ROOF EDGES	10	0	31
		20	0	31
		50	0	31
		100	0	31
	ZONE 3 ROOF CORNERS	10	10	39
		20	10	37
		50	10	33
		100	10	31
	ZONE 3 ROOF OVERHANG AT ROOF CORNERS	10	0	53
		20	0	47
		50	0	41
		100	0	36
> 27° TO 45°	ZONE 1 ROOF	10	15	17
		20	15	16
		50	14	15
		100	14	14
	ZONE 2 ROOF EDGES	10	15	20
		20	15	19
		50	14	18
		100	14	17
	ZONE 2 ROOF OVERHANG AT ROOF EDGES	10	0	28
		20	0	28
		50	0	26
		100	0	25
	ZONE 3 ROOF CORNERS	10	15	20
		20	15	19
		50	14	18
		100	14	17
	ZONE 3 ROOF OVERHANG AT ROOF CORNERS	10	0	28
		20	0	28
		50	0	26
		100	0	26
NA	ZONE 4 WALL	10	17	18
		20	16	17
		50	15	16
		100	14	16
		500	13	14
	ZONE 5 WALL CORNERS	10	17	22
		20	16	21
		50	15	19
		100	14	17
		500	13	14

HOT WEATHER MASONRY CONSTRUCTION REQUIREMENTS

	CONSTRUCTION - BASED ON AMBIENT TEMPERATURES	PROTECTION - BASED ON ANTICIPATED MEAN DAILY TEMPERATURES
BELOW 90°F	1. NORMAL MASONRY PROCEDURES	1. NORMAL MASONRY PROCEDURES
90°F - 105°F	1. MAINTAIN SAND PILES IN A DAMP, LOOSE CONDITION. 2. PROVIDE NECESSARY CONDITIONS AND EQUIPMENT TO PRODUCE MORTAR HAVING A TEMPERATURE BELOW 120°F. 3. MAINTAIN TEMPERATURE OF MORTAR AND GROUT BELOW 120°F. 4. FLUSH MIXER, MORTAR TRANSPORT CONTAINER, AND MORTAR BOARDS WITH COOL WATER BEFORE THEY COME INTO CONTACT WITH MORTAR INGREDIENTS OR MORTAR. 5. MAINTAIN MORTAR CONSISTENCY BY RETEMPERING WITH COOL WATER. 6. USE MORTAR WITHIN 2 HOURS OF INITIAL MIXING.	1. FOG SPRAY NEWLY CONSTRUCTED MASONRY UNTIL DAMP, AT LEAST THREE TIMES A DAY UNTIL THE MASONRY IS THREE DAYS OLD.
ABOVE 105°F	1. MAINTAIN SAND PILES IN A DAMP, LOOSE CONDITION. 2. PROVIDE NECESSARY CONDITIONS AND EQUIPMENT TO PRODUCE MORTAR HAVING A TEMPERATURE BELOW 120°F. 3. SHADE MATERIALS AND MIXING EQUIPMENT FROM DIRECT SUNLIGHT. 4. USE COOL MIXING WATER FOR MORTAR AND GROUT. ICE IS PERMITTED IN THE MIXING WATER PRIOR TO USE. DO NOT PERMIT ICE IN THE MIXING WATER WHEN ADDED TO THE OTHER MORTAR OR GROUT MATERIALS.	1. FOG SPRAY NEWLY CONSTRUCTED MASONRY UNTIL DAMP, AT LEAST THREE TIMES A DAY UNTIL THE MASONRY IS THREE DAYS OLD.

COLD WEATHER MASONRY CONSTRUCTION REQUIREMENTS

	CONSTRUCTION - BASED ON AMBIENT TEMPERATURES	PROTECTION - BASED ON ANTICIPATED MEAN DAILY TEMPERATURES
ABOVE 40°F	1. NORMAL MASONRY PROCEDURES	1. NORMAL MASONRY PROCEDURES
40°F - 32°F	1. HEAT MORTAR AND MIXING WATER TO PRODUCE MORTAR TEMPERATURE BETWEEN 40°F AND 120°F AT TIME OF MIXING. MAINTAIN MORTAR ABOVE 40°F UNTIL USED IN MASONRY. 2. KEEP GROUT AGGREGATES ABOVE 32°F.	1. COVER TOP 2 FEET OF UNFINISHED MASONRY WORK WITH A WATER RESISTIVE MEMBRANE FOR AT LEAST 24 HOURS AND AT THE END OF EACH DAY'S WORK.
32°F - 25°F	1. HEAT MORTAR AND MIXING WATER TO PRODUCE MORTAR TEMPERATURE BETWEEN 40°F AND 120°F AT TIME OF MIXING. MAINTAIN MORTAR ABOVE 40°F UNTIL USED IN MASONRY. 2. HEAT GROUT AGGREGATES AND MIXING WATER TO PRODUCE GROUT TEMPERATURE BETWEEN 70°F AND 120°F AT TIME OF MIXING. 3. MAINTAIN GROUT TEMPERATURES ABOVE 70°F AT TIME OF PLACEMENT.	1. COVER TOP 2 FEET OF UNFINISHED MASONRY WORK WITH A WATER RESISTIVE MEMBRANE FOR AT LEAST 24 HOURS AND AT THE END OF EACH DAY'S WORK.
25°F - 20°F	1. HEAT MORTAR AND MIXING WATER TO PRODUCE MORTAR TEMPERATURE BETWEEN 40°F AND 120°F AT TIME OF MIXING. MAINTAIN MORTAR ABOVE 40°F UNTIL USED IN MASONRY. 2. HEAT GROUT AGGREGATES AND MIXING WATER TO PRODUCE GROUT TEMPERATURE BETWEEN 70°F AND 120°F AT TIME OF MIXING. 3. MAINTAIN GROUT TEMPERATURES ABOVE 70°F AT TIME OF PLACEMENT. 4. HEAT MASONRY SURFACES UNDER CONSTRUCTION OT 40°F, AND USE WIND BREAKS OR ENCLOSURES WHEN WIND VELOCITY EXCEEDS 15 MPH. 5. HEAT MASONRY TO A MINIMUM OF 40°F PRIOR TO GROUTING.	1. COVER NEWLY CONSTRUCTED MASONRY (LESS THAN 48 HOURS OLD) COMPLETELY WITH WEATHER-RESISTIVE INSULATING BLANKETS, OR EQUAL PROTECTION. FOR AT LEAST 48 HOURS AFTER CONSTRUCTION OF WORK.
BELOW 20°F	1. HEAT MORTAR AND MIXING WATER TO PRODUCE MORTAR TEMPERATURE BETWEEN 40°F AND 120°F AT TIME OF MIXING. MAINTAIN MORTAR ABOVE 40°F UNTIL USED IN MASONRY. 2. HEAT GROUT AGGREGATES AND MIXING WATER TO PRODUCE GROUT TEMPERATURE BETWEEN 70°F AND 120°F AT TIME OF MIXING. 3. MAINTAIN GROUT TEMPERATURES ABOVE 70°F AT TIME OF PLACEMENT. 4. HEAT MASONRY SURFACES UNDER CONSTRUCTION OT 40°F, AND USE WIND BREAKS OR ENCLOSURES WHEN WIND VELOCITY EXCEEDS 15 MPH. 5. HEAT MASONRY TO A MINIMUM OF 40°F PRIOR TO GROUTING. 6. PROVIDE AN ENCLOSURE AND AUXILIARY HEAT TO MAINTAIN AIR TEMPERATURE ABOVE 40°F IN ENCLOSURE.	1. COVER NEWLY CONSTRUCTED MASONRY (LESS THAN 48 HOURS OLD) COMPLETELY WITH WEATHER-RESISTIVE INSULATING BLANKETS, OR EQUAL PROTECTION, FOR AT LEAST 48 HOURS AFTER CONSTRUCTION OF WORK. 2. MAINTAIN NEWLY CONSTRUCTED MASONRY (LESS THAN 48 HOURS OLD) ABOVE 32°F FOR AT LEAST 48 HOURS AFTER BEING CONSTRUCTED USING HEATED ENCLOSURES OR OTHER ACCEPTABLE METHODS. 3. PROVIDE HIGH-LOW RECORDING THERMOMETERS TO DOCUMENT TEMPERATURES OR MASONRY.

NOTES:
1. DO NOT LAY MASONRY UNITS HAVING EITHER A TEMPERATURE BELOW 40°F OR CONTAINING FROZEN MOISTURE, VISIBLE ICE, OR SNOW ON THEIR SURFACE.
2. REMOVE VISIBLE ICE AND SNOW FROM THE TOP SURFACE OF EXISTING FOUNDATIONS AND MASONRY TO RECEIVE NEW CONSTRUCTION. HEAT THESE SURFACES ABOVE FREEZING USING METHODS THAT DO NOT RESULT IN DAMAGE.
3. DO NOT LAY GLASS MASONRY WHEN THE AMBIENT TEMPERATURE IS BELOW 40°F.

REV.	DATE	ITEM

NOTICE

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BEDFORD CENTRAL SCHOOL DISTRICT
CAPITAL IMPROVEMENTS - BOND PHASE 2
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DESIGN DATA AND GENERAL NOTES

PROJECT

DWG TITLE

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SED No. 66-01-02-06-0-007-013
DISTRICT BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT CAPITAL IMPROVEMENTS - BOND PHASE 2
DWG TITLE DESIGN DATA AND GENERAL NOTES

SCALE: AS NOTED
DATE: APRIL 2024
BID PICK-UP: FEBRUARY 24, 2025
FILE No: 23-131b FLMS

S0.02

STATEMENT OF SPECIAL INSPECTIONS:

SPECIAL INSPECTION NOTES:

1. THE SCHEDULE OF SPECIAL INSPECTIONS, AND SPECIAL INSPECTION NOTES INDICATE THE REQUIRED STRUCTURAL TESTS AND INSPECTIONS FOR THE PROJECT AND SHALL BE CONSIDERED THE STATEMENT OF SPECIAL INSPECTIONS. THE FOLLOWING TYPES OF CONSTRUCTION REQUIRE INSPECTION:

   A. SOILS AND FOUNDATIONS
   B. CAST-IN-PLACE CONCRETE
   C. COLD-FORMED METAL FRAMING
   D. MASONRY
   E. STRUCTURAL STEEL

2. THE OWNER WILL ENGAGE THE SERVICES OF A QUALIFIED SPECIAL INSPECTOR FOR THIS PROJECT, WHO WILL PROVIDE AND/OR COORDINATE INSPECTION AND TESTING REQUIREMENTS IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 17 OF THE "2020 BUILDING CODE OF NEW YORK STATE".

3. STRUCTURAL TESTS AND SPECIAL INSPECTIONS SHALL BE PROVIDED IN ACCORDANCE WITH THE "2020 BUILDING CODE OF NEW YORK STATE" AND AS INDICATED IN THE SCHEDULE OF SPECIAL INSPECTIONS. THE SPECIAL INSPECTOR, INSPECTION AGENT OR TESTING AGENT SHALL BE A QUALIFIED PERSON OR AGENCY WHO HAVE RELEVANT CERTIFICATIONS, QUALIFICATIONS AND EXPERIENCE FOR EACH CATEGORY OF TESTING OR INSPECTION TO BE PERFORMED. ALL PERSONNEL PERFORMING SPECIAL INSPECTIONS AND TESTING ARE SUBJECT TO THE APPROVAL OF THE CODE ENFORCEMENT OFFICIAL. SUBMIT CREDENTIALS OF SPECIAL INSPECTORS AND TESTING TECHNICIANS FOR REVIEW WHEN REQUESTED.

4. THE SPECIAL INSPECTOR SHALL BE A PROFESSIONAL ENGINEER EXPERIENCED IN THE DESIGN OF BUILDINGS AND REGISTERED IN THE STATE OF NEW YORK.

5. THE CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION MEETING AT LEAST 7 DAYS PRIOR TO THE START OF CONSTRUCTION TO REVIEW THE REQUIRED SPECIAL INSPECTION AND TESTING REQUIREMENTS, NOTIFICATIONS, AND REPORTING PROCEDURES FOR THE PROJECT. ATTENDEES SHALL INCLUDE THE REGISTERED DESIGN PROFESSIONAL FOR STRUCTURAL ENGINEERING AND FOR ARCHITECTURE, OWNER OR OWNER'S REPRESENTATIVE, SPECIAL INSPECTOR, TESTING AGENCY, AND AFFECTED SUB-CONTRACTORS. THE CONTRACTOR SHALL DISTRIBUTE CONSTRUCTION SCHEDULES TO EACH ATTENDEE.

6. SPECIAL INSPECTIONS AND TESTING SHALL BE PERFORMED ON A CONTINUOUS OR PERIODIC BASIS DURING THE PERFORMANCE OF THE WORK, AS INDICATED IN THE SCHEDULE. CONTINUOUS AND PERIODIC INSPECTIONS SHALL BE DEFINED AS FOLLOWS:

   A. CONTINUOUS SPECIAL INSPECTION IS THE FULL TIME OBSERVATION OF WORK WHILE THE WORK IS BEING PERFORMED.

   B. PERIODIC SPECIAL INSPECTION IS THE PART-TIME OBSERVATION OF WORK WHILE THE WORK IS BEING PERFORMED OR AFTER IT HAS BEEN COMPLETED.

7. THE CONTRACTOR SHALL NOTIFY THE SPECIAL INSPECTOR OR TESTING AGENCY AT LEAST 48 HOURS IN ADVANCE OF A REQUIRED INSPECTION OR TEST.

8. THE CONTRACTOR SHALL COOPERATE WITH SPECIAL INSPECTOR AND TESTING AGENCIES INCLUDING ADVANCE NOTIFICATION OF REQUIRED INSPECTION OR TEST, PROVIDING INCIDENTAL LABOR, AND SAFE ACCESS TO THE WORK AREAS INCLUDING SCAFFOLDING, AND ACCESS TO CONTRACT DOCUMENTS SO THAT INSPECTIONS AND TESTING MAY BE PERFORMED WITHOUT HINDRANCE.

9. THE SPECIAL INSPECTOR SHALL NOTIFY THE CONTRACTOR IMMEDIATELY OF DISCREPANCIES FOR CORRECTIVE ACTION. REPORTS SHALL NOTE WHEN AND HOW DEFICIENCIES WERE CORRECTED. ITEMS IMMEDIATELY CORRECTED AND SUBSEQUENTLY INSPECTED OR TESTED NEED NOT BE IDENTIFIED AS A NON-CONFORMANCE ITEM.

10. IF NON-CONFORMING WORK IS NOT CORRECTED WHILE SPECIAL INSPECTOR OR TESTING AGENT IS ON SITE, SPECIAL INSPECTOR OR TESTING AGENT SHALL NOTIFY REGISTERED DESIGN PROFESSIONAL AND CODE ENFORCEMENT OFFICIAL WITHIN 24 HOURS AND ISSUE A REPORT NOTING THE NON-CONFORMANCE.

11. CONTRACTOR SHALL PERFORM REMEDIAL/CORRECTIVE WORK IF REQUIRED AND SIGN NON-CONFORMANCE OR FIELD REPORTS STATING REMEDIAL/CORRECTIVE WORK HAS BEEN COMPLETED. CONTRACTOR SHALL SUBMIT SIGNED REPORTS TO THE REGISTERED DESIGN PROFESSIONAL AND SPECIAL INSPECTOR AS WORK PROCEEDS.

12. THE SPECIAL INSPECTOR OR TESTING AGENCY SHALL SUBMIT INTERIM REPORTS TO THE REGISTERED DESIGN PROFESSIONAL, CODE ENFORCEMENT OFFICIAL, AND SPECIAL INSPECTOR (IF PREPARED BY A TESTING AGENCY) WITHIN 7 DAYS OF INSPECTION. REPORTS SHALL BE SIGNED BY THE PERSON PERFORMING THE INSPECTION OR TEST AND THE PERSON SUPERVISING.

13. SPECIAL INSPECTOR AND EACH TESTING AGENT SHALL USE A LOG TO RECORD AND TRACK NON-CONFORMING WORK DURING CONSTRUCTION. AN UPDATED LOG SHALL BE ATTACHED TO EACH REPORT. NON-CONFORMANCE LOG SHALL INCLUDE THE FOLLOWING INFORMATION:

    -DESCRIPTION OF NON-CONFORMANCE
    -DATE OF NON-CONFORMANCE
    -DESCRIPTION OF RDP RESPONSE, IF RECEIVED
    -STATUS OF NON-CONFORMANCE: 'OPEN' OR 'CLOSED'.

14. IF NON-CONFORMING WORK IS NOT CORRECTED AT TIME OF SUBSTANTIAL COMPLETION OF STRUCTURE OR OTHER APPROPRIATE TIME, SPECIAL INSPECTOR SHALL NOTIFY CODE ENFORCEMENT OFFICIAL AND REGISTERED DESIGN PROFESSIONAL.

15. AT THE COMPLETION OF SPECIAL INSPECTIONS, A FINAL REPORT OF SPECIAL INSPECTIONS SHALL BE PREPARED BY THE SPECIAL INSPECTOR AND EACH TESTING AGENCY PERFORMING INSPECTIONS. THE FINAL REPORT SHALL INDICATE THE INSPECTIONS PERFORMED, NON-CONFORMANCES HAVE BEEN REPORTED AND RESOLVED OR IDENTIFY ANY UNRESOLVED NON-CONFORMANCE ITEMS. THE FINAL REPORT SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL(S), CODE ENFORCEMENT OFFICIAL, AND SPECIAL INSPECTOR (IF PREPARED BY A TESTING AGENCY).

16. THE SPECIAL INSPECTION PROGRAM SHALL IN NO WAY RELIEVE THE CONTRACTOR OF THE OBLIGATION TO PERFORM THE WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS OR FROM IMPLEMENTING AN EFFECTIVE QUALITY CONTROL PROGRAM.

17. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION SITE SAFETY.

SCHEDULE OF SPECIAL INSPECTIONS:

SOILS and FOUNDATIONS:

INSPECTION TASK	REFERENCED STANDARD	INSPECTION FREQUENCY	TESTING/INSPECTION QUANTITY AND EXTENT
1. VERIFY SITE PREPARATION IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL EVALUATION:			
A. IDENTIFY SOILS REQUIRING UNDERCUTTING AND REPLACING WHILE OBSERVING PROOF ROLLING AND WHEN SUBGRADE IS EXPOSED.		CONT	
B. VERIFY FOOTING BEARING STRATA		PERIODIC	
C. REVIEW AND ACCEPT FILL MATERIALS		PERIODIC	
D. OBSERVE AND ACCEPT BACKFILLING AND COMPACTION PROCEDURES		CONT	
E. OBSERVE AND ACCEPT PREPARATION OF SLAB SUBGRADE AND SUBBASE		CONT	
F. VERIFY USE OF FILL MATERIAL AND LIFT THICKNESS IN FIELD		PERIODIC	
2. COMPACTION AND MOISTURE CONTENT TESTING:	ASTM D 1557 ASTM D 6938		
A. TEST OF SUBGRADE AT FOOTINGS			EACH SPREAD FOOTING AND EACH 20-FOOT LENGTH OF STRIP FOOTING
B. TEST OF SUBGRADE AND SUBBASE BELOW SLABS			EACH 2000 SF OF SLAB-ON-GRADE, BUT NOT LESS THAN 4 TESTS
C. FILL MATERIALS			EACH 2000 SF OF BUILDING AREA, BUT NOT LESS THAN 4 TESTS FOR EACH LIFT

CAST-IN-PLACE CONCRETE:

INSPECTION TASK	REFERENCED STANDARD	INSPECTION FREQUENCY	TESTING/INSPECTION QUANTITY AND EXTENT
1. INSPECT REINFORCING STEEL, INCLUDING SIZE, SPACING AND PLACEMENT			
A. FOOTINGS, FOUNDATION WALLS AND PIERS		PERIODIC	50% OF FOOTINGS
B. SLABS ON GRADE		PERIODIC	50% OF SLAB AREA
C. SLABS ON DECK		PERIODIC	50% OF SLAB AREA
D. STRUCTURAL SLABS		PERIODIC	100% OF SLAB
2. INSPECT ANCHOR RODS PRIOR TO PLACEMENT OF CONCRETE			
A. AT COLUMN BASE PLATES, BEAM POCKETS AND ELSEWHERE WHERE ANCHORS ARE SUBJECT TO SHEAR OR TENSION		PERIODIC	50% OF ANCHORS
B. AT COLUMNS IN BRACED FRAMES		PERIODIC	100% OF ANCHORS
3. VERIFY USE OF ACCEPTED DESIGN MIX			
4. SAMPLE AND TEST FRESH CONCRETE	ASTM C 172 ASTM C 31 ASTM C 94	CONT	
A. TAKE SIX CYLINDERS			EACH 50 CY OR EACH 5,000 SF OF SLAB FOR EACH CLASS OF CONCRETE
B. RECORD TIME CONCRETE IS BATCHED, SAMPLED AND TRUCK IS EMPTY			EACH TRUCK
C. PERFORM SLUMP TEST			ONE TEST EACH TRUCK; TWO TESTS IF CONCRETE IS PUMPED - ONE AT TRUCK AND ONE AT HOSE END
D. MEASURE AIR CONTENT	ASTM C 231		EACH TRUCK
E. RECORD CONCRETE AND AMBIENT AIR TEMPERATURE			EACH TRUCK
F. RECORD UNIT WEIGHT OF CONCRETE	ASTM C 138 ASTM C 567		1 TEST EACH CLASS OF CONCRETE FOR EACH DAY
G. PERFORM COMPRESIVE STRENGTH TESTS	ASTM C 39		TEST 2 CYLINDERS AT 7 DAYS AND AT 28 DAYS - RETAIN REMAINING CYLINDERS & TEST AS DIRECTED
5. INSPECT CONCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES	ACI 318 5.9, 5.10	CONT	EACH PLACEMENT
6. INSPECT FOR MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES	ACI 318 5.11, 5.13	PERIODIC	EACH PLACEMENT
7. INSPECT AND TEST CONCRETE SLABS ON GRADE AND METAL DECK			
A. FLOOR FLATNESS AND LEVELNESS	ASTM E 1155	PERIODIC	ENTIRE SLAB AREA
B. MOISTURE VAPOR EMISSION AND ALKALINITY	ASTM F 1869 ASTM F 710	PERIODIC	ENTIRE SLAB AREA
8. INSPECT WELDING OF REINFORCING STEEL	AWS D1.4		SEE STEEL SPECIAL INSPECTION TABLE

STRUCTURAL STEEL, STEEL JOIST, JOIST GIRDERS, AND METAL DECK:

INSPECTION TASK	REFERENCED STANDARD	INSPECTION FREQUENCY	TESTING/INSPECTION QUANTITY AND EXTENT
1. VERIFY FABRICATOR(S) MAINTAINS DETAILED FABRICATION AND QUALITY CONTROL PROCEDURES	AISC 360-10 CHAPTER N	PERIODIC	
2. MATERIAL VERIFICATION OF HIGH-STRENGTH BOLTS, NUTS, AND WASHERS:		PERIODIC	ALL BOLTS
A. IDENTIFICATION MARKINGS TO CONFORM TO ASTM STANDARDS SPECIFIED IN THE APPROVED CONSTRUCTION DOCUMENTS			
B. MANUFACTURE'S CERTIFICATE OF COMPLIANCE			
C. TEST 3-HIGH STRENGTH BOLT ASSEMBLIES FROM EACH LOT FOR USE AT PRETENSIONED AND SLIP CRITICAL JOINTS.			
3. INSPECTION OF HIGH-STRENGTH BOLTSING:	AISC 360-10 N5.6		
A. BEARING TYPE CONNECTIONS		PERIODIC	100% OF JOINTS
B. SLIP-CRITICAL CONNECTIONS, INCLUDING PREPARATION OF THE FAYING SUFACES AND TIGHTENING		CONT	
4. MATERIAL VERIFICATION OF STRUCTURAL STEEL AND METAL DECK:	ASTM A 6, A 568 OR A 653		
A. IDENTIFICATION MARKINGS TO CONFORM TO ASTM STANDARDS SPECIFIED IN CONSTRUCTION DOCUMENTS		PERIODIC	100% OF JOINTS
B. MANUFACTURER'S CERTIFIED MILL TEST REPORTS REQUIRED		PERIODIC	100% OF JOINTS
5. MATERIAL VERIFICATION OF WELD FILLER MATERIALS:	AISC 360-10 A3.5		
A. IDENTIFICATION MARKINGS TO CONFORM TO AWS SPECIFIED IN CONSTRUCTION DOCUMENTS		CONT	
B. MANUFACTURER'S CERTIFICATE OF COMPLIANCE REQUIRED			
6. INSPECTION OF WELDING OF STRUCTURAL STEEL:	AISC 360-10, N5.4, N5.5 AWS D1.1		
A. COMPLETE AND PARTIAL PENETRATION GROOVE WELDS. 100% VISUAL INSPECTION AND 10% ULTRASONIC TESTING	ASTM E 587	PERIODIC	CONTINUOUS INSPECTION FOR UT TESTING
B. FILLET WELDS. 100% VISUAL INSPECTION AND 10% MAGNETIC PARTICAL TESTING	ASTM E 709 AWS D1.1		
1. SINGLE PASS (5/16 OR LESS)		PERIODIC	
2. MULTIPASS (GREATER THAN 5/16)		CONT	
C. METAL DECK WELDS	AWS D1.3		50% OF WELDS
D. SHEAR CONNECTOR WELDS	AISC 360-10 N6	PERIODIC	VERIFY 50% OF CONNECTOR WELDS. HAMMER BEND TEST TO BE PERFORMED BY CONTRACTOR
7. INSPECTION OF ERECTED STEEL FRAME:	AISC 360-10 N5.7	PERIODIC	100% OF FRAME
A. JOINT DETAILS FOR COMPLIANCE WITH ACCEPTED CONSTRUCTION DOCUMENTS			
B. BRACED FRAMES AND MOMENT FRAMES			
C. APPLICATION OF JOINT DETAILS AT EACH JOINT			
8. INSPECT CONDITION OF ERECTED MATERIALS		PERIODIC	100% OF MATERIALS
9. VERIFY COLUMN PLUMBNESS AND SPLICES		PERIODIC	100% OF COLUMNS
10. INSPECTION OF METAL DECK, INCLUDING SIZE AND SPACING OF MECHANICAL FASTENERS	AISC 360-10 N6	PERIODIC	100% OF DECK

MASONRY (LEVEL C):

INSPECTION TASK	REFERENCED STANDARD	INSPECTION FREQUENCY	TESTING/INSPECTION QUANTITY AND EXTENT
1. AS MASONRY CONSTRUCTION BEGINS, VERIFY THE FOLLOWING TO ENSURE COMPLIANCE WITH CONTRACT DOCUMENTS:			
A. PROPORTION OF SITE PREPARED MORTAR	TMS 602 ART 2.6A	PERIODIC	FIRST 5 DAYS OF MASONRY CONSTRUCTION AND TWICE PER WEEK FOR EVERY 2,500 SF OF WALL
B. PLACEMENT OF MASONRY UNITS AND CONSTRUCTION OF MORTAR JOINTS	TMS 602 ART 3.5B	PERIODIC	FIRST 3 DAYS OF MASONRY CONSTRUCTION AND TWICE PER WEEK FOR EVERY 2,500 SF OF WALL
C. LOCATION OF REINFORCEMENT AND CONNECTORS	TMS 602 ART 3.4, 3.6A	PERIODIC	50% OF WALL
2. PRIOR TO GROUTING, VERIFY THE FOLLOWING ARE IN COMPLIANCE:			
A. GROUT SPACE	TMS 602 ART 3.2 D & F	CONT	
B. GRADE, TYPE AND SIZE OF REINFORCMENT AND ANCHOR BOLTS	TMS 602 ART 2.4, 3.4	PERIODIC	
C. PLACEMENT OR REINFORCEMENT, AND CONNECTORS	TMS 602-ART 3.2E, 3.4, 3.6A	CONT	
D. PROPORTIONS OF SITE PREPARED GROUT	TMS 602 ART 2.6B	PERIODIC	
E. CONSTRUCTION OF MORTAR JOINTS	TMS 602 ART 3.3B	PERIODIC	
3. VERIFY THE FOLLOWING DURING CONSTRUCTION:			
A. SIZE AND LOCATION OF STRUCTURAL ELEMENTS	TMS 602 ART 3.3F	PERIODIC	
B. TYPE SIZE AND LOCATION OF ANCHORS, INCLUDING DETAILS OF ANCHORAGE TO STRUCTURAL MEMBERS, FRAMES AND OTHER CONSTRUCTION	TMS 402 - Sec 1.2.1(e), 6.1.4.3, 6.2.1	CONT	
C. PLACEMENT OF GROUT	TMS 602 ART 3.5	CONT	
D. PROTECTION OF MASONRY DURING HOT AND COLD WEATHER	TMS 602 ART 1.8C & D	PERIODIC	
4. OBSERVE PREPARATION OF GROUT SPECIMENS, MORTAR SPECIMENS, AND/OR PRISMS	TMS 602 - ART 1.2B, 1.4B.3, 1.4B.4	CONT	

COLD FORMED METAL FRAMING:

INSPECTION TASK	REFERENCED STANDARD	INSPECTION FREQUENCY	TESTING/INSPECTION QUANTITY AND EXTENT
1. VERIFY FABRICATOR MAINTAINS DETAILED FABRICATION AND QUALITY CONTROL PROCEDURES FOR PREFABRICATED WALL PANELS		PERIODIC	EACH FABRICATOR
2. INSPECT FRAMING AS FOLLOWS:	ASTM A 90	PERIODIC	3 RANDOM TESTS FOR EACH MEMBER TYPE, SIZE, AND GAUGE
A. MEMBER SIZE AND MATERIAL THICKNESS			
B. WEIGHT OF GALVANIZING COATING			
3. VERIFY MATERIAL CONFORMS TO ASTM STANDARDS AND ACCEPTED CONSTRUCTION DOCUMENTS		PERIODIC	
4. INSPECT ERECTED FRAMING, CONNECTION AND CONNECTORS:			
A. JOINT DETAILS FOR COMPLIANCE WITH ACCEPED CONSTRUCTION DOCUMENTS		PERIODIC	50% OF JOINTS
B. STRAP BRACING AND HOLD DOWN CONNECTORS		PERIODIC	100% OF JOINTS
C. APPLICATION AT JOINT DETAIL AT EACH CONNECTION		PERIODIC	50% OF JOINTS
5. INSPECT WELDING OF COLD-FORMED METAL FRAMING	AWS D1.3	PERIODIC	50% OF WELDS
6. INSPECT CONDITION OF ERECTED FRAMING		PERIODIC	50% OF FRAMING

REV.	DATE	ITEM

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PROJECT: BEDFORD CENTRAL SCHOOL DISTRICT
CAPITAL IMPROVEMENTS - BOND PHASE 2
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE: SPECIAL INSPECTION NOTES AND SCHEDULE

DRAWING BY: AED
CHECK BY: AED

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SED No. 66-01-02-06-0-007-013
DISTRICT: BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT: CAPITAL IMPROVEMENTS - BOND PHASE 2
DWG TITLE: SPECIAL INSPECTION NOTES AND SCHEDULE

SCALE: AS NOTED
DATE: APRIL 2024
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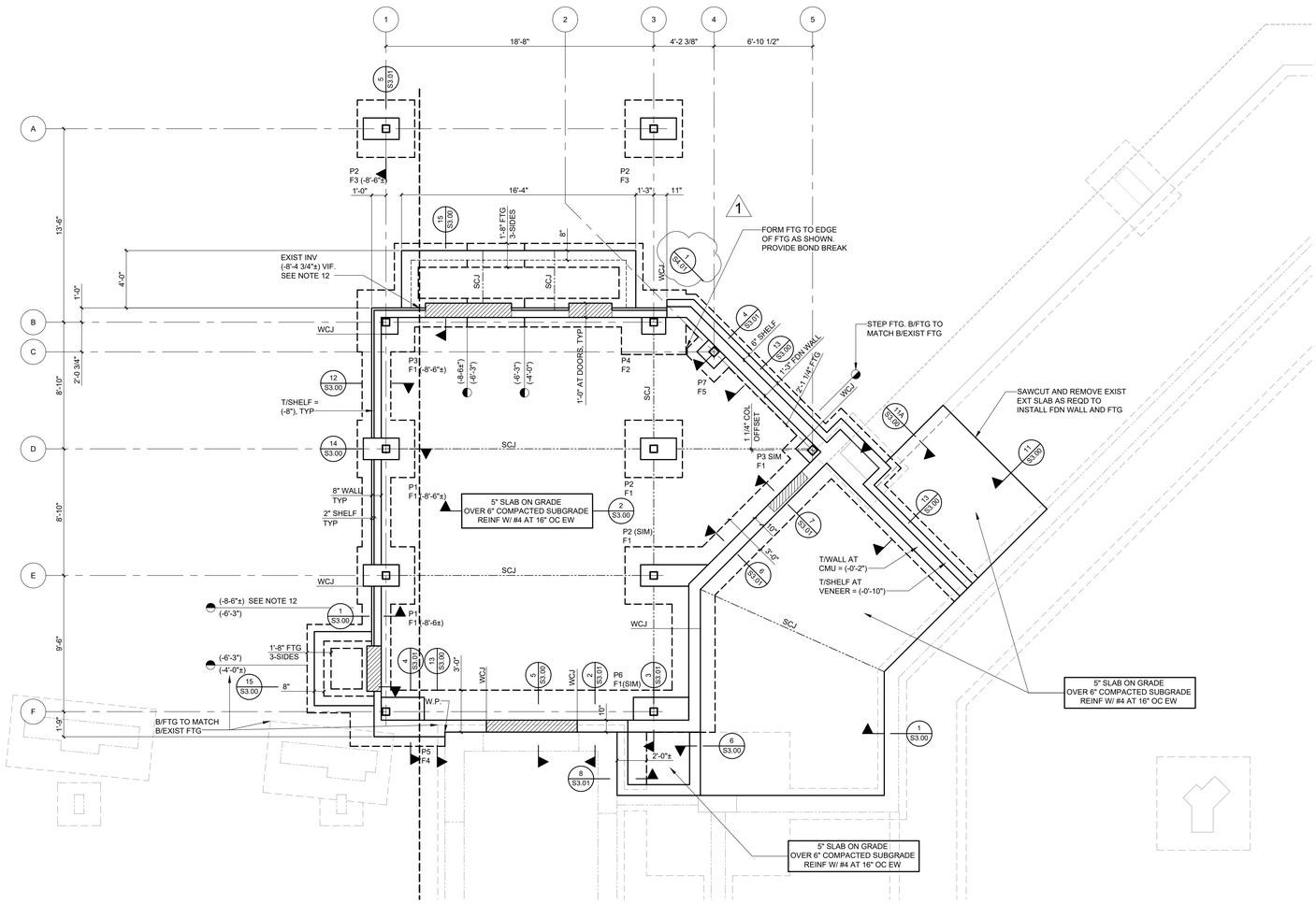
S0.03



ENTRY FOUNDATION PLAN

1/4" = 1'-0"

NOTES:

1. T/EXIST FINISHED FLOOR ELEVATION (522.30' ±) EQUALS REFERENCE ELEVATION (0'-0"). T/SLAB ELEVATION (0'-0"), TYPICAL UNLESS NOTED OTHERWISE.
2. ELEVATIONS NOTED THUS ( ) ARE WITH RESPECT TO (0'-0").
3. T/EXTERIOR FOOTING (-4'-0") TYPICAL UNLESS NOTE OTHERWISE. T/INTERIOR FOOTING (-2'-0") TYPICAL UNLESS NOTED OTHERWISE. F_ - INDICATES FOOTING TYPE. SEE S1.00 FOR FOOTING SCHEDULE.
4. T/WALL ELEVATION (-0'-2") TYPICAL UNLESS NOTED OTHERWISE. T/SHELF ELEVATION (-0'-5") TYPICAL UNLESS NOTED OTHERWISE.
5. T/PIER ELEVATION (-0'-8") TYPICAL UNLESS NOTED OTHERWISE. P_ INDICATES PIER TYPE. SEE S3.01 FOR PIER AND BASEPLATE DETAILS.
6. W.P. - INDICATES WORK POINT FOR ADDITION LAYOUT.
7. WCJ - INDICATES WALL CONTROL OR CONSTRUCTION JOINT LOCATION; ALIGN WITH MASONRY WALL CONTROL JOINTS. COORDINATE LOCATIONS WITH ARCHITECTURLA DRAWINGS.
8. SEE 8/S3.00 FOR WALL REINFORCING AT CORNERS AND INTERSECTIONS.
9. DRILL AND GROUT WALL AND FOOTING REINFORCING 6" INTO EXISTING FOUNDATIONS (TYPICAL, UNLESS NOTED OTHERWISE, FOR ALL LOCATIONS WHERE NEW FOUNDATIONS INTERFACE WITH EXISTING).
10. SLEEVE OPENINGS THROUGH WALLS AND SLABS AT PIPING AND CONDUIT; DO NOT CORE. COORDINATE SLEEVE SIZES, QUANTITIES, AND LOCATIONS WITH MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS. NOT ALL LOCATIONS ARE SHOWN ON THE STRUCTURAL DRAWINGS.
11. PROVIDE (1)#4X4'-0" LONG DIAGONAL BAR AT CORNERS AND OPENINGS IN SLABS ON GRADE.
12. STEP FOOTING TO LOCATE PIPE THROUGH FOUNDATION WALL. PROVIDE SLEEVE TO SUIT PIPE DIAMENTS. FIELD VERIFY EXISTING PIPE INVERT ELEVATION.
13. SEE S0.01 FOR ADDITIONAL NOTES.

FOUNDATION PLAN LEGEND

F#	INDICATES FOOTING TYPE OR DESIGNATION. SEE FOOTING SCHEDULE THIS DRAWING FOR SIZE AND REINFORCING. SEE DETAILS ON DRAWINGS S3.00 AND S3.01 FOR ADDITIONAL INFORMATION.
P#	INDICATES PIER TYPE OR DESIGNATION. SEE DRAWING 9/S3.01 FOR PIER DETAILS.
HIGH / LOW	INDICATES STEPPED FOOTING LOCATION AND ASSOCIATED T/FOOTING ELEVATIONS. SEE DETAIL 7/S3.00.
	INDICATES LOCATION OF RECESSED FOUNDATION WALL FOR SLAB OVERPOUR. T/WALL AT RECESS IS 8" BELOW T/SLAB SPECIFIED, UNLESS NOTED OTHERWISE. SEE DETAIL 5/S3.00, 6/S3.00, AND 15/S3.00 FOR ADDITIONAL INFORMATION.
SCJ	INDICATES SLAB CONTROL OR CONTRACTION JOINT LOCATION. VERIFY AND COORDINATE LOCATIONS WITH ARCHITECTURAL DRAWINGS. SEE TYPICAL DETAILS ON DRAWING S3.00 FOR MORE INFORMATION.
WCJ	INDICATES FOUNDATION WALL CONTROL OR CONSTRUCTION JOINT LOCATION. VERIFY AND COORDINATE LOCATIONS WITH ARCHITECTURAL DRAWINGS AND MASONRY WALL CONTROL JOINT LOCATIONS. SEE 9/S3.00 AND 10/S3.00 FOR MORE INFORMATION.

ENTRY COLUMN FOOTING SCHEDULE

MARK	SIZE	REINFORCING	REMARKS
F1	4'-0"X4'-0"X1'-0"	(5) #5 EA WAY	BOTTOM
F2	4'-6"X4'-6"X1'-0"	(6) #5 EA WAY	BOTTOM
F3	4'-0"X4'-0"X1'-6"	(5) #5 EA WAY	TOP AND BOTTOM
F4	6'-0"X4'-0"X1'-0"	#5 AT 1'-0" OC, EA WAY	BOTTOM
F5	3'-0"X3'-0"X1'-0"	(4) #4 EA WAY	BOTTOM

REV.	DATE	ITEM
01	03/12/2025	BID ADD. NO. 03

NOTICE

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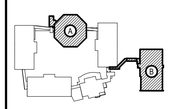

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

PROJECT

FOUNDATION PLAN

DWG TITLE

DRAWING BY: AED

CHECK BY: AED

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SED No. 66-01-02-06-0-007-013

DISTRICT BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT PHASE 2 - BOND IMPROVEMENTS

DWG TITLE FOUNDATION PLAN

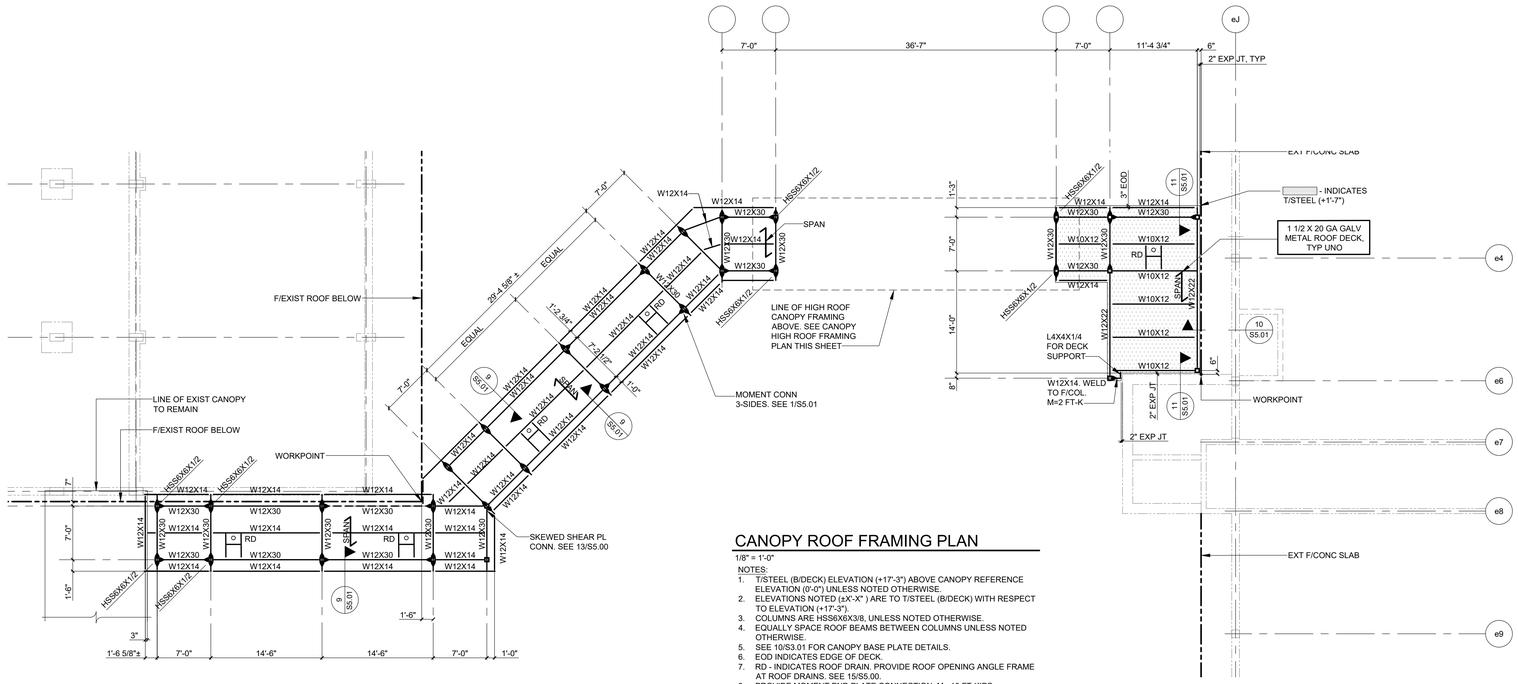
SCALE: AS NOTED

DATE: APRIL 2024

BID PICK-UP: FEBRUARY 24, 2025

FILE No: 23-131b FLMS

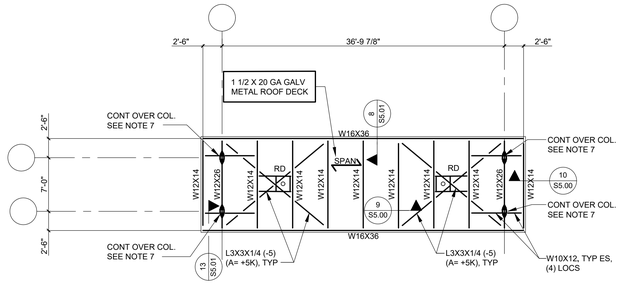
S1.00



CANOPY ROOF FRAMING PLAN

1/8" = 1'-0"

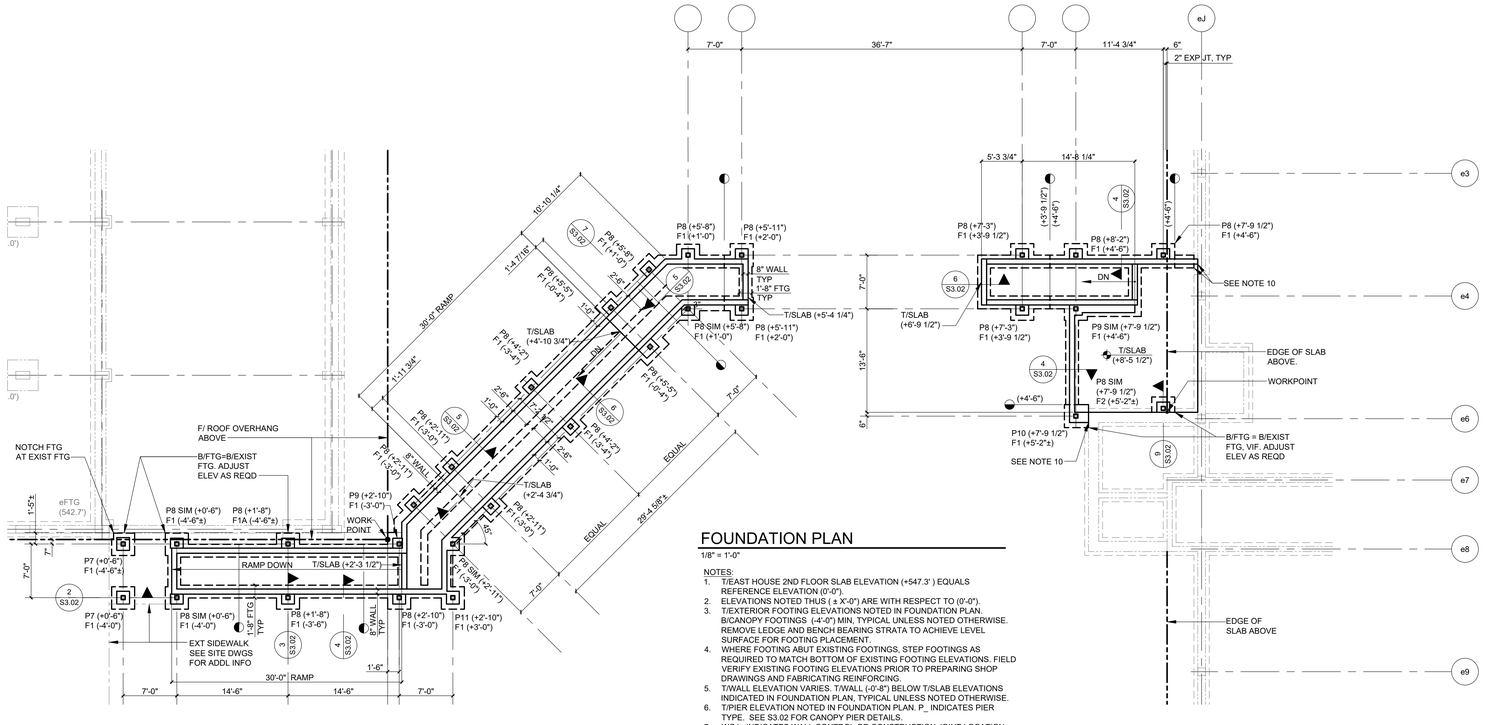
NOTES:
1. T/STEEL (B/DECK) ELEVATION (+17'-3") ABOVE CANOPY REFERENCE ELEVATION (0'-0") UNLESS NOTED OTHERWISE.
2. ELEVATIONS NOTED (±X'-X") ARE TO T/STEEL (B/DECK) WITH RESPECT TO ELEVATION (+17'-3").
3. COLUMNS ARE HSS6X6X3/8, UNLESS NOTED OTHERWISE.
4. EQUALLY SPACE ROOF BEAMS BETWEEN COLUMNS UNLESS NOTED OTHERWISE.
5. SEE 10/S3.01 FOR CANOPY BASE PLATE DETAILS.
6. EOD INDICATES EDGE OF DECK.
7. RD - INDICATES ROOF DRAIN. PROVIDE ROOF OPENING ANGLE FRAME AT ROOF DRAINS. SEE 15/S5.00.
8. PROVIDE MOMENT END PLATE CONNECTION, M= 10 FT-KIPS
9. SEE S0.01 FOR ADDITIONAL NOTES.



CANOPY HIGH ROOF FRAMING PLAN

1/8" = 1'-0"

NOTES:
1. T/STEEL (B/DECK) ELEVATION (+21'-2") ABOVE CANOPY REFERENCE ELEVATION (0'-0") UNLESS NOTED OTHERWISE.
2. ELEVATIONS NOTED (± X'-X") ARE TO T/STEEL (B/DECK) WITH RESPECT TO ELEVATION (+21'-2").
3. EQUALLY SPACE ROOF BEAMS BETWEEN COLUMNS UNLESS NOTED OTHERWISE.
4. SEE 10/S3.01 FOR CANOPY BASE PLATE DETAILS.
5. EOD INDICATES EDGE OF DECK.
6. RD - INDICATES ROOF DRAIN. PROVIDE ROOF OPENING ANGLE FRAME AT ROOF DRAINS. SEE15/S5.00.
7. PROVIDE MOMENT END PLATE CONNECTION, M= 10 FT-KIPS
8. SEE S0.01 FOR ADDITIONAL NOTES.



FOUNDATION PLAN

1/8" = 1'-0"

NOTES:
1. T/EAST HOUSE 2ND FLOOR SLAB ELEVATION (+547.3') EQUALS REFERENCE ELEVATION (0'-0").
2. ELEVATIONS NOTED THUS (± X'-0") ARE WITH RESPECT TO (0'-0").
3. T/EXTERIOR FOOTING ELEVATIONS NOTED IN FOUNDATION PLAN. B/CANOPY FOOTINGS (-4'-0") MIN, TYPICAL UNLESS NOTED OTHERWISE. REMOVE LEDGE AND BENCH BEARING STRATA TO ACHIEVE LEVEL SURFACE FOR FOOTING PLACEMENT.
4. WHERE FOOTING ABUT EXISTING FOOTINGS, STEP FOOTINGS AS REQUIRED TO MATCH BOTTOM OF EXISTING FOOTING ELEVATIONS. FIELD VERIFY EXISTING FOOTING ELEVATIONS PRIOR TO PREPARING SHOP DRAWINGS AND FABRICATING REINFORCING.
5. T/WALL ELEVATION VARIES. T/WALL (-0'-8") BELOW T/SLAB ELEVATIONS INDICATED IN FOUNDATION PLAN, TYPICAL UNLESS NOTED OTHERWISE.
6. T/PIER ELEVATION NOTED IN FOUNDATION PLAN. P_ INDICATES PIER TYPE. SEE S3.02 FOR CANOPY PIER DETAILS.
7. WCJ = INDICATES WALL CONTROL OR CONSTRUCTION JOINT LOCATION.
8. SEE 8/S3.00 FOR WALL REINFORCING AT CORNERS AND INTERSECTIONS.
9. SEE 3/S3.00 AND 4/S3.00 FOR SLAB-ON-GRADE CONSTRUCTION AND CONTRACTION JOINTS.
10. DRILL AND ADHESIVE ANCHOR WALL AND FOOTING REINFORCING 6" INTO EXISTING FOUNDATIONS (TYPICAL, UNLESS NOTED OTHERWISE, FOR ALL LOCATIONS WHERE NEW FOUNDATIONS INTERFACE WITH EXISTING).
11. SEE S0.01 FOR ADDITIONAL NOTES.

FOUNDATION PLAN LEGEND

F#	INDICATES FOOTING TYPE OR DESIGNATION. SEE FOOTING SCHEDULE THIS DRAWING FOR SIZE AND REINFORCING. SEE DETAILS ON DRAWINGS S3.02 FOR ADDITIONAL INFORMATION.
P#	INDICATES CANOPY PIER TYPE OR DESIGNATION. SEE CANOPY PIER DETAILS 1/S3.02 FOR PIER DETAILS.
HIGH / LOW	INDICATES STEPPED FOOTING LOCATION AND ASSOCIATED T/FOOTING ELEVATIONS. SEE DETAIL 11/S301 FOR ADDITIONAL INFORMATION.
SCJ	INDICATES SLAB CONTROL OR CONTRACTION JOINT LOCATION. VERIFY AND COORDINATE LOCATIONS WITH ARCHITECTURAL DRAWINGS.
WCJ	INDICATES FOUNDATION WALL CONTROL OR CONSTRUCTION JOINT LOCATION.

CANOPY COLUMN FOOTING SCHEDULE

MARK	SIZE	REINFORCING	REMARKS
F1	3'-0"X3'-0"X1'-0"	(4) #4 EA WAY	TOP AND BOTTOM
F1A	3'-0"X3'-0"X1'-10"	(4) #4 EA WAY	TOP AND BOTTOM
F2	2'-0"X3'-0"X1'-10"	#5 AT 1'-0" OC, EA WAY	TOP AND BOTTOM
F3	4'-0"X10'-0"X1'-3"	#5 AT 1'-0" OC, EA WAY	TOP AND BOTTOM
F4	3'-0"X10'-0"X1'-3"	#5 AT 1'-0" OC, EA WAY	TOP AND BOTTOM

REV.	DATE	ITEM

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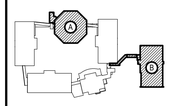

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

CANOPY FOUNDATION AND ROOF FRAMING PLANS

PROJECT

DWG TITLE

DRAWING BY:	AED
CHECK BY:	AED

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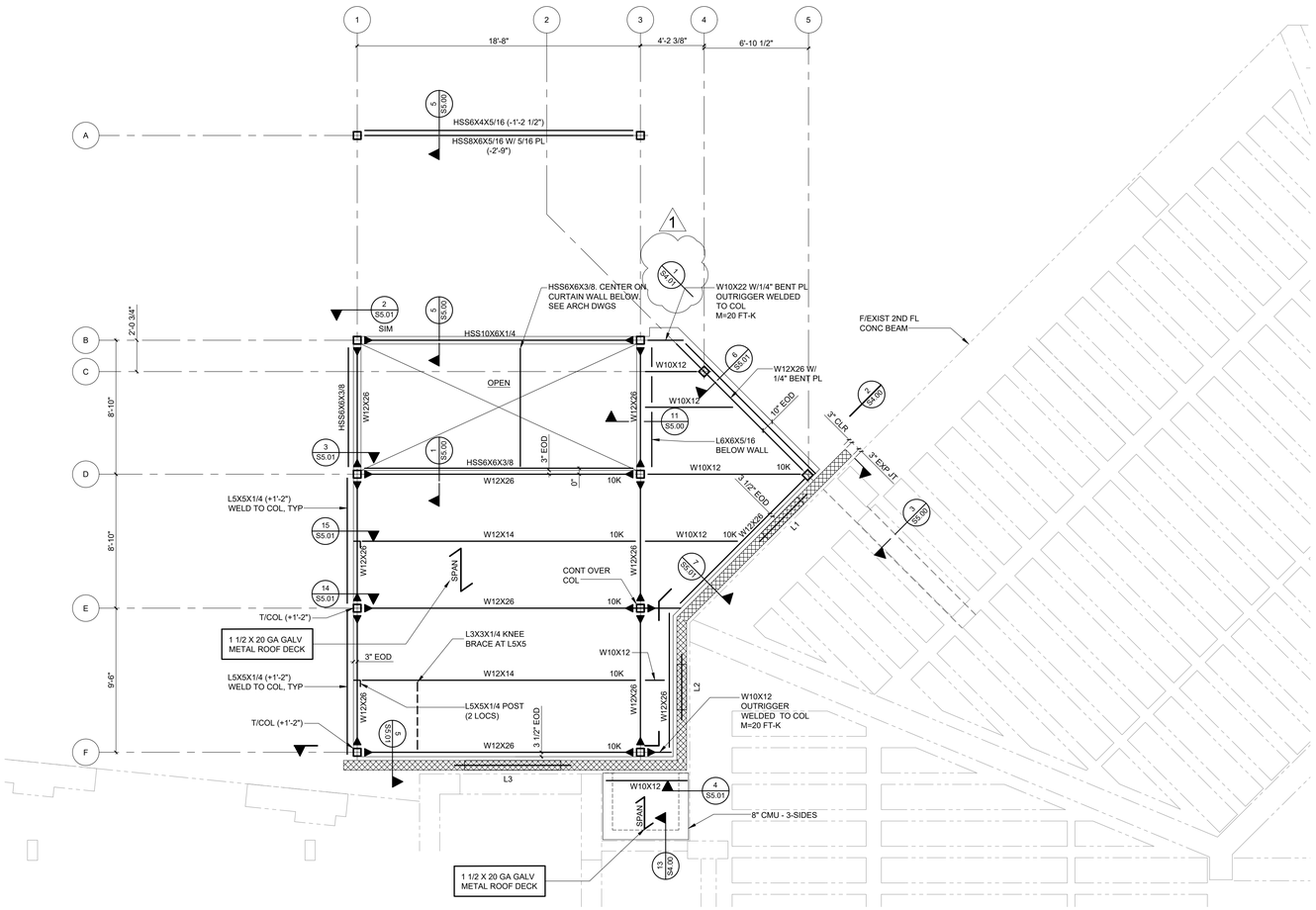
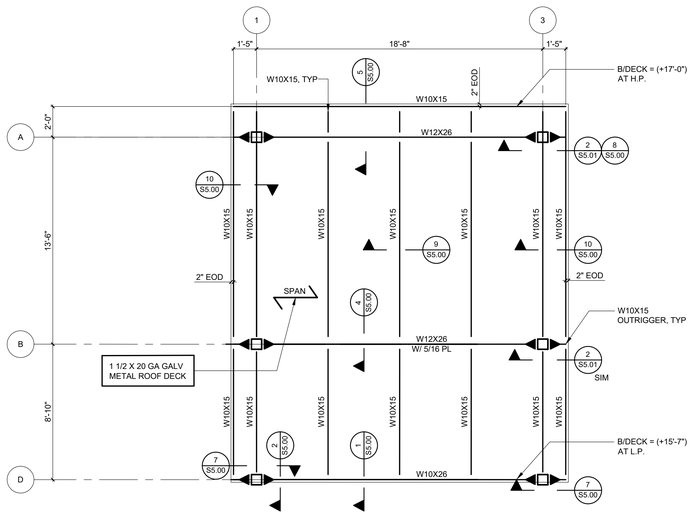
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	CANOPY FOUNDATION AND ROOF FRAMING PLANS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

S1.01





HIGH ROOF FRAMING PLAN AT ENTRANCE

1/4" = 1'-0"

NOTES:
1. T/STEEL (B/DECK) ELEVATION ABOVE REFERENCE ELEVATION (0'-0") INDICATED ON PLAN AT GRID LINES A AND D. SLOPE STEEL UNIFORMLY TO ROOF SLOPE INDICATED IN ARCHITECTURAL DRAWINGS.
2. ELEVATIONS NOTED (xX'-XX") ARE TO T/STEEL (B/DECK) ELEVATION.
3. SLOPE ROOF STEEL UNIFORMLY BETWEEN CONTROL ELEVATIONS SPECIFIED IN PLAN.
4. SEE LOW ROOF FRAMING PLAN AT ENTRANCE NOTES FOR ADDITIONAL INFORMATION

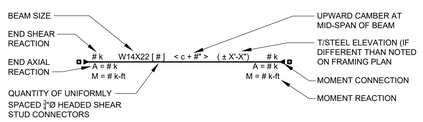
LOW ROOF FRAMING PLAN AT ENTRANCE

1/4" = 1'-0"

NOTES:
1. T/STEEL (B/DECK) ELEVATION (+12'-0") ABOVE REFERENCE ELEVATION (0'-0") UNLESS NOTED OTHERWISE.
2. ELEVATIONS NOTED (xX'-XX") ARE TO T/STEEL (B/DECK) WITH RESPECT TO ELEVATION (+12'-0").
3. COLUMNS ARE HSS6X6X3/8 UNLESS NOTED OTHERWISE.
4. EQUALLY SPACE BEAMS BETWEEN COLUMNS UNLESS NOTED OTHERWISE.
5. SEE 12/S5.00 FOR TYPICAL FRAMING CONNECTIONS TO HSS COLUMNS.
6. EOD INDICATES EDGE OF DECK.
7. SEE 1/S4.00 FOR LINTEL SCHEDULE AND NOTES. NOT ALL LINTELS IN WALLS ARE SHOWN.
8. SEE 1/S4.00 AND 2/S4.00 FOR MASONRY WALL AND FIREWALL REINFORCING REQUIREMENTS.
9. RD - INDICATES ROOF DRAIN, EF - INDICATES EXHAUST FAN, RV - INDICATES ROOF VENT. COORDINATE SIZE AND LOCATION WITH MECHANICAL AND ARCHITECTURAL DRAWINGS. PROVIDE ROOF OPENING ANGLE FRAME AT ROOF DRAINS, VENTS, EXHAUST FANS, AND HATCHES. SEE 1S/S5.00.
10. SEE S0.01 FOR ADDITIONAL NOTES.

FRAMING PLAN LEGEND

EOD	INDICATES THE EDGE OF DECK.
SPAN / SLOPE	INDICATES LOCATIONS AND DIRECTION OF SPAN FOR METAL ROOF DECK. SPECIFIES DIRECTION OF DOWNWARD ROOF DECK SLOPE.
RD	INDICATES ROOF DRAIN. PROVIDE METAL DECK EDGE SUPPORT FRAMING AT PERIMETER. SEE ROOF OPENING FRAMING DETAIL FOR MORE INFORMATION. COORDINATE ALL LOCATIONS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.
	INDICATES LOCATION OF ROOF OPENING. PROVIDE EDGE SUPPORT FRAMING AT PERIMETER (TYP UNO). SEE ROOF OPENING FRAMING DETAIL FOR INFORMATION. COORDINATE ALL LOCATIONS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.
BF - # (H / L)	SPECIFIES LOCATIONS AND DESIGNATION FOR BRACED FRAME WITH HIGH (H) AND LOW (L) ENDS. SEE DRAWING S05.03 FOR SCHEMATICS AND DETAILS.
MC-X	DESIGNATES LOCATION AND TYPE OF MOMENT CONNECTION



BEAM LEGEND SCHEMATIC

NOT TO SCALE

LEGEND NOTES:
1. REFER TO THE NOTES DRAWING S0.01 FOR CONNECTION DESIGN CRITERIA WHERE LOADS AND MOMENTS ARE NOT SHOWN.
2. LOADS AND MOMENTS SHOWN ARE LRFD (ULTIMATE STRENGTH DESIGN) UNLESS NOTED OTHERWISE.

REV.	DATE	ITEM
01	03/12/2025	BID ADD. NO. 03

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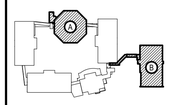

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

PROJECT

HIGH AND LOW ROOF FRAMING PLANS

DWG TITLE

DRAWING BY: AED
CHECK BY: AED

NOTICE

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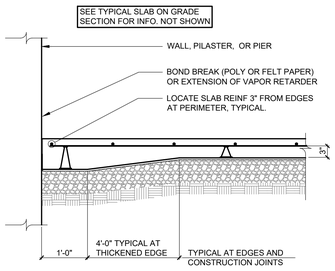
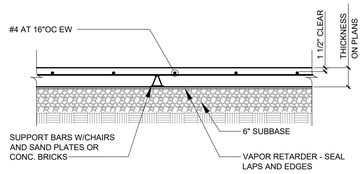
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	HIGH AND LOW ROOF FRAMING PLANS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

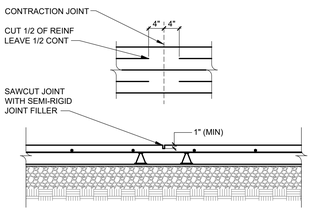
S2.00



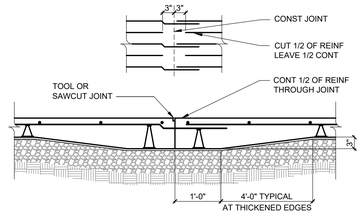
1 S3.00 SLAB ON GRADE TYPICAL EDGE SECTION
SCALE: 3/4" = 1'-0"



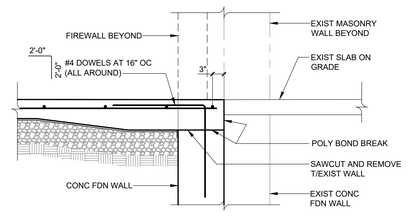
2 S3.00 SLAB ON GRADE TYPICAL SECTION
SCALE: 3/4" = 1'-0"



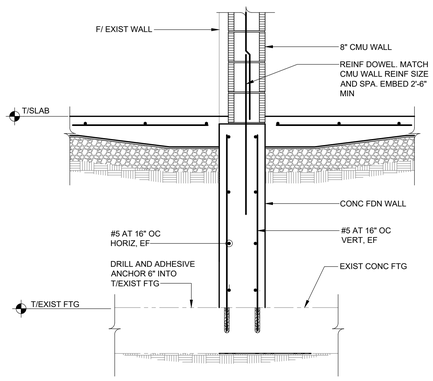
3 S3.00 SLAB ON GRADE TYPICAL CONTRACTION JOINT
SCALE: 3/4" = 1'-0"



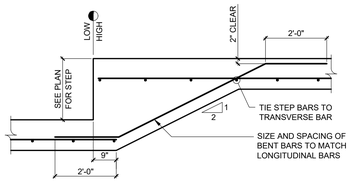
4 S3.00 SLAB ON GRADE TYPICAL CONSTRUCTION JOINT
SCALE: 3/4" = 1'-0"



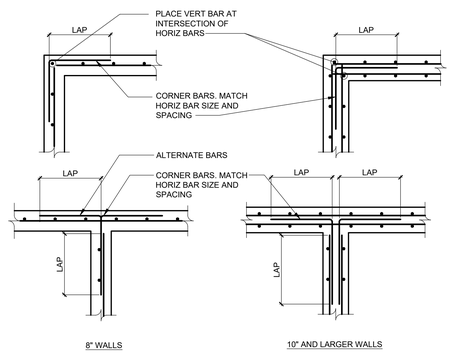
5 S3.00 SECTION AT EXPOSED SLAB OVERPOUR
SCALE: 3/4" = 1'-0"



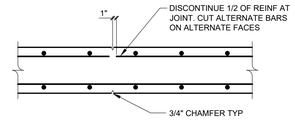
6 S3.00 SECTION AT FOUNDATION WALL
SCALE: 3/4" = 1'-0"



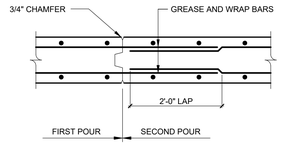
7 S3.00 TYPICAL FOOTING STEP DETAIL
SCALE: 3/4" = 1'-0"
NOTE: USE THIS DETAIL FOR CONTINUOUS WALL FOOTINGS WITH SINGLE REINFORCING LAYER



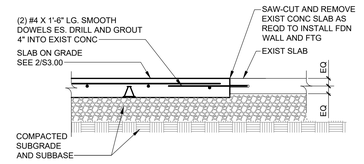
8 S3.00 TYPICAL WALL INTERSECTION REINFORCEMENT
SCALE: NOT TO SCALE



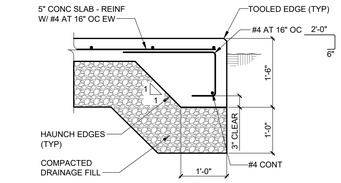
9 S3.00 WALL CONTROL JOINT
SCALE: 3/4" = 1'-0"



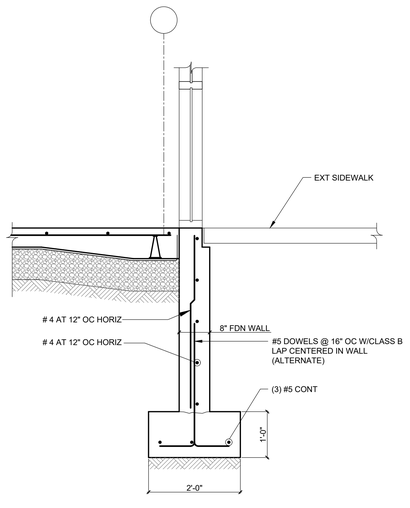
10 S3.00 WALL CONSTRUCTION JOINT
SCALE: 3/4" = 1'-0"



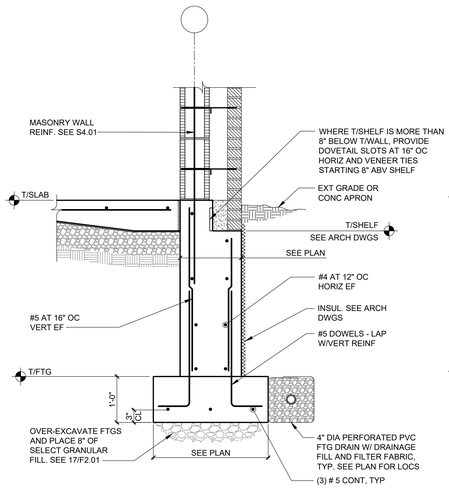
11 S3.00 CONSTRUCTION JOINT AT EXISTING SLAB
SCALE: 3/4" = 1'-0"



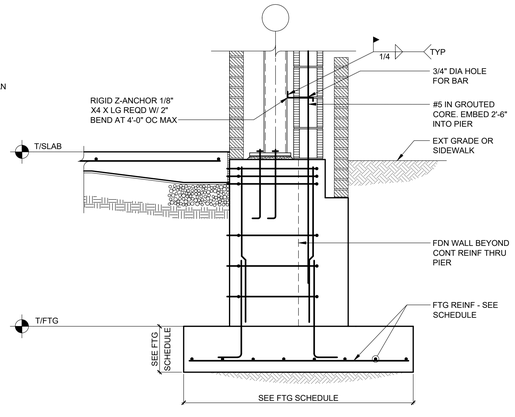
11A S3.00 HAUNCHED EDGE OF SLAB ON GRADE
SCALE: 3/4" = 1'-0"



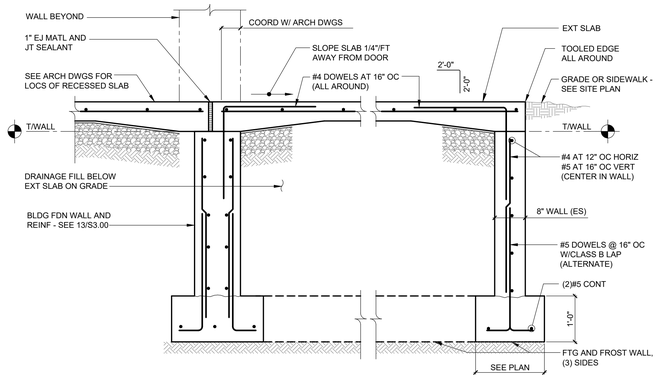
12 S3.00 TYPICAL CURTAIN WALL SECTION
SCALE: 3/4" = 1'-0"



13 S3.00 FOUNDATION WALL SECTION
SCALE: 3/4" = 1'-0"



14 S3.00 FOUNDATION WALL SECTION
SCALE: 3/4" = 1'-0"



15 S3.00 TYPICAL SECTION AT DOOR W/FROST WALLS
SCALE: 3/4" = 1'-0"

NOTE:
CONTRACTOR'S OPTION TO PLACE MAT FOOTING IN LIEU OF INDIVIDUAL WALL FOOTINGS. REINFORCE MAT WITH #5 AT 16" OC EACH WAY (BOTTOM) AND PROVIDE DRAIN HOLE AT CENTER OF MAT (6"Ø OR 6" SQUARE).

REV.	DATE	ITEM

NOTICE

Dalto Engineering
7 Maureen Court, Clifton Park, NY
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PROJECT
BEDFORD CENTRAL SCHOOL DISTRICT
CAPITAL IMPROVEMENTS - BOND PHASE 2
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE
FOUNDATION SECTIONS AND DETAILS

DRAWING BY: AED
CHECK BY: - - -

NOTICE

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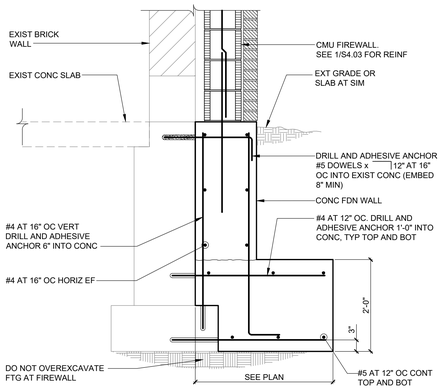
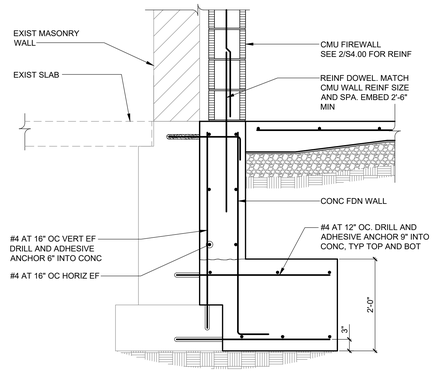
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	CAPITAL IMPROVEMENTS - BOND PHASE 2
DWG TITLE	FOUNDATION SECTIONS AND DETAILS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

S3.00



1 S3.01 SECTION AT FIREWALL
SCALE: 3/4" = 1'-0"



2 S3.01 SECTION AT FIREWALL
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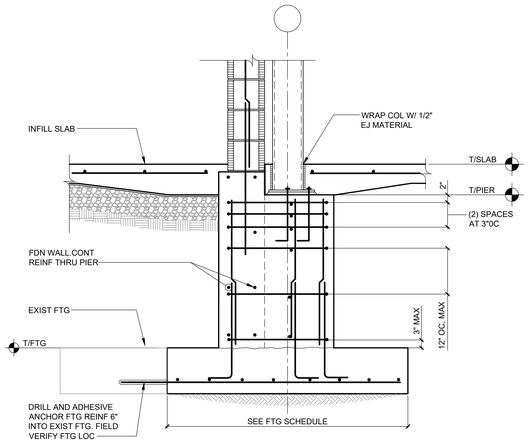

3 S3.01 SECTION AT FIREWALL
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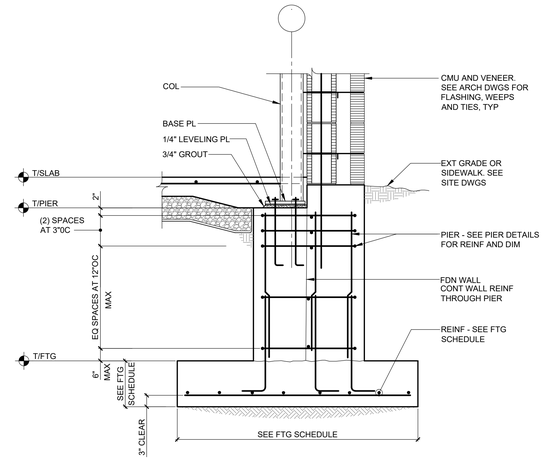
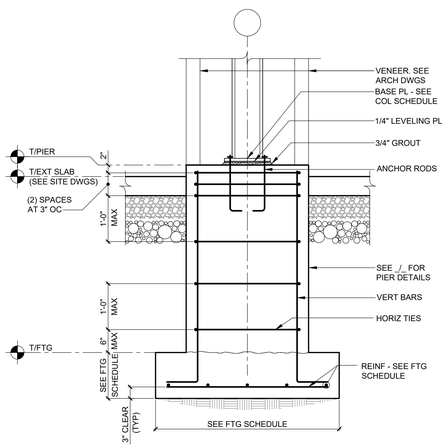
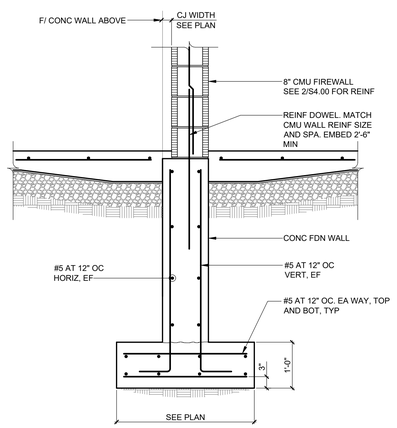


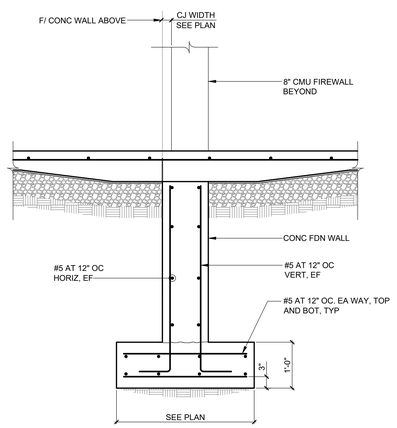
4 S3.01 SECTION AT EXTERIOR PIER
SCALE: 3/4" = 1'-0"



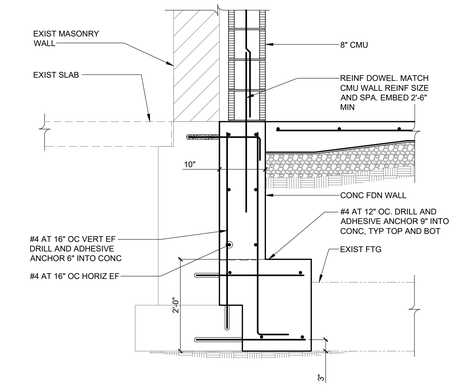
5 S3.01 SECTION AT EXTERIOR PIER
SCALE: 3/4" = 1'-0"



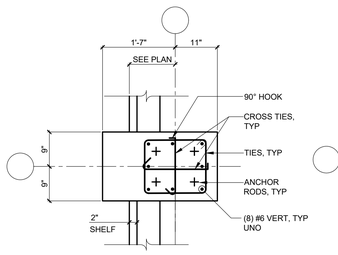
6 S3.01 SECTION AT FIREWALL
SCALE: 3/4" = 1'-0"



7 S3.01 SECTION AT FIREWALL DOOR
SCALE: 3/4" = 1'-0"



8 S3.01 SECTION AT EXIST WALL
SCALE: 3/4" = 1'-0"



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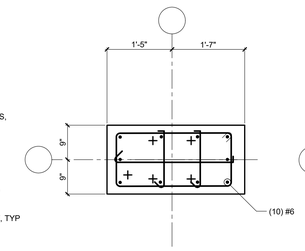

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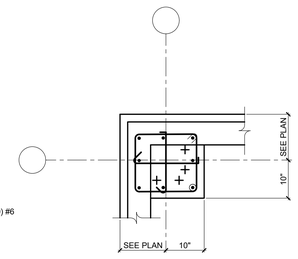

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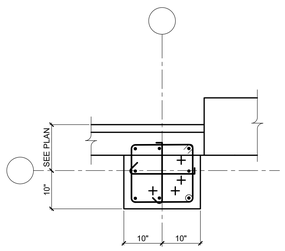

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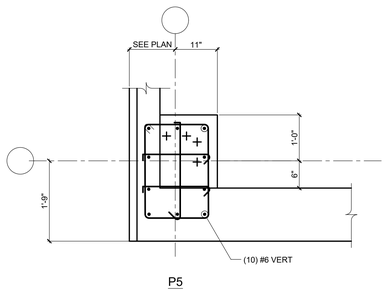

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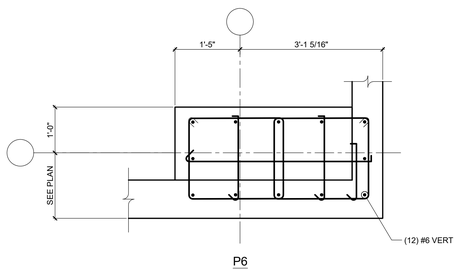

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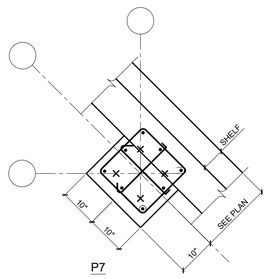
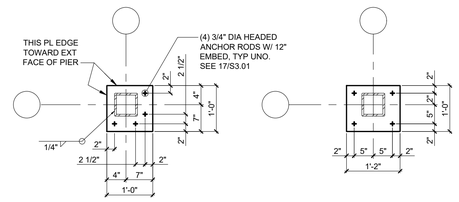


P7

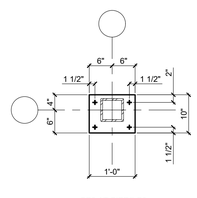
9 S3.01 PIER DETAILS
SCALE: 3/4" = 1'-0"

NOTES:
1. TIES ARE #4 TYPICAL UNLESS NOTED OTHERWISE. STAGGER HOOK LOCATIONS ON ALTERNATE TIES.
2. SEE 2/S3.00 FOR TIE SPACING AND SECTIONS AT PIERS.
3. CONTINUE WALL REINFORCING THROUGH PIERS
4. SEE 10/S3.01 AND11/S3.01 FOR BASE PLATE DETAILS AND ANCHOR ROD INFORMATION.

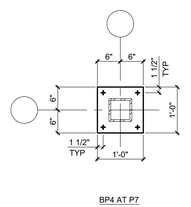


BP1 AT PIERS P3, P9

BP2 AT PIERS P1, P2, P4, P5, P7



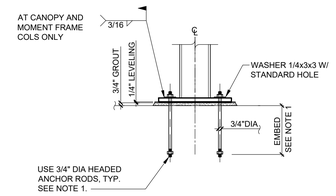
BP3 AT PIERS P8



BP4 AT P7

10 S3.01 BASE PLATE DETAILS
SCALE: 3/4" = 1'-0"

NOTES:
1. COORDINATE WITH FOUNDATION PLANS, FRAMING PLANS, AND PIER DETAILS FOR BASE PLATE LOCATIONS, ORIENTATION, AND ELEVATIONS.
2. t = BASE PLATE THICKNESS. USE 3/4" PLATE, TYPICAL UNLESS NOTED OTHERWISE.
3. COAT BELOW SLAB BASE PLATES, ANCHOR RODS, AND COLUMNS WITH COAL TAR EPOXY.
4. PROVIDE OVERSIZED ANCHOR BOLT HOLES IN ACCORDANCE WITH AISC MANUAL 14TH EDITION. SEE COLUMN BASE, ANCHOR ROD HOLE AND WASHER SCHEDULE.
5. AT CONTRACTOR'S OPTION PROVIDE THREADED RODS WITH TACK WELDED NUTS IN LIEU OF HEADED ANCHOR RODS.



11 S3.01 COLUMN BASE SECTION
SCALE: 3/4" = 1'-0"

NOTES:
1. PROVIDE 1'-0" ANCHOR EMBEDMENT, TYPICAL AND 2'-0" EMBEDMENT AT CANOPY COLUMNS AND MOMENT FRAME COLUMNS.

REV.	DATE	ITEM

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DWG TITLE
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DRAWING BY: AED
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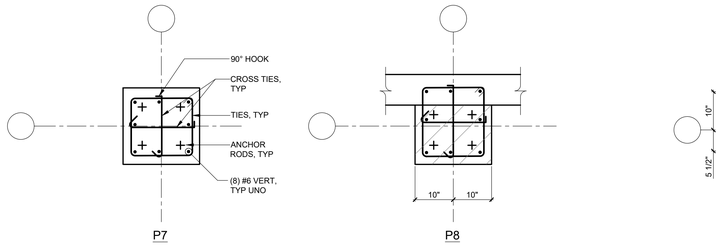
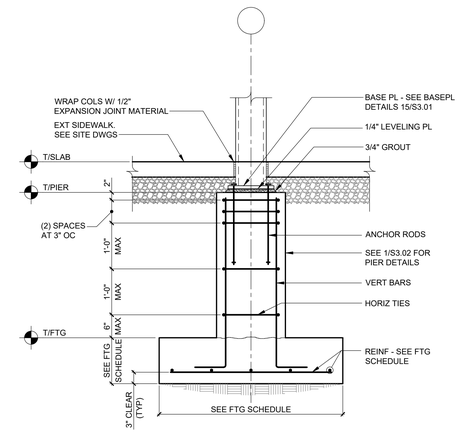
S3.01



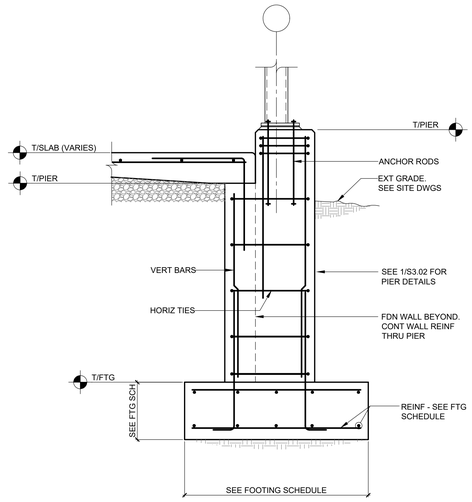
1 S3.02 CANOPY PIER DETAILS
SCALE: 3/4" = 1'-0"

NOTES:
1. TIES ARE #3 TYPICAL UNLESS NOTED OTHERWISE. STAGGER HOOK LOCATIONS ON ALTERNATE TIES.
2. SEE 5/S3.01 FOR TYPICAL TIE SPACING AND SECTIONS AT PIERS.
3. CONTINUE WALL REINFORCING THROUGH PIERS
4. SEE 16/S3.01 AND17/S3.01 FOR BASE PLATE DETAILS AND ANCHOR ROD INFORMATION.

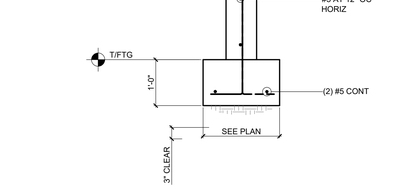


NOTE:
CONTRACTOR SHALL PROVIDE SUPPORTS AS REQ'D TO ACCURATELY PLACE AND HOLD DOWELS IN POSITION PRIOR TO PLACING CONCRETE. SEE SPECIFICATIONS. WET SETTING OF REINF IS NOT PERMITTED

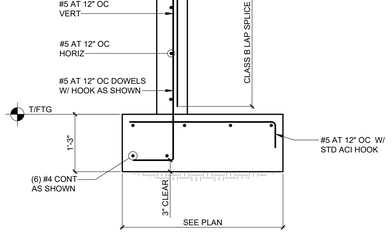
2 S3.02 SECTION AT CANOPY PIER
SCALE: 3/4" = 1'-0"



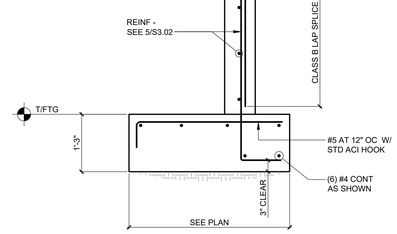
3 S3.02 SECTION AT CANOPY PIERS
SCALE: 3/4" = 1'-0"



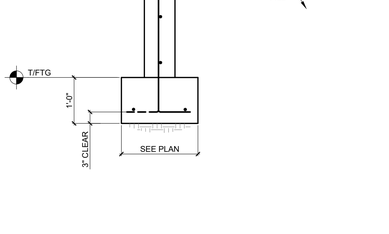
4 S3.02 TYPICAL CANOPY FOUNDATION WALL
SCALE: 3/4" = 1'-0"



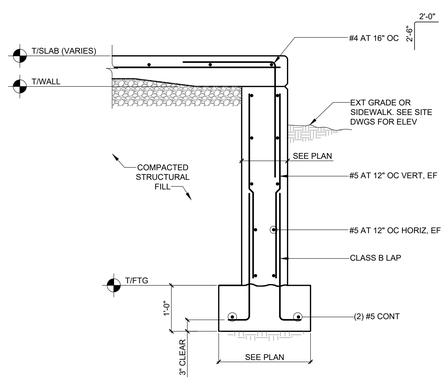
5 S3.02 TYPICAL CANOPY FOUNDATION WALL
SCALE: 3/4" = 1'-0"



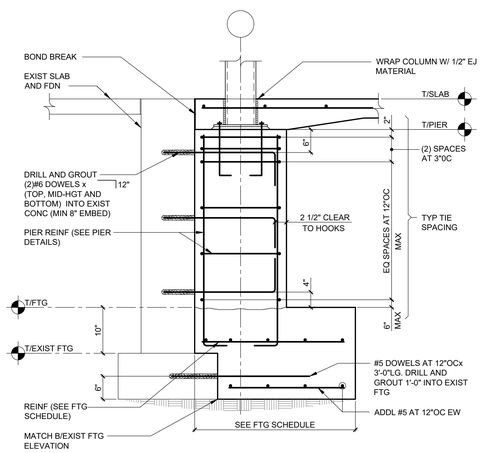
6 S3.02 TYPICAL CANOPY FOUNDATION WALL
SCALE: 3/4" = 1'-0"



7 S3.02 TYPICAL CANOPY FOUNDATION WALL
SCALE: 3/4" = 1'-0"



8 S3.02 CANOPY FOUNDATION WALL
SCALE: 3/4" = 1'-0"



9 S3.02 PIER AT EXISTING WALL SECTION
SCALE: 3/4" = 1'-0"

REV.	DATE	ITEM

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TOWN of BEDFORD / WESTCHESTER COUNTY

PROJECT

CANOPY FOUNDATION SECTIONS, PIER AND BASEPLATE DETAILS

DWG TITLE

DRAWING BY:	AED
CHECK BY:	AED

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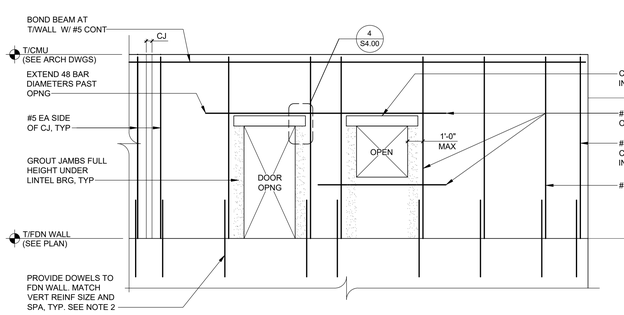
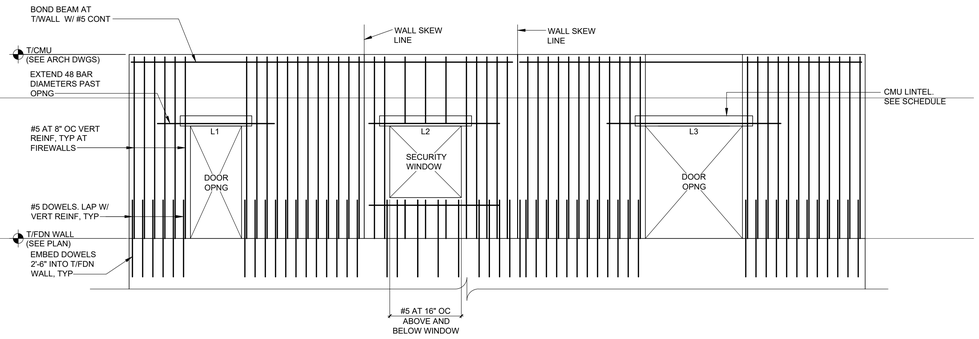
S3.02



1 S4.00 TYPICAL MASONRY WALL REINFORCING ELEVATION

SCALE: 1/4" = 1'-0"

NOTES:
1. REINFORCING SHOWN IS TYPICAL UNLESS NOTED. PROVIDE REBAR POSITIONERS AS INDICATED IN 10/S4.00.
2. LAP REINFORCING BARS AS INDICATED IN THE MASONRY REINFORCING LAP SPLICE SCHEDULE ON S0.02.
3. PROVIDE LADDER TYPE HORIZONTAL JOINT REINFORCING AT 16" ON CENTER AND AT TOP TWO COURSES UNLESS NOTED OTHERWISE.
4. AT INTERIOR PARTITIONS, WHERE NO FOUNDATION WALL IS PRESENT, PROVIDE (1)#4 CONTINUOUS IN SLAB (TYPICAL).
5. AT INTERIOR, NON-LOAD BEARING PARTITIONS, TOP OF PARTITION SHALL BE 1" MINIMUM BELOW FRAMING MEMBERS OR DECK TO ALLOW FOR DEFLECTION OF STRUCTURE ABOVE. BRACE TOP OF PARTITION AS SHOWN IN 11/S4.00 OR 12/S4.00 AS APPLICABLE.



2 S4.00 MASONRY WALL REINFORCING ELEVATION AT FIREWALL

SCALE: 1/4" = 1'-0"

NOTES:
1. SEE 1/S4.00 FOR ADDITIONAL INFORMATION.

LINTEL SCHEDULE

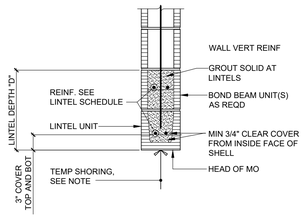
MARK	MATERIAL	TYPE	LENGTH	REMARKS
L1	8X8 CMU	B	3'-4" MO	REINF W/ (1) #5
L2	8X16 CMU	B or B1	4'-8" MO	REINF W/ (1) #5, TOP AND BOT
L3	8X16 CMU	B or B1	6'-0" MO	REINF W/ (1) #5, TOP AND BOT

REINFORCED MASONRY LINTEL NOTES:

1. REINFORCED MASONRY LINTEL MATERIAL INCLUDE REINFORCED CMU, PRECAST CONCRETE, OR CAST STONE.
2. FOR OPENINGS NOT OTHERWISE DETAILED, INCLUDING MECHANICAL OPENINGS, USE REINFORCED MASONRY LINTEL 8 INCHES DEEP FOR SPANS UP TO 4 FEET AND 16 INCHES DEEP FOR SPANS UP TO 6 FEET.
3. USE THE FOLLOWING MINIMUM REINFORCING: ONE #5 TOP AND BOTTOM FOR EACH 4 INCHES OF MASONRY WIDTH, ONE #6 TOP AND BOTTOM FOR 6-INCH CMU WALLS, AND TWO #5 TOP AND BOTTOM FOR 10 INCH CMU WALLS.
4. LOCATE REINFORCING IN REINFORCED CMU LINTELS 3/4-INCH CLEAR FROM INSIDE FACE OF FACE SHELL IN LINTELS CONTAINING MULTIPLE BARS. CENTER BAR IN LINTELS CONTAINING ONLY ONE BAR.
5. REINFORCED CMU LINTELS SHALL BE MADE OF SAME MATERIAL WITH SAME COLOR AND TEXTURE AS SURROUNDING WALLS. EXTEND REINFORCING 48 BAR DIAMETERS BEYOND OPENINGS. HOOK BAR ENDS WHERE 48 BAR DIAMETERS CANNOT BE ACHIEVED.
6. BEAR LINTELS A MINIMUM OF 8 INCHES EACH END, UNLESS NOTED OTHERWISE.
7. SHORE REINFORCED MASONRY LINTELS UNTIL MASONRY WALL ABOVE LINTEL HAS CURED A MINIMUM OF 14 DAYS.
8. SEE SPECIFICATIONS AND GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.

STEEL LINTEL NOTES:

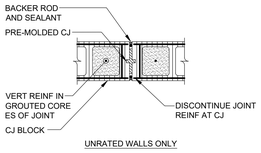
1. FOR OPENINGS NOT OTHERWISE DETAILED OR SCHEDULED, INCLUDING DOORS, WINDOWS, AND MECHANICAL OPENINGS, MINIMUM LINTELS SHALL BE (FOR EACH 4 INCHES OF MASONRY WIDTH), ONE L3 1/2 X3 1/2 X 5/16 FOR SPANS UP TO 4 FEET, ONE L4X3 1/2 X5/16 LLV FOR SPANS UP TO 6 FEET; ONE L5X3 1/2X5/16 LLV FOR SPANS UP TO 8 FEET. FOR SPANS LESS THAN 2 FEET, PROVIDE A 5/16 INCH PLATE. COORDINATE OPENINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.
2. WELD TOGETHER BACK-TO-BACK LINTELS. MAXIMUM WELD SPACING SHALL NOT EXCEED 12 INCHES ON CENTER.
3. BEAR LINTELS A MINIMUM OF 8 INCHES EACH END UNLESS NOTED OTHERWISE.
4. HOT-DIP GALVANIZE LINTELS IN EXTERIOR WALLS.



3 S4.00 REINFORCED CMU LINTEL SECTION

SCALE: 1" = 1'-0"

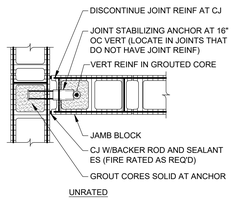
NOTE: SHORE REINFORCED CMU LINTEL UNTIL MASONRY (INCLUDING GROUT) ABOVE LINTEL HAS CURED A MINIMUM OF 14 DAYS.



UNRATED WALLS ONLY

6 S4.00 WALL CONTROL JOINT

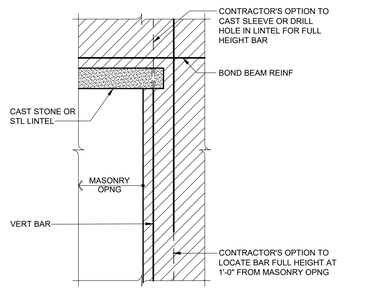
SCALE: 1" = 1'-0"



UNRATED

9 S4.00 WALL CONTROL JOINT DETAIL

SCALE: 1" = 1'-0"

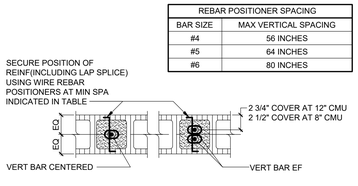


4 S4.00 WALL REINFORCING AT MASONRY OPENING

SCALE: 1" = 1'-0"

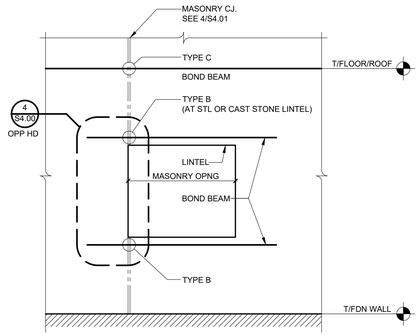
NOTES:
1. TERM "FULL HEIGHT REFERS TO A SINGLE CORE REINFORCED FULL HEIGHT. BARS MAY BE LAPPED.
2. USE FULL HEIGHT BAR THROUGH LINTEL BEARING AT REINFORCED CMU LINTEL.
3. LAP LENGTH SHALL BE THE LAP LENGTH INDICATED IN THE MASONRY NOTES ON S0.01 + 8 INCHES WHERE BARS ARE OFFSET 8 INCHES.
4. SEE S/S4.00 FOR ELEVATION OF OPENING AT CONTROL JOINT.

REBAR POSITIONER SPACING	
BAR SIZE	MAX VERTICAL SPACING
#4	56 INCHES
#5	64 INCHES
#6	80 INCHES



10 S4.00 PLAN DETAIL - REINFORCING IN CMU CORES

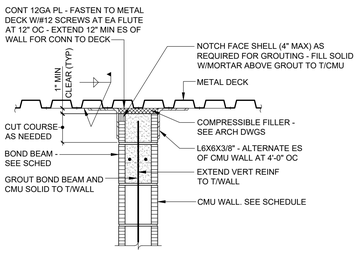
NOT TO SCALE



5 S4.00 WALL ELEVATION OF CONTROL JOINT AT BOND BEAM

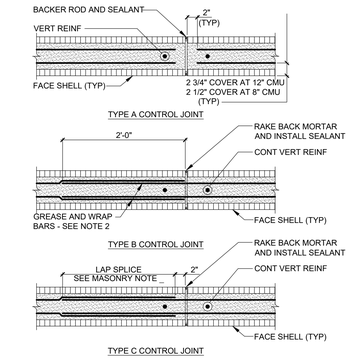
SCALE: 1" = 1'-0"

NOTES:
1. SEE 4/S4.01 FOR DETAILS OF TYPE A, B, AND C CONTROL JOINTS AT BOND BEAMS.
2. SEE 1/S4.01 MASONRY WALL REINFORCING ELEVATION FOR ADDITIONAL INFORMATION.
3. PROVIDE LADDER TYPE HORIZONTAL JOINT REINFORCING AT 16" ON CENTER AND AT TOP TWO COURSES UNLESS NOTED OTHERWISE.



11 S4.00 DETAIL AT TOP OF CMU WALL

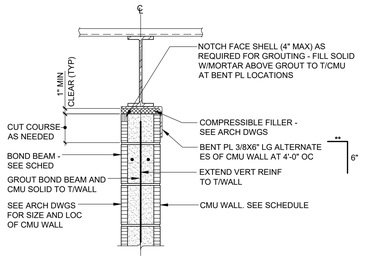
SCALE: 1" = 1'-0"



6 S4.00 CONTROL JOINTS AT BOND BEAM

SCALE: 1" = 1'-0"

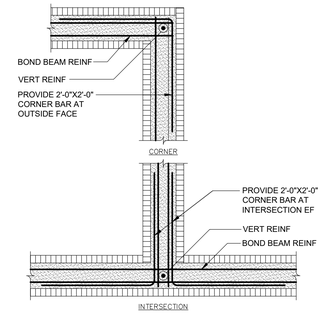
NOTES:
1. SEE 5/S4.00 FOR WALL ELEVATION OF CONTROL JOINT TYPES AT BOND BEAMS.
2. CONTRACTOR'S OPTION TO CAST PVC OR GALVANIZED STEEL CONDUIT SLEEVES INTO WALL IN LIEU OF "GREASE AND WRAP".



12 S4.00 DETAIL AT TOP OF CMU WALL

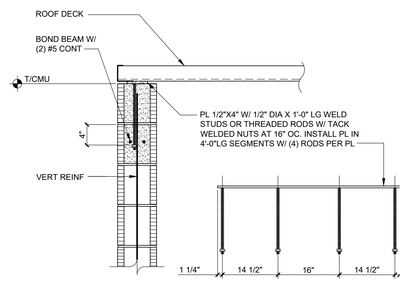
SCALE: 1" = 1'-0"

NOTES:
1. "**" INDICATES FLANGE WIDTH PLUS 2 INCHES OR WALL WIDTH + 1/2" (WHICHEVER IS GREATER).



7 S4.00 BOND BEAM PLAN DETAILS

SCALE: 1" = 1'-0"



13 S4.00 SECTION AT ROOF DECK BEARING

SCALE: 1" = 1'-0"

REV.	DATE	ITEM

NOTICE

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Dalto Engineering
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BEDFORD CENTRAL SCHOOL DISTRICT
CAPITAL IMPROVEMENTS - BOND PHASE 2
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

PROJECT

MASONRY ELEVATIONS, SECTIONS AND DETAILS

DWG TITLE

DRAWING BY: AED
CHECK BY: - - -

NOTICE

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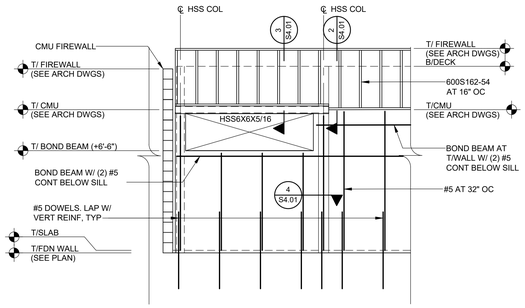
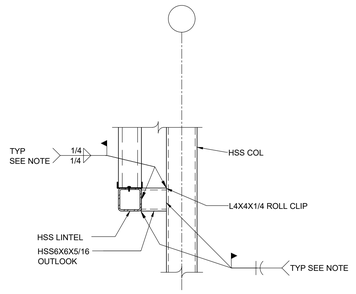
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	CAPITAL IMPROVEMENTS - BOND PHASE 2
DWG TITLE	MASONRY ELEVATIONS, SECTIONS AND DETAILS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

S4.00



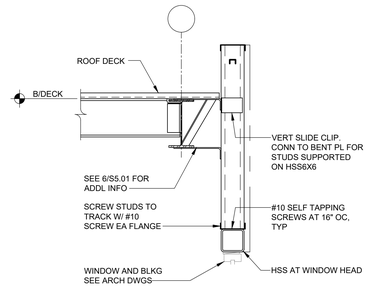
1 S4.01 MASONRY WALL REINFORCING ELEVATION
SCALE: 1/4" = 1'-0"

NOTES:
1. SEE 1/S4.00 FOR ADDITIONAL INFORMATION.

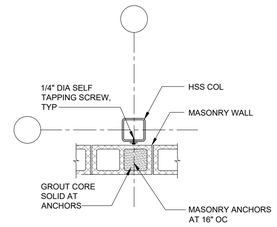


2 S4.01 SECTION AT HSS HEAD
SCALE: 3/4" = 1'-0"

NOTE: FIELD WELDS MAY BE SHOP WELDED AT CONTRACTOR'S OPTION



3 S4.01 SECTION AT HSS HEAD
SCALE: 3/4" = 1'-0"



4 S4.01 TYPICAL MASONRY WALL ANCHOR TO HSS DETAIL
SCALE: 3/4" = 1'-0"

1

REV.	DATE	ITEM
01	03/12/2025	BID ADD. NO. 03

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DWG TITLE
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DRAWING BY: AED
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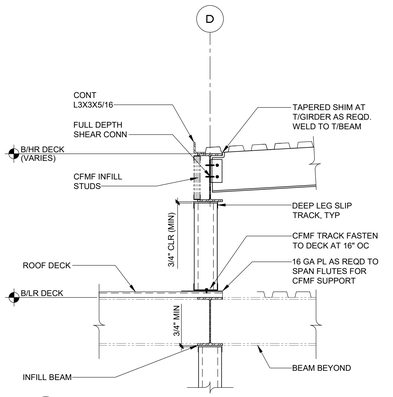
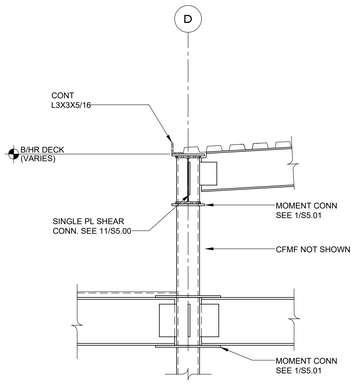
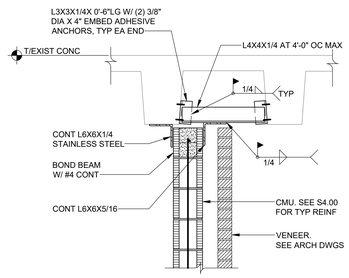
S4.01



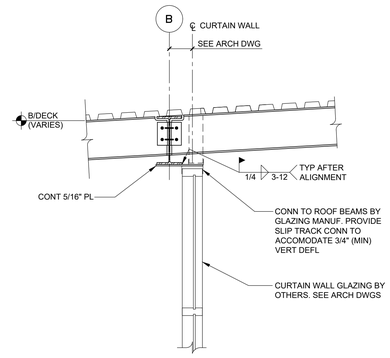
1 S5.00 SECTION AT HIGH ROOF EDGE
SCALE: 3/4" = 1'-0"



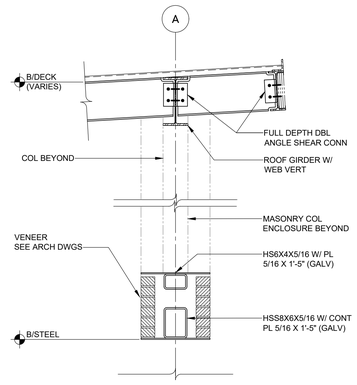
2 S5.00 SECTION AT HIGH ROOF COLUMN
SCALE: 3/4" = 1'-0"



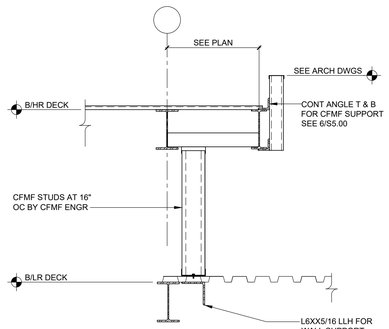
3 S5.00 SECTION AT TOP OF CMU WALL
SCALE: 3/4" = 1'-0"



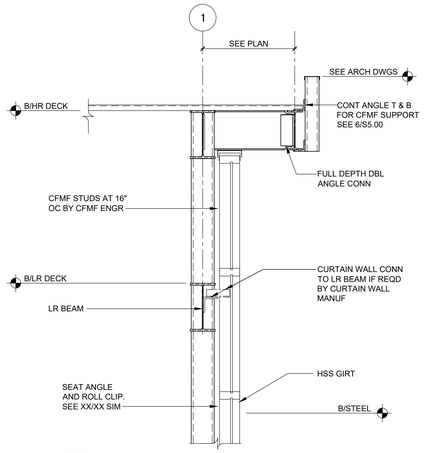
4 S5.00 SECTION AT ENTRY WALL
SCALE: 3/4" = 1'-0"



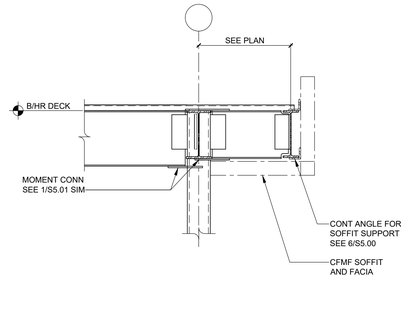
5 S5.00 SECTION AT HIGH ROOF CANOPY
SCALE: 3/4" = 1'-0"



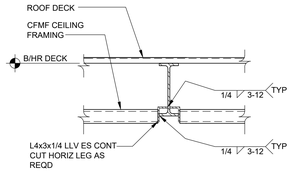
6 S5.00 SECTION AT SPANDREL BEAM
SCALE: 3/4" = 1'-0"



7 S5.00 SECTION AT HIGH ROOF OUTRIGGER
SCALE: 3/4" = 1'-0"

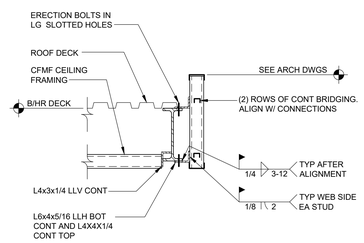


8 S5.00 SECTION AT HIGH ROOF EDGE
SCALE: 3/4" = 1'-0"



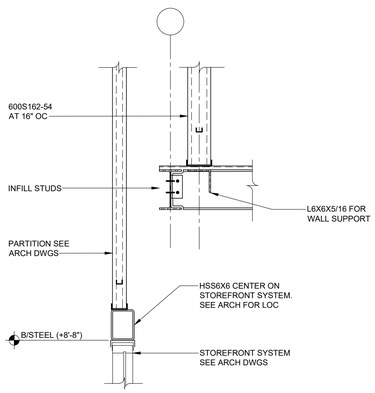
9 S5.00 SECTION AT CANOPY ROOF EDGE
SCALE: 3/4" = 1'-0"

NOTE: CFMF DESIGN AND CONNECTIONS BY CFMF ENGINEER. CONNECTIONS TO SUPPORT STEEL ARE SCHEMATIC AND MAY BE CHANGED AT DESCRETION OF CFMF DESIGN ENGINEER.

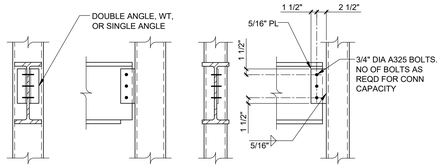


10 S5.00 SECTION AT ENTRY ROOF EDGE
SCALE: 3/4" = 1'-0"

NOTE: CFMF DESIGN AND CONNECTIONS BY CFMF ENGINEER. CONNECTIONS TO SUPPORT STEEL ARE SCHEMATIC AND MAY BE CHANGED AT DESCRETION OF CFMF DESIGN ENGINEER.

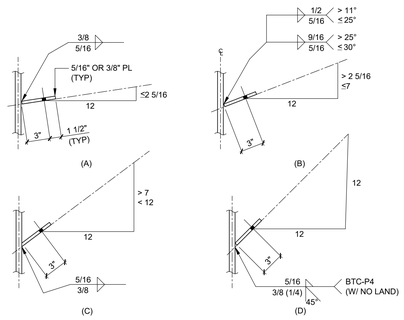


11 S5.00 SECTION AT EXTERIOR WALL STEP
SCALE: 3/4" = 1'-0"



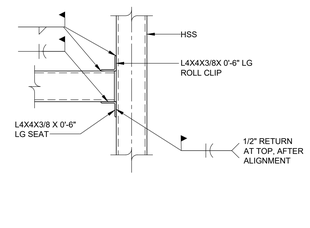
12 S5.00 CONNECTION DETAIL AT HSS COLUMN
SCALE: 3/4" = 1'-0"

NOTE: SELECT CONNECTION FOR CAPACITY AS REQUIRED IN SPECIFICATIONS

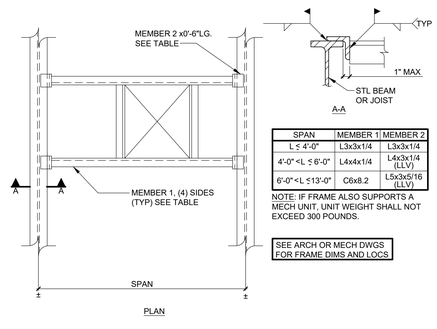


13 S5.00 TYPICAL SKEWED SHEAR PLATE CONNECTION
NOT TO SCALE

NOTES:
1. DETAILS SHOW A WELDED OPTION FOR SKEWED SHEAR CONNECTIONS. IF ALTERNATE SKEWED CONNECTION DETAIL IS DESIRED, IT SHALL BE SUBMITTED FOR REVIEW AND ACCEPTANCE PRIOR TO PRODUCING SHOP DRAWINGS.
2. SEE DETAIL 3/SS.02 FOR OTHER CONNECTION REQUIREMENTS.



14 S5.00 HSS GIRT CONNECTION TO COLUMN
SCALE: 3/4" = 1'-0"



SPAN	MEMBER 1	MEMBER 2
L ≤ 4'-0"	L3x3x1/4	L3x3x1/4
4'-0" <L ≤ 6'-0"	L4x4x1/4	L4x3x1/4 (LLV)
6'-0" <L ≤13'-0"	C6x8.2	L5x3x5/16 (LLV)

NOTE: IF FRAME ALSO SUPPORTS A MECH UNIT, UNIT WEIGHT SHALL NOT EXCEED 300 POUNDS.

SEE ARCH OR MECH DWGS FOR FRAME DIMS AND LOCS.

15 S5.00 TYPICAL WELDED ANGLE FRAME DETAIL
SCALE: 3/4" = 1'-0"

NOTE: IF EDGE OF OPENING IS LOCATED 6 INCHES OR LESS FROM AN EXISTING BEAM OR GIRDER, THE CLOSEST MEMBER PARALLEL TO THE EXISTING BEAM OR GIRDER MAY BE OMITTED.

REV.	DATE	ITEM

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FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE
STEEL FRAMING SECTIONS AND DETAILS

DRAWING BY: AED
CHECK BY: AED

NOTICE

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SED No.	66-01-02-06-0-007-013
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DWG TITLE	STEEL FRAMING SECTIONS AND DETAILS
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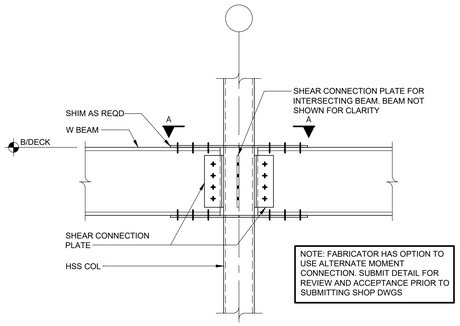
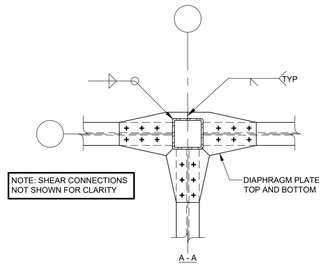
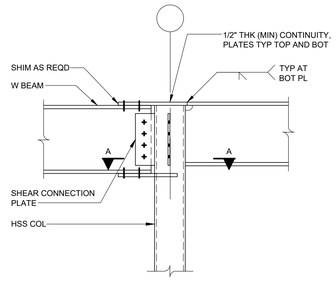
FILE No:	23-131b FLMS

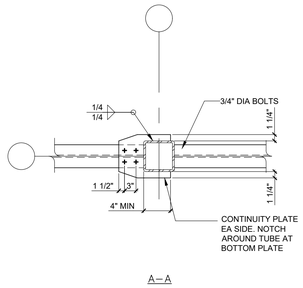
S5.00



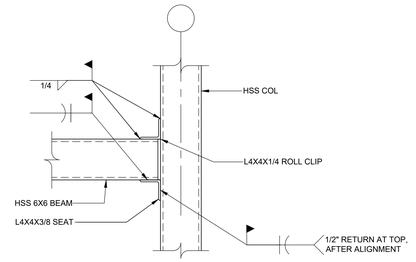
1 S5.01 MOMENT CONNECTION DETAIL AT COLUMN
SCALE: 3/4" = 1'-0"



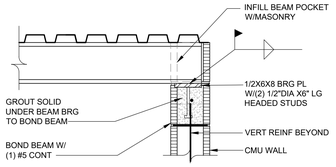




2 S5.01 MOMENT CONNECTION AT OUTRIGGERS
SCALE: NTS

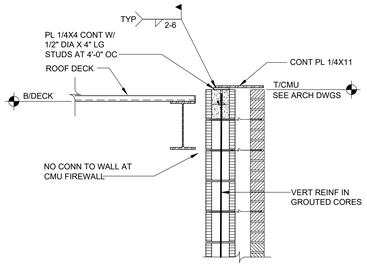


3 S5.01 HSS CONNECTION TO COLUMNS
SCALE: 3/4" = 1'-0"

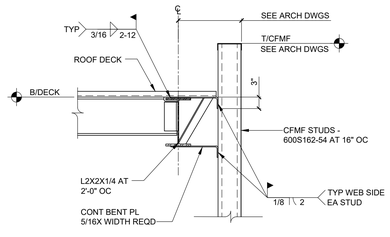


4 S5.01 BEAM BEARING IN MASONRY WALL
SCALE: 1" = 1'-0"

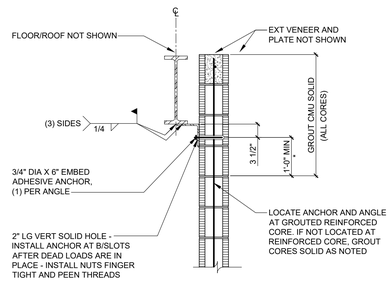
NOTE: CONTRACTOR'S OPTION TO USE THREADED ROD WITH TACK WELDED NUT IN LIEU OF HEADED STUDS.



5 S5.01 SECTION AT EXTERIOR FIREWALL
SCALE: 3/4" = 1'-0"

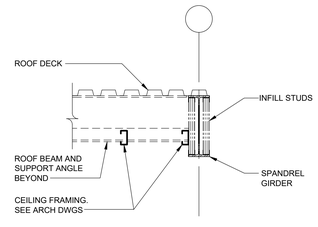


6 S5.01 SECTION AT EXTERIOR WALL
SCALE: 3/4" = 1'-0"

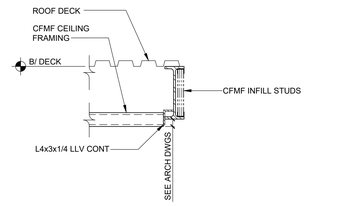


7 S5.01 CMU WALL ANCHORAGE DETAIL
SCALE: 3/4" = 1'-0"

NOTE:
* INDICATES EXTEND GROUT TO INCLUDE FULL HEIGHT OF COURSE.

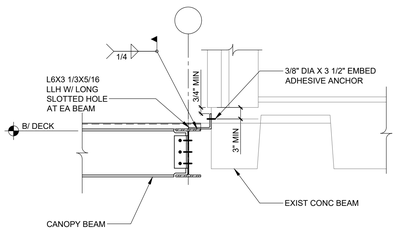


8 S5.01 SECTION AT ROOF EDGE
SCALE: 3/4" = 1'-0"

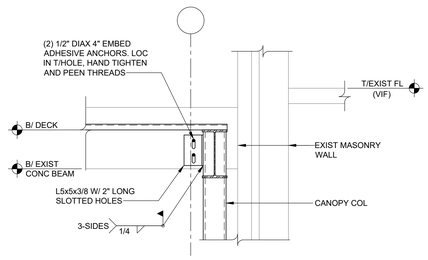


9 S5.01 SECTION AT CANOPY ROOF EDGE
SCALE: 3/4" = 1'-0"

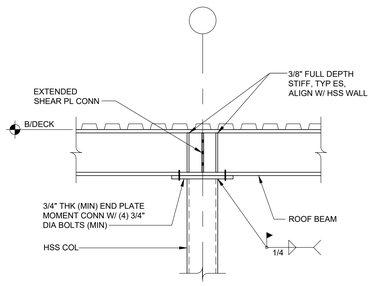
NOTE: CFMF DESIGN AND CONNECTIONS BY CFMF ENGINEER. CONNECTIONS TO SUPPORT STEEL ARE SCHEMATIC AND MAY BE CHANGED AT DESCRETION OF CFMF DESIGN ENGINEER.



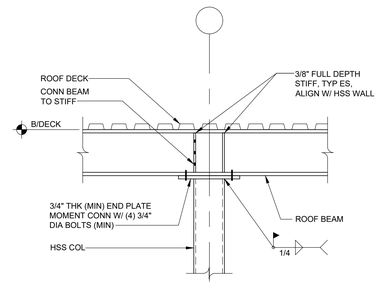
10 S5.01 SECTION AT EXIST GYM SPANDREL BEAM
SCALE: 3/4" = 1'-0"



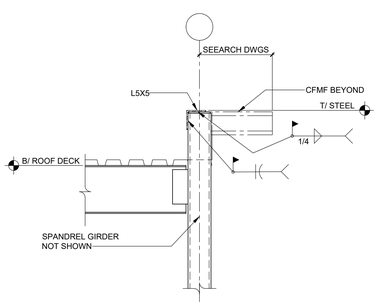
11 S5.01 COLUMN TO EXIST BEAM CONNECTION
SCALE: 3/4" = 1'-0"



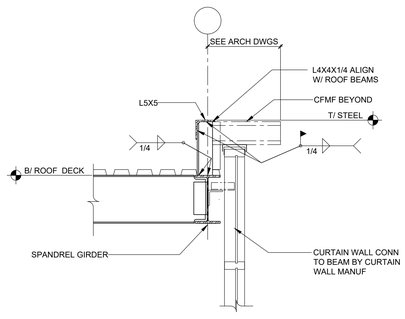
12 S5.01 SECTION AT COLUMN
SCALE: 3/4" = 1'-0"



13 S5.01 SECTION AT COLUMN
SCALE: 3/4" = 1'-0"



14 S5.01 SECTION AT COLUMN
SCALE: 3/4" = 1'-0"



15 S5.01 SECTION AT ROOF EDGE
SCALE: 3/4" = 1'-0"

REV.	DATE	ITEM

NOTICE

THESE DRAWINGS ARE BASED ON CONSTRUCTION DRAWINGS NOT PREPARED BY BBS ARCHITECTS, LANDSCAPE ARCHITECTS AND ENGINEERS, PC. AND, THEREFORE, MAY NOT REPRESENT THE CONDITIONS AS CONSTRUCTED AT THE TIME. ALL EXISTING CONDITIONS SHOWN ARE REPRESENTED AS SUGGESTIVE INFORMATION AS THEY MAY NOT HAVE BEEN BUILT AND DETAILED PER THE ORIGINAL DOCUMENTS OR PER THE OWNER'S INFORMATION.

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PROJECT
BEDFORD CENTRAL SCHOOL DISTRICT
CAPITAL IMPROVEMENTS - BOND PHASE 2
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE
STEEL FRAMING SECTIONS AND DETAILS

DRAWING BY: AED
CHECK BY: AED

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LICENSED PROFESSIONAL ENGINEER

SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	CAPITAL IMPROVEMENTS - BOND PHASE 2
DWG TITLE	STEEL FRAMING SECTIONS AND DETAILS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

S5.01

GENERAL NOTES

1. REMOVAL & RELOCATION OF CERTAIN EXISTING WORK SHALL BE NECESSARY FOR THE PERFORMANCE OF THE NEW WORK SHOWN HEREIN. ALL EXISTING CONDITIONS ARE NOT COMPLETELY DETAILED ON THE DRAWINGS. THE CONTRACTOR SHALL SURVEY THE SITE & MAKE ALL NECESSARY CHANGES BASED ON EXISTING CONDITIONS AS REQUIRED FOR PROPER DEMOLITION OF EXISTING WORK & SHALL INCLUDE ALL MATERIALS & LABOR FOR SAME IN HIS BID PRICE. NO ALLOWANCE WILL BE MADE FOR FAILURE TO DO SO.
2. PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL VISIT THE PREMISES OF THE PROPOSED WORK & SHALL CAREFULLY EXAMINE THE ENGINEERING DRAWINGS, EXISTING CONDITIONS & LIMITATIONS THEREOF. VERIFY ACTUAL LOCATIONS WHERE THE NEW PIPING WILL BE ROUTED, COORDINATE WITH NEW & EXISTING WORK & PROVIDE CLEARANCE W/ BUILDING STRUCTURE, OTHER SERVICES, ETC. THE CONTRACTOR SHALL INCLUDE ALL COSTS WHATSOEVER WHICH ARE INCURRED AS A RESULT OF LIMITATIONS OF THE EXISTING & NEW CONDITIONS. LATER CLAIMS FOR EXTRA LABOR, EQUIPMENT, MATERIALS, ETC. REQUIRED DUE TO DIFFICULTIES WHICH COULD HAVE BEEN FORESEEN WILL NOT BE CONSIDERED AS EXTRA WORK.
3. INSTALL WORK SO AS TO BE READILY ACCESSIBLE FOR OPERATING, MAINTENANCE & REPAIR. MINOR DEVIATIONS FROM DRAWINGS MAY BE MADE TO ACCOMPLISH THIS, BUT CHANGES OF MAGNITUDE WHICH INVOLVE EXTRA COST SHALL NOT BE MADE WITHOUT APPROVAL.
4. INVESTIGATE EACH SPACE THROUGH WHICH EQUIPMENT MUST BE MOVED. WHEN NECESSARY, EQUIPMENT SHALL BE SHIPPED FROM MANUFACTURER IN CRATED SECTIONS OF SIZE SUITABLE FOR MOVING THROUGH AREAS AVAILABLE. ASCERTAIN FROM BUILDING OWNER AT WHAT TIMES OF DAY EQUIPMENT MAY BE MOVED THROUGH THE BUILDING.
5. COORDINATE THE EXACT SIZE & LOCATION OF NEW OPENINGS WITH EXISTING STRUCTURE. PATCH / INSULATE AS REQUIRED. CONTRACTOR SHALL FIRESTOP ALL PENETRATIONS FROM NEW PIPING, CONDUIT, DUCTWORK, ETC. THROUGH EXISTING OR NEW FIRE/ SMOKE BARRIERS. REFER TO SPECIFICATION SECTION 230580 FOR FURTHER DETAILS.
6. IT IS THE INTENT OF THIS CONTRACT FOR REMAINING SYSTEMS TO BE LEFT IN GOOD WORKING ORDER, READY FOR OPERATION. COORDINATE ANY REQUIRED SYSTEM SHUTDOWNS WITH OWNER 48 HOURS IN ADVANCE. EXISTING SYSTEM SHUTDOWNS WILL NOT BE PERMITTED IF THEY INTERFERE WITH THE DAILY OPERATIONS OF THE BUILDING. CONTRACTOR WILL BE REQUIRED TO TAKE PROPER PRECAUTIONS AGAINST DAMAGING OR DISRUPTING BUILDING SYSTEMS, WIRING, PIPING OR CONTROL TUBING. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AT THE CONTRACTOR'S COST AS A PART OF THIS CONTRACT.
7. THE CONTRACTOR SHALL REPAIR / RESTORE TO ORIGINAL CONDITION ANY EXISTING EQUIPMENT OR MATERIALS DAMAGED IN THE PROCESS OF INSTALLATION, OR DEMOLITION TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL MAKE REPAIRS USING THE SAME OR EQUIVALENT MATERIALS. WORK WILL BE PERFORMED AT THE CONTRACTOR'S COST.
8. CONTRACTOR SHALL INCUR ANY COSTS OR BURDENS ASSOCIATED WITH LOST OR STOLEN EQUIPMENT / MATERIALS.
9. DURING THE LIFE OF THE CONTRACT PERIOD, CONTRACTOR SHALL REMOVE ALL RUBBISH / EXCESS MATERIAL ACCUMULATED AS A RESULT OF HIS OPERATIONS ON A DAILY BASIS. ALL AREAS / EQUIPMENT AFFECTED UNDER THIS CONTRACT SHALL BE KEPT CLEAN OF DUST / DEBRIS. ALL AREAS SHALL RECEIVE A FINAL CLEANING PRIOR TO FINAL ACCEPTANCE BY THE OWNER.
10. PROVIDE FOR LEGAL REMOVAL / DISPOSAL OF ALL RUBBISH / DEBRIS FROM THE BUILDING & SITE. PROTECT ALL WORK NOT SLATED FOR DEMOLITION.
11. THIS CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES PRIOR TO SCHEDULING THE WORK. WORK SHALL BE PERFORMED IN PROPER SEQUENCE, AS AGREED TO BY ALL TRADES. ANY COSTS INCURRED BY THE OWNER DUE TO IMPROPER SEQUENCING OF WORK WILL BE PAID FOR BY THIS CONTRACTOR.
12. CONTRACTOR SHALL OBTAIN ALL PERMITS, PAY ALL FEES, CONNECTION CHARGES, ETC. ASSOCIATED WITH THE WORK UNDER THEIR CONTRACT.
13. PAINT / TOUCH UP ALL SURFACES MARRED AS A RESULT OF THE PERFORMANCE OF THE CONTRACT WORK.
14. THE MECHANICAL CONTRACTOR SHALL REFER TO / REVIEW ALL OTHER TRADE DRAWINGS IN THE BID PACKAGE & SHALL BE RESPONSIBLE FOR / PERFORM ALL WORK INDICATED AS (M.C.) MECHANICAL WORK AS A PART OF THE BASE BID UNLESS SPECIFICALLY NOTED OTHERWISE.
15. SUBSTITUTED EQUIPMENT OF GREATER OR LARGER POWER, DIMENSIONS, CAPACITIES & RATINGS MAY BE FURNISHED PROVIDED THAT SAID EQUIPMENT IS APPROVED IN WRITING PRIOR TO ORDER. ANY CONNECTING MECHANICAL SERVICES, ELECTRICAL SERVICES, BASES, STRUCTURAL APPURTENANCES, ETC. REQUIRED TO BE INCREASED DUE TO THE USE OF SAID EQUIPMENT WILL BE PAID FOR IN FULL BY THE MECHANICAL CONTRACTOR, INCLUDING ANY ADDITIONAL REQUIRED ENGINEERING FEES.
16. EACH PIECE OF EQUIPMENT SHALL BE PROVIDED WITH A PERMANENT TYPE LAMINATED, BLACK FINISH, WHITE CORE, PHENOLIC NAMEPLATE. NAMEPLATES SHOULD INDICATE THE NAME & NUMBER OF THE UNIT, UNIT VOLTAGE, & ANY INTERLOCK REFERENCE. STARTERS / DISCONNECT SWITCHES SHOULD ALSO BE EQUIPPED WITH AN IDENTICAL NAMEPLATE WITH THE SAME INFORMATION.
17. "ATTIC STOCK" - UPON COMPLETION OF THE PROJECT, MECHANICAL CONTRACTOR SHALL COMPLETELY REMOVE / DISPOSE OF FILTERS USED DURING CONSTRUCTION & START-UP PROCEDURES. INSTALL NEW FILTERS IN ALL EQUIPMENT, MERV-8 OR BETTER UPON TURN OVER OF THE PROJECT TO THE OWNER. IN ADDITION, PROVIDE (2) COMPLETE SETS OF FILTERS FOR EACH PEICE OF EQUIPMENT & TURN OVER TO OWNER.
18. MECHANICAL CONTRACTOR SHALL PROVIDE (1) SPARE MOTOR FOR EACH SIZE MOTOR USED ON THE PROJECT. IN INSTANCES WHERE MORE THAN TEN OF THE SAME MOTOR ARE USED, MECHANICAL CONTRACTOR SHALL PROVIDE (1) SPARE MOTOR FOR EVERY TEN MOTORS OF A GIVEN SIZE USED ON THE PROJECT.
19. MAINTENANCE MANUAL: UPON COMPLETION OF THE PROJECT, THE MECHANICAL CONTRACTOR SHALL PROVIDE A BINDER CONTAINING THE OPERATIONS & MAINTENANCE MANUALS FOR EACH NEW PEICE OF EQUIPMENT INSTALLED UNDER THIS PROJECT. THE FIRST SECTION OF THE MAINTENANCE MANUAL SHALL CONTAIN A LIST OF EACH PEICE OF EQUIPMENT, COMPLETE WITH INFORMATION SHOWING APPROPRIATE REPLACEMENT FILTER SIZES / TYPES, APPROPRIATE REPLACEMENT BELT SPECIFICATIONS, REPLACEMENT MOTOR SPECIFICATIONS, REPLACEMENT BEARING SPECIFICATIONS, VOLTAGES OF UNIT, ETC. THIS SHALL SERVE AS A WRITTEN DATABASE DESCRIBING ALL MAINTENANCE INFORMATION FOR EACH NEW PEICE OF EQUIPMENT USED.

PIPING NOTES

1. THE DRAWINGS SHOW THE GENERAL ARRANGEMENT OF ALL PIPING & EQUIPMENT, & INDICATE THE REQUIRED SIZE / POINTS OF TERMINATION OF THE PIPING & SUGGEST PROPER ROUTING OF SAME. IT IS NOT THE INTENTION OF THE DRAWINGS TO SHOW ALL NECESSARY OFFSETS, RISES, DROPS, OBSTRUCTIONS OR STRUCTURAL CONDITIONS. IT SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR TO INSTALL HIS WORK IN SUCH A MANNER THAT IT WILL CONFORM TO THE STRUCTURE, AVOID OBSTRUCTIONS, PRESERVE HEADROOM & KEEP OPENINGS / PASSAGEWAYS CLEAR WITHOUT FURTHER CONSTRUCTION OR COST.
2. MECHANICAL CONTRACTOR SHALL PROVIDE & INSTALL ALL REQUIRED STRUCTURAL SUPPORTS FOR ALL PIPING SYSTEMS & EQUIPMENT AS REQUIRED. PIPING SYSTEMS SHALL BE EQUIPPED WITH EXPANSION COMPENSATORS AT THE INTERVALS REQUIRED. PROVIDE PIPING GUIDES / ANCHORS AS REQUIRED.
3. MECHANICAL CONTRACTOR SHALL PROPERLY INSULATE ALL NEW PIPING SYSTEMS & EQUIPMENT. REFER TO SPECIFICATION SECTION 230700 FOR FURTHER DETAILS REGARDING INSULATION REQUIREMENTS. UPON COMPLETION OF INSULATION WORK, MECHANICAL CONTRACTOR SHALL PROPERLY LABEL EACH PIPING RUN SHOWING THE TYPE OF FLUID CARRIED & DIRECTION OF FLOW. PIPE IDENTIFICATION MARKERS SHALL BE INSTALLED EVERY 20 FEET IN THE PIPING RUNS.
4. ALL VALVES WITHIN PIPING SYSTEMS SHALL BE TAGGED USING A 1-1/2" DIA. BRASS TAG. PROVIDE A LEGEND LISTING VALVE #, TYPE OF VALVE, SERVICE TYPE, & LOCATION OF VALVE. KEY VALVE #'S TO AS-BUILT DRAWINGS UPON COMPLETION OF PROJECT.

FIRESTOPPING NOTES

1. ALL PENETRATIONS RELATED TO MECHANICAL WORK THROUGH FIRE RATED WALLS, FLOORS OR OTHER STRUCTURES SHALL BE FIRE STOPPED AS REQUIRED TO MAINTAIN THE RATING OF THE WALL BY MECHANICAL CONTRACTOR. IT IS ASSUMED THAT ALL WALLS IN THE CONSTRUCTION CARRY A MINIMUM FIRE RATING OF 1 HR. IT SHOULD BE ASSUMED THAT ALL MACHINE ROOM WALLS / BOILER ROOM WALLS / ELECTRIC ROOM WALLS CARRY A RATING OF 2 HR. MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR A COMPLETE REVIEW OF THE ARCHITECTURAL DRAWINGS IN ORDER TO DETERMINE FIRE RATINGS OF ALL WALLS / PARTITIONS RELATED TO WORK UNDER THIS CONTRACT.
2. MECHANICAL CONTRACTOR SHALL REVIEW THE COMPLETE ARCHITECTURAL SET OF DRAWINGS IN ORDER TO DETERMINE WHERE DUCT PENETRATIONS THROUGH RATED BARRIERS. DUCTS PENETRATING SAID RATED BARRIERS SHALL BE EQUIPPED WITH A UL LISTED FUSIBLE LINK FIRE DAMPER, RATED FOR SERVICE FOR WHICH IT IS BEING USED. FIRE DAMPERS SHALL BE PROVIDED & INSTALLED BY THE MECHANICAL CONTRACTOR, COMPLETE W/ DUCT ACCESS DOORS DIRECTLY ADJACENT TO THE DAMPER, POSITIONED FOR EASY REPLACEMENT OF THE LINK.
3. MECHANICAL CONTRACTOR SHALL REVIEW THE COMPLETE ARCHITECTURAL SET OF DRAWINGS IN ORDER TO DETERMINE WHERE DUCT PENETRATIONS THROUGH RATED BARRIERS OCCUR BETWEEN SEPARATE SMOKE ZONES. DUCTS PENETRATING SAID FIRE / SMOKE BARRIERS SHALL BE EQUIPPED WITH A UL LISTED COMBINATION FIRE / SMOKE DAMPER, RATED FOR SERVICE FOR WHICH IT IS BEING USED. FIRE / SMOKE DAMPERS SHALL BE PROVIDED & INSTALLED BY THE MECHANICAL CONTRACTOR, COMPLETE W/ DUCT ACCESS DOORS DIRECTLY ADJACENT TO THE DAMPER. DAMPER ACTUATOR & RELATED WIRING SHALL BE PROVIDED & INSTALLED BY THE ELECTRICAL CONTRACTOR. COORDINATE DAMPER INSTALLATIONS W/ E.C. TO VERIFY PROPER CLEARANCES TO ASSURE PROPER DAMPER OPERATION.
4. MECHANICAL CONTRACTOR SHALL PROVIDE A FULL SET OF AS-BUILT DRAWINGS, SHOWING EACH DAMPER LOCATION, TYPE OF DAMPER, ACCESS DOOR LOCATIONS, ETC.
5. CONTRACTOR SHALL REFER TO SPECIFICATION SECTION 230680 FOR FURTHER DETAILS REGARDING FIRESTOPPING MATERIALS & METHODS.
6. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF PRODUCTS TO BE USED. FIRESTOP MATERIALS OTHER THAN THE PRODUCTS SPECIFIED SHALL INCLUDE FULL TECHNICAL DATA WITH SHOP DRAWINGS TO DEMONSTRATE EQUALITY WITH THE SPECIFIED FIRESTOPPING MATERIALS.

GENERAL INSTRUMENTATION NOTES

1. AT A MINIMUM, PROVIDE THERMOMETERS / WELLS AT THE FOLLOWING LOCATIONS:
   - AT INLETS & OUTLET OF EACH THREE WAY VALVE (UNIT VENTILATORS / CABINET UNIT HEATER INSTALLATIONS EXCEPTED).
   - AT INLET & OUTLET OF EACH HYDRONIC BOILER, CHILLER OR COOLING TOWER.
   - AT INLET & OUTLET OF EACH HYDRONIC COIL IN AIR HANDLING UNITS & BUILT-UP CENTRAL SYSTEMS.
2. AT A MINIMUM, PROVIDE LIQUID FILLED PRESSURE GAUGES / WELLS AT THE FOLLOWING LOCATIONS:
   - AT SUCTION & DISCHARGE OF EACH PUMP.
   - FOR EACH MAKEUP WATER LINE.
   - BEFORE & AFTER ALL PRESSURE REDUCING VALVES.
   - AT ACCESSIBLE HIGH POINT OF ALL HYDRONIC PIPING SYSTEMS.
   - AT ALL EXPANSION / COMPRESSION TANKS.

EQUIPMENT VENTING NOTES

1. MECHANICAL CONTRACTOR WILL BE RESPONSIBLE FOR THE PROPER VENTING OF ALL NEWLY INSTALLED HYDRONIC PIPING SYSTEMS. AUTOMATIC AIR VENTS SHALL BE INSTALLED AT EVERY HIGH POINT IN THE PIPING SYSTEM WHERE AIR CAN COLLECT. PROVIDE COCK IN RISER PRIOR TO AUTOMATIC AIR VENT. NEW AIR VENTS SHALL BE "TACO" #HY-VENT OR EQUIVALENT.
2. MECHANICAL CONTRACTOR SHALL PROVIDE & INSTALL NEW AUTOMATIC AIR VENT FOR EACH AIR HANDLING UNIT COIL OR DUCT MOUNTED COIL. INSTALL SHUT-OFF COCK PRIOR TO VENT TIE-IN.
3. MECHANICAL CONTRACTOR SHALL PROVIDE NEW MANUAL AIR VENTS FOR ALL UNIT VENTILATOR COILS, CONVECTORS, FAN COIL UNITS, FIN TUBE RADIATORS, ETC. MANUAL VENTS SHALL BE "TACO" #417 COIN VENT OR EQUIVALENT. PROVIDE SHUT-OFF COCK PRIOR TO VENT. AIM COIN VENT DISCHARGE IN AN APPROPRIATE MANNER AS TO FACILITATE THE CAPTURE OF BLEED WATER WHILE PERFORMING SYSTEM BLEEDING OPERATIONS.

ELECTRICAL WORK UNDER MECHANICAL CONTRACT

1. MECHANICAL CONTRACTOR SHALL PROVIDE ALL STARTERS & DISCONNECT SWITCHES REQUIRED FOR ALL NEW MECHANICAL EQUIPMENT. STARTER / DISCONNECT SWITCH INSTALLATION TO BE PERFORMED UNDER THE ELECTRICAL CONTRACT. COORDINATE WORK W/ ELECTRICAL CONTRACTOR PRIOR TO START OF WORK.
2. POWER WIRING REQUIRED FOR CONTROLS SHALL BE PERFORMED UNDER THE MECHANICAL CONTRACT UNLESS SPECIFICALLY NOTED OTHERWISE ON THE ELECTRICAL DRAWINGS. MECHANICAL CONTRACTOR SHALL OBTAIN THE SERVICES OF A LICENSED ELECTRICIAN (PER NEC REQUIREMENTS) TO PERFORM ALL ELECTRICAL WORK.

DUCTWORK NOTES

1. PROVIDE ALL NEW DUCTWORK AS SHOWN AND SPECIFIED UNDER SPECIFICATION SECTION 233113, AND IN CONFORMANCE WITH 'SMACNA' SPECIFICATIONS.
2. IF A DUCT ELBOW IS SHOWN TO BE RADIUSED, THEN RADIUSED ELBOWS SHALL BE INSTALLED. SQUARE ELBOWS MAY NOT BE SUBSTITUTED WHERE RADIUSED ELBOWS ARE SHOWN. WHERE SQUARE ELBOWS ARE SHOWN, TURNING VANES SHALL BE INSTALLED UPON APPROVAL BY THE ENGINEER.
3. PROVIDE DUCT LINING IN ALL DUCTWORK THAT IS CONVEYING BELOW AMBIENT TEMPERATURE AIR & IS NOT INSULATED. PROVIDE LINING IN SUPPLY & RETURN AIR DUCTWORK FROM AIR HANDLING EQUIPMENT TO 20 FEET AWAY FROM THE UNIT(S). IN ADDITION, INCLUDE LINING IN ANY OTHER DUCT SPECIFICALLY SHOWN OR SPECIFIED TO BE EQUIPPED WITH LINING. REFER TO SPECIFICATION SECTION 233113 & 230713 FOR FURTHER INFORMATION.
4. WHERE FLEXIBLE DUCTWORK IS USED, LENGTHS MAY NOT EXCEED 4 FEET TOTAL IN ANY ONE RUN OF FLEXIBLE DUCTWORK. FLEXIBLE DUCTWORK SHALL BE RATED IN ACCORDANCE WITH UL 181, CLASS 1. REFER TO SPECIFICATION SECTION 233113 FOR FURTHER INFORMATION.
5. MECHANICAL CONTRACTOR SHALL PROVIDE A BUTTERFLY TYPE VOLUME DAMPER WITH LOCKING QUADRANT HANDLE PRIOR TO EACH AIR OUTLET SHOWN. INSTALL DAMPER AT LEAST 5 FEET AWAY FROM AIR OUTLET WHEREVER POSSIBLE.
6. MECHANICAL CONTRACTOR SHALL PROVIDE FLEXIBLE DUCT CONNECTIONS WHERE DUCT SYSTEMS CONNECT TO EQUIPMENT. REFER TO SPECIFICATION SECTION 233113 FOR FURTHER INFORMATION.

TESTING and BALANCING NOTES

1. MECHANICAL CONTRACTOR WILL BE REQUIRED TO PERFORM ALL EQUIPMENT & SYSTEM TESTING / BALANCING REQUIRED UNDER THIS CONTRACT. PROVIDE A FULL REPORT DETAILING ALL DESIGN & ACTUAL CONDITIONS FOR ALL AIR & HYDRONIC SYSTEMS SHOWN ON THE DRAWINGS. REFER TO SPECIFICATION SECTIONS 230593 & 230580 FOR FURTHER DETAILS.
2. UPON NOTICE OF COMPLETION OF WORK BY THE CONTRACTOR, OWNER WILL OBTAIN THE SERVICES OF AN INDEPENDENT TESTING & BALANCING CONTRACTOR TO VERIFY THE RESULTS OF THE TESTING & BALANCING REPORT SUBMISSION. INDEPENDENT TESTING AGENCY SHALL SELECT A RANDOM NUMBER OF MEASUREMENTS TO BE CHECKED. MEASUREMENTS WILL BE CHECKED IN THE SAME MANNER AS ORIGINALLY MEASURED. NUMBER OF VERIFICATION MEASUREMENTS SHALL BE APPROXIMATELY 25% OF THE TOTAL MEASUREMENTS FOR THE PROJECT.
3. IF MORE THAN 10% OF THE VERIFICATION TESTING SHOWS DEVIATIONS OF 10% OR MORE / SOUND LEVEL OF 2db DIFFERENT THAN THAT ORIGINALLY MEASURED, THE ORIGINAL REPORT WILL BE REJECTED. ALL SYSTEMS WILL THEN BE REQUIRED TO BE COMPLETELY RE-TESTED, WITH A SECOND REPORT SUBMITTED. IN THE EVENT THAT THE ORIGINAL REPORT IS REJECTED, ALL SYSTEMS SHALL BE READJUSTED & TESTED, NEW CERTIFIED REPORTS SUBMITTED, AND NEW VERIFICATION TESTS MADE, AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL COSTS INVOLVED WITH THE VERIFICATION TESTS.

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
B.D.	BACKDRAFT DAMPER
CWS	COLD WATER SUPPLY
CFM	CUBIC FEET OF AIR PER MINUTE
D.	DEEP / DEPTH
DIA./~	DIAMETER
F&T	FLOAT & THERMOSTATIC
FPM	FEET PER MINUTE
FSD	FIRE DAMPER - DUCT MOUNTED
FLEX	FLEXIBLE
FO	FLAT OVAL DUCTWORK
GAL.	GALLONS
GPH	GALLONS PER HOUR
GPM	GALLONS PER MINUTE
H.	HIGH
H.C.	HANDICAPPED
HWS	HEATING SYSTEM HOT WATER SUPPLY
HWR	HEATING SYSTEM HOT WATER RETURN
HP.	HORSEPOWER
I.D.	INSIDE DIAMETER
KW.	KILOWATT
L.	LONG
LAT	LEAVING AIR TEMPERATURE
LWT	LEAVING WATER TEMPERATURE
MAX.	MAXIMUM
MIN.	MINIMUM
MBH	BTU x 1,000
MFR.	MANUFACTURER
M.H.	MANHOLE
MISC.	MISCELLANEOUS
MTD.	MOUNTED
G	NATURAL GAS
N.I.C.	NOT IN CONTRACT
No. / #	NUMBER
NOM.	NOMINAL
N.T.S.	NOT TO SCALE
O.A.	OUTSIDE AIR
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
O.S. & Y	OUTSIDE SCREW & YOKE
O.C.	ON CENTER
PE.	PNEUMATIC / ELECTRIC
PREFAB	PREFABRICATED
PRV	PRESSURE REDUCING VALVE
PSI.	POUNDS PER SQUARE INCH
R.A.	RETURN AIR
REQ'D.	REQUIRED
RPM	REVOLUTIONS PER MINUTE
S.A.	SUPPLY AIR
SCH.	SCHEDULE
S.P.	STATIC PRESSURE
STD.	STANDARD
T	TEMPERATURE
TXV	THERMAL EXPANSION VALVE
TYP.	TYPICAL
VOL.	VOLUME
V.D.	VOLUME DAMPER
VOL.	VELOCITY
VFD	VARIABLE FREQUENCY DRIVE
W.	WIDE
WB.	WET BULB TEMPERATURE
WTD	WATER TEMPERATURE DROP
WTR	WATER TEMPERATURE RISE
WPD	WATER PRESSURE DROP

MECHANICAL SYMBOL LEGEND

SYMBOL	DESCRIPTION
24x12 / 20"-	RECTANGULAR GALVANIZED DUCTWORK - DIMENSIONS 'W' x 'H'
	NEW SUPPLY DUCTWORK TO RISE UP
	NEW SUPPLY DUCTWORK TO DROP DOWN
	NEW RETURN DUCTWORK TO RISE UP
	NEW RETURN DUCTWORK TO DROP DOWN
	TRANSITION IN DUCTWORK
	FIRE DAMPER INSTALLED IN DUCTWORK
	VOLUME DAMPER IN DUCT (w/ LOCKING QUADRANT HANDLE)
	ROUND DUCTWORK TO RISE UP
	ROUND DUCTWORK TO DROP DOWN
42x18 FO	FLAT OVAL DUCT WORK
	RECTANGULAR TO ROUND DUCT TRANSITION
	ELBOW IN DUCTWORK w/ TURNING VANES
	ELBOW IN DUCTWORK (RADIUS = 1.5 x D)
	45 DEG. TAKEOFF FITTING
	90 DEG. TAKEOFF w/ BELLMOUTH FITTING
	FLEXIBLE DUCTWORK TO DIFFUSER (4 FT. MAX. RUN)
	4-WAY PATTERN CEILING DIFFUSER
	3-WAY PATTERN CEILING DIFFUSER
	2-WAY PATTERN CEILING DIFFUSER (90 DEG. / OPPOSING PATTERN)
	CEILING RETURN AIR REGISTER
	LINEAR SLOT DIFFUSER
	ROOF MOUNTED EXHAUST FAN

ROOFTOP UNIT ANCHORING

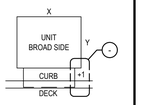
BASED ON 140 MPH WIND (50 PSF) AND 200 LB SHEAR AND PULL-OUT FOR FASTENERS.

W = WEIGHT OF UNIT IN LBS.
F_Q = MINIMUM QUANTITY OF FASTENERS FOR UNIT TO CURB AND CURB TO DECK
F_R = MINIMUM QUANTITY OF FASTENERS FOR RAIL TO DECK. (UNIT TO RAIL SHOULD BE WITH THE MANUFACTURER PROVIDED TABS).
F_S = MINIMUM QUANTITY OF ½" DIA. SHEET SCREWS PER STRAP ANCHOR POINT. STRAPS HALL BE 12GA. x 1½" ALUMINUM.

FASTENERS SHALL BE:
- UNIT TO CURB/RAIL - ½" DIA. SHEET METAL SCREWS
- CURB/RAIL TO METAL DECK - ½" DIA. SHEET METAL SCREWS
- CURB/RAIL TO CONCRETE - ½" DIA. TAPCONS
- CURB/RAIL TO TECTUM DECK - ½" DIA. TOGGLE BOLTS

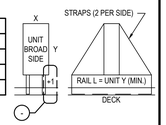
TYPE A - HORIZONTAL

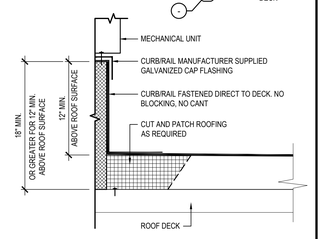
	X	Y + 1	W	F_Q
UP TO	5'	4'	500	4
UP TO	8'	5'	900	6
UP TO	12'	6'	1,500	12



TYPE A - VERTICAL

	X	Y + 1	F_R	F_S
UP TO	2'	4'	4	1
UP TO	3'	6'	4	1
UP TO	4'	7'	6	2





TYPICAL CURB / RAIL INSTALLATION DETAIL

SCALE: N.T.S.

PIPING SYMBOL LEGEND

SYMBOL	DESCRIPTION
	PIPING TO RISE UP
	PIPING TO DROP DOWN
P.A.	PIPING ANCHOR
	PIPING GUIDE
	COLD WATER SUPPLY PIPING
HWS	HEATING SYSTEM SUPPLY PIPING
HWR	HEATING SYSTEM RETURN PIPING
	CHILLED WATER SUPPLY PIPING
	CHILLED WATER RETURN PIPING
	CONDENSER WATER SUPPLY PIPING
	CONDENSER WATER RETURN PIPING
CD	CONDENSATE DRAINAGE PIPING
F.O.S.	FUEL OIL SUPPLY PIPING
F.O.R.	FUEL OIL RETURN PIPING
G	LOW PRESSURE NATURAL GAS PIPING
EG	ELEVATED PRESSURE NATURAL GAS PIPING
	GAS COCK
	DIRT LEG IN PIPING
LP	LIQUEFIED PETROLEUM GAS PIPING
V	VENT PIPING
	LINEAR EXPANSION COMPENSATOR
	EXPANSION LOOP IN PIPING
	UNION IN PIPING
	PIPING STRAINER (w/ BLOWDOWN VALVE)
	REDUCER / INCREASER FITTINGS IN PIPING
	ECCENTRIC REDUCER IN PIPING
	THERMOMETER
	PRESSURE GAUGE
	FULL PORT BALL VALVE
	GATE VALVE
	SWING CHECK VALVE
	BALANCING VALVE
	3-WAY VALVE (w/ OPERATOR)
	CIRCUIT SETTER
	TRIPLE DUTY VALVE
	WAFER VALVE
	PLUG / CAP IN PIPING
	PNEUMATIC CONTROL VALVE OPERATOR
	ELECTRIC CONTROL VALVE OPERATOR
	AUTOMATIC AIR VENT
	EXISTING PIPING TO BE REMOVED
	POINT OF DISCONNECT
	POINT OF CONNECTION BETWEEN NEW & EXISTING

REV.	DATE	ITEM
1	03/06/25	BID ADDENDUM No. 1

NOTICE

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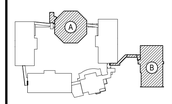

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

GENERAL NOTES, LEGENDS, ETC.

PROJECT

DWG TITLE

DRAWING BY: JH

CHECK BY: CW

NOTICE

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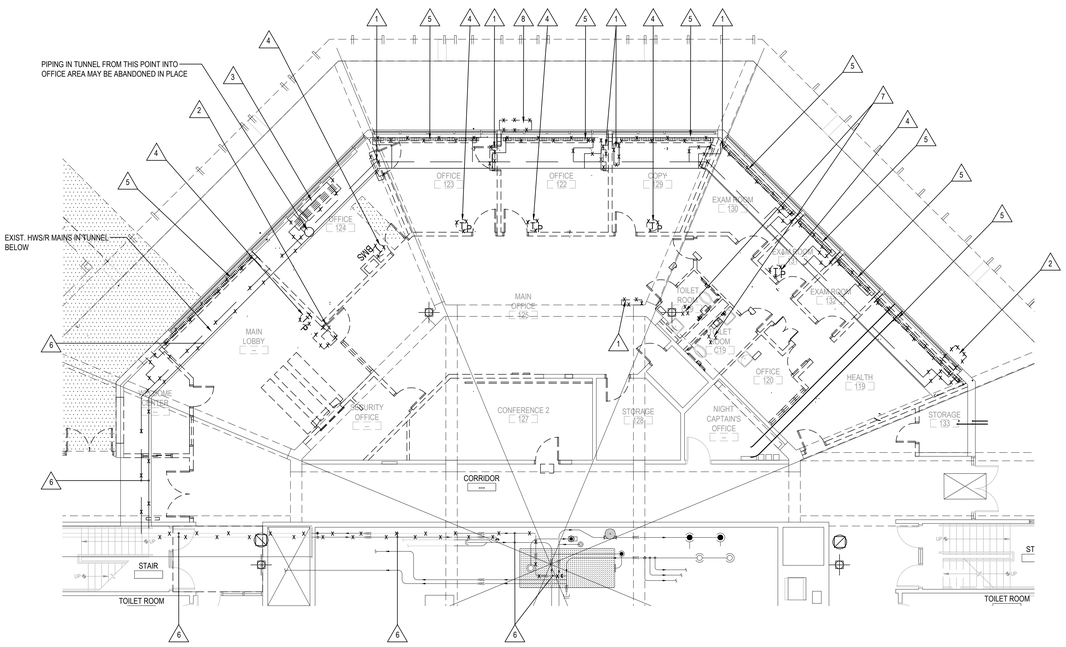
SED No:	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	GENERAL NOTES, LEGENDS ETC.
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

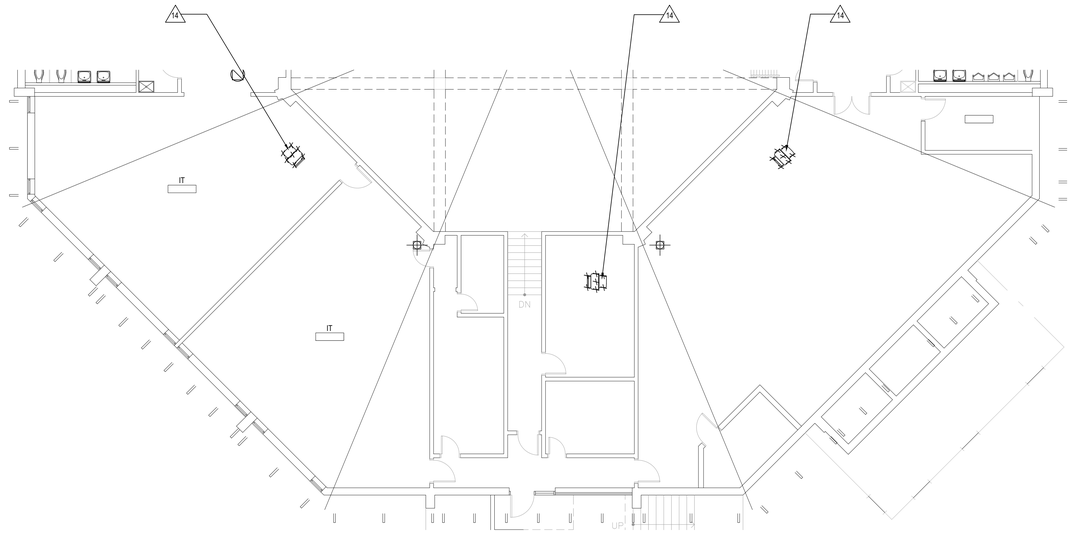
M0.01



MECHANICAL FIRST FLOOR DEMOLITION PLAN

NOTE:

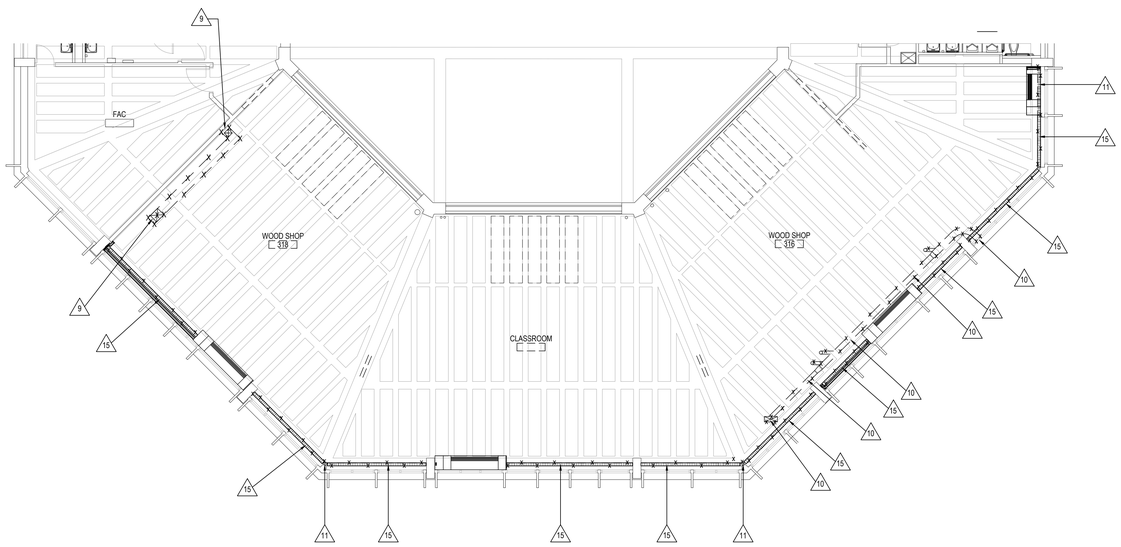
SCALE: 1/8" = 1'-0"



MECHANICAL - UPPER 3rd. FLOOR / ROOF DEMOLITION PLAN

NOTE:

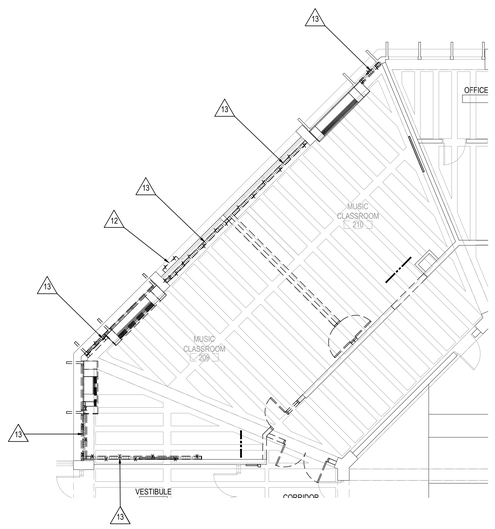
SCALE: 1/8" = 1'-0"



MECHANICAL THIRD FLOOR DEMOLITION PLAN

NOTE:

SCALE: 1/8" = 1'-0"



MECHANICAL SECOND FLOOR DEMOLITION PLAN

NOTE:

SCALE: 1/8" = 1'-0"

DEMOLITION KEY NOTES

1. MC SHALL REMOVE EXISTING WALL MOUNTED SPLIT SYSTEMS & RELATED SUPPORTS. RECLAIM REFRIGERANT CHARGE. REMOVE REFRIGERATION LINESETS / LINESET & PIPING ENCLOSURES. REMOVE RELATED TEMPERATURE CONTROLS, WIRING & WIRING RACEWAYS. TURN ALL REMOVED EQUIPMENT OVER TO OWNER UPON COMPLETION. EC TO DISCONNECT & REMOVE POWER WIRING.
2. MC TO REMOVE EXISTING WINDOW AC UNITS & TURN ALL UNITS OVER TO THE OWNER. REMOVE UNIT SUPPORTS. RECEPTACLES / WIRING / CONDUIT TO BE REMOVED BY THE E.C..
3. MC TO REMOVE UNIT VENTILATOR & RELATED CONTROLS, CONTROL WIRING, BASES, CABINETRY, ETC. GC TO REMOVE WALL LOUVER & PATCH WALL OPENING. E.C. TO DISCONNECT POWER & REMOVE WIRING / CONDUITS BACK TO POINT OF CONNECTION W/ POWER PANEL.
4. MC TO REMOVE ALL EXISTING THERMOSTATS. REMOVE ANY WIRING / RACEWAYS ASSOCIATED W/ CONTROLS BACK TO POINT OF CONNECTION W/ CONTROLLER. REMOVE CONTROLLER & ALL RELATED CONTROLS / INTERCONNECTIONS WITH THE BMS BUSS. RETAIN BMS SYSTEM BUSS WIRING FOR FUTURE CONNECTION OF NEW EQUIPMENT TO BMS.
5. MC TO REMOVE ALL EXISTING FIN TUBE RADIATORS, RELATED CONTROLS, ENCLOSURES, & ENCLOSURE SUPPORTS. REMOVE ALL CONTROL WIRING & RACEWAYS BACK TO POINT OF CONNECTION W/ CONTROLLERS. REMOVE CONTROLLERS / RELATED CONTROLS. RETAIN BMS BUSS WIRING. WHERE PIPING STUBS UP FROM PIPE TUNNEL BELOW, REMOVE STUB UP & PERMANENTLY CAP PIPING BELOW FLOOR.
6. MC TO CUT & CAP EXISTING HWS / HWR LINES AT THE LOCATIONS SHOWN. REMOVE EXISTING HWS/R PIPING FOR TYHE MAIN OFFICE AREA TO THE EXTENT SHOWN, FROM POINTS OF DISCONNECT @ HEADERS ALL THE WAY THRU THE BOILER ROOM, INTO THE TUNNEL & UP TO POINT OF CONN. @ THE FIRST OFFICE #124.
7. MC TO REMOVE EXISTING EXHAUST GRILLES IN OFFICE AREA BATHROOMS. DISPOSE OF ALL DEBRIS FROM SITE. RETAIN ANY GRILLES WHERE STATED TO BE RE-USED.
8. MC TO REMOVE EXISTING SPLIT SYSTEM CONDENSING UNIT & ALL ASSOCIATED REFRIGERANT LINESETS / LINESET ENCLOSURES / MOUNTING HARDWARE, ETC. PROPERLY RECOVER REFRIGERANT. GC TO PATCH WALL / FILL REMAINING HARDWARE HOLES / PIPING PENETRATIONS & PAINT TO MATCH EXISTING CONDITIONS.
9. MC TO DEMO & CAP EXISTING DUCTWORK TO THE EXTENT SHOWN. GC TO PATCH WALL PENETRATION(S) & PAINT TO MATCH EXISTING CONDITIONS.
10. MC TO DEMO EXISTING DUST COLLECTION DUCTWORK. GC TO REPLACE GLASS PANE AT LOC. WHERE DUCT PASSED TO THE OUTSIDE.
11. MC TO DEMO EXISTING FIN TUBE ENCLOSURE. FIN TUBE ELEMENTS / PIPING TO REMAIN. MODIFY EXISTING PIPING AT NEW UNIT VENT LOCATION AS REQUIRED TO INSTALL / PIPE IN NEW UNIT VENT. REFER TO M2. & M6. SERIES DRAWINGS FOR FURTHER DETAILS.
12. NOT USED.
13. MC TO REMOVE EXISTING FIN TUBE ENCLOSURES AT EACH LOCATION SHOWN. FIN TUBE ELEMENTS / PIPING TO REMAIN. RETAIN ENCLOSURES IF SLATED TO BE REFINISHED / REINSTALLED.
14. MC TO REMOVE EXISTING EXHAUST FANS AT EACH LOCATION SHOWN. EC TO DISCONNECT POWER / MC TO DISCONNECT CONTROLS / WIRING. GC TO MODIFY OPENINGS AS NEEDED TO ACCOMMODATE NEW EQUIPMENT.
15. MC TO REMOVE EXISTING FIN TUBE ENCLOSURE THE LOCATIONS SHOWN.

REV.	DATE	ITEM
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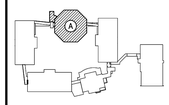

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

PROJECT

DEMOLITION PLANS

DWG TITLE

DRAWING BY: JH

CHECK BY: CW

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SED No. 66-01-02-06-0-007-013

DISTRICT: BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT: PHASE 2 - BOND IMPROVEMENTS

DWG TITLE: DEMOLITION PLANS

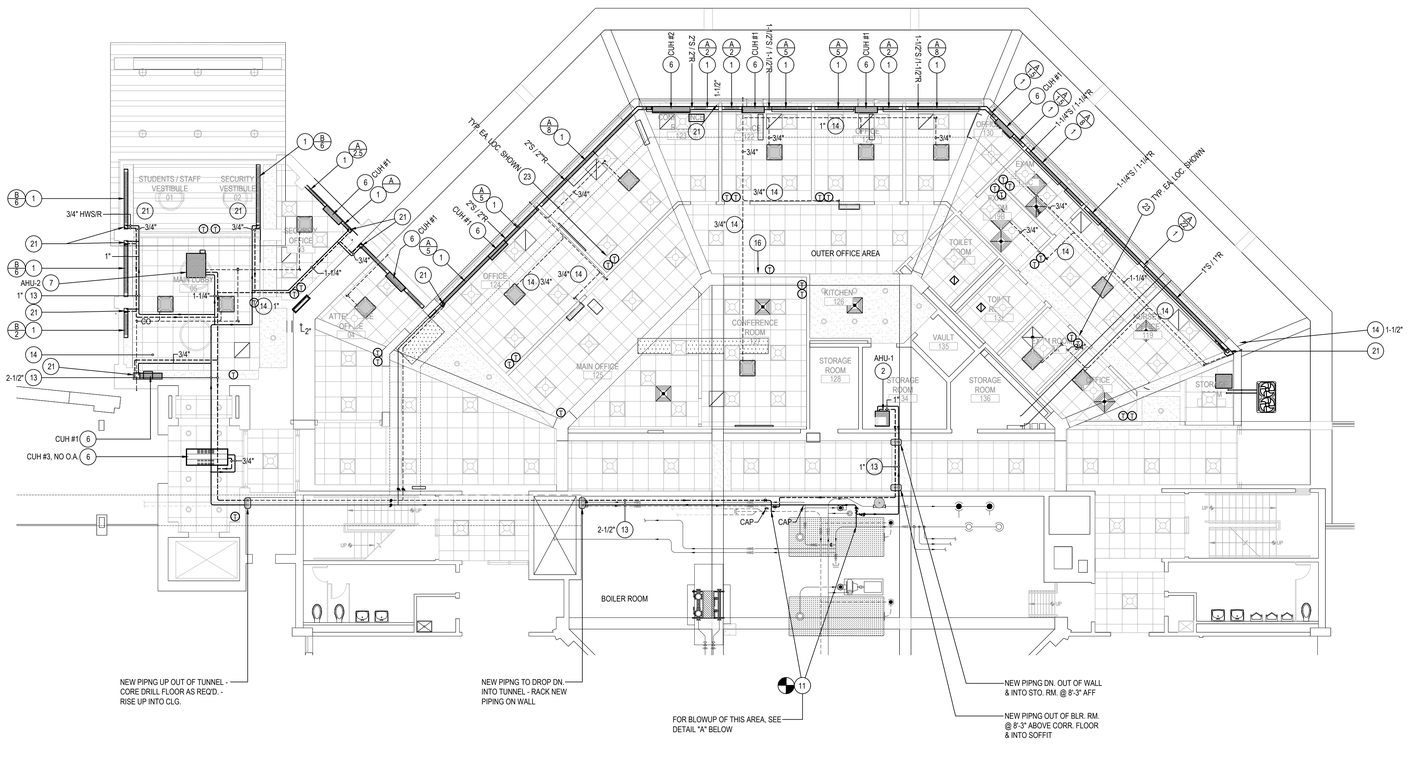
SCALE: AS NOTED

DATE: APRIL 2024

BID PICK-UP: FEBRUARY 24, 2025

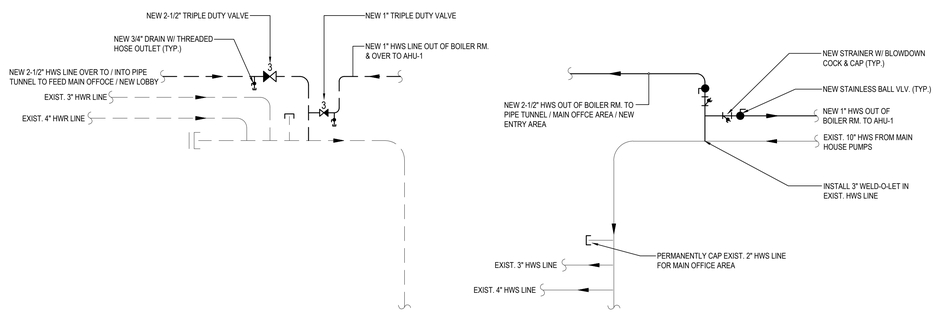
FILE No: 23-131b FLMS

M1.01



FIRST FLOOR MECHANICAL PROPOSED PLAN - PIPING

NOTE: SCALE:1/8" = 1'-0"

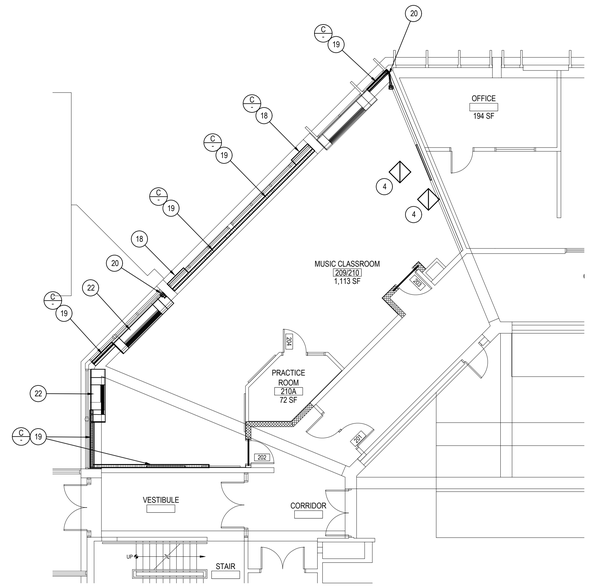


DETAIL "A" - NEW PIPING CONNECTIONS AT BOILER ROOM

NOTE: NOT TO SCALE

PROPOSED KEY NOTES

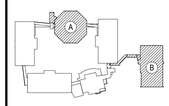
1. MC TO INSTALL NEW FIN TUBE & ENCLOSURES AT THE LOCATION SHOWN. PROVIDE THERMOSTAT & RELATED CONTROLS / CONTROL VALVES. PROVIDE PIPING ENCLOSURES FOR PIPING DROPS FROM CEILING. REFER TO DWG. #M6.01 & DETAIL #'s 3 & 10 FOR MORE INFORMATION.
2. MC TO INSTALL NEW AIR HANDLER AS SHOWN. REFER TO DWG. #M6.02 FOR MORE INFORMATION. PROVIDE 4"T. CONC. SUPPORT PAD, NEW DUCTWORK, NEW HWS/R PIPING, NEW REFR. PIPING & NEW TEMPERATURE CONTROLS FOR UNIT.
3. MC TO INSTALL NEW DUCTWORK & DIFFUSERS AS SHOWN. PROVIDE DUCT SUPPORTS, 2"T. INSULATION FOR NEW DUCTWORK. DUCTWORK DIMENSIONS SHOWN ON DRAWINGS ARE "CLEAR" INSIDE DIMENSIONS. BALANCE SYSTEM TO THE AIRFLOW VALUES SHOWN. REFER TO DWG. #M6.01 FOR MORE INFORMATION.
4. MC TO INSTALL NEW EXHAUST EGG CRATE GRILLES (TYPE R-1) AT THE LOCATIONS SHOWN. REFER TO DWG. #M6.01 FOR MORE INFORMATION.
5. MC TO INSTALL NEW INLINE FANS AT THE LOCATIONS SHOWN. REFER TO DWG. #M6.01 FOR FURTHER DETAILS. TEMPERATURE CONTROLS BY MC / POWER WIRING BY EC.
6. MC TO INSTALL NEW FLOOR MOUNTED HOT WATER CABINET UNIT HEATERS W/ OUTDOOR AIR OPENINGS / DAMPERS AT EACH LOCATION SHOWN. MC TO PROVIDE AUTOMATED DAMPER & NEW LOUVER. GC TO CUT OPENING IN WALL & INSTALL LOUVER. GC / MC TO COORDINATE FINAL LOCATIONS. REFER TO DWG. #M6.02 & #M6.05 FOR FURTHER DETAILS.
7. MC TO INSTALL NEW CEILING HUNG AHU UNIT & RUN DUCT WORK IN THE VESTIBULE AS SHOWN. PROVIDE DIFFUSERS / GRILLES & BALANCE TO THE AIRFLOW VALUES SHOWN. SEE DWG. #M6.05 FOR MORE INFORMATION.
8. MC TO PROVIDE & INSTALL NEW VRF CEILING CASSETTES / THERMOSTATS / CONDENSATE PUMPS & PIPING AS SHOWN. PROVIDE SUPPORTS / REFR. PIPING / TEMPERATURE CONTROLS & WIRING AS REQUIRED. REFER TO DWG. #M6.02 & M6.03 FOR FURTHER DETAILS.
9. MC TO PROVIDE & INSTALL NEW VRF WALL UNITS W/ CONDENSATE PUMPS & PIPING AS SHOWN. PROVIDE SUPPORTS, REFR. PIPING / PIPING ENCLOSURES / TEMPERATURE CONTROLS & CONTROL WIRING. REFER TO DWG. #M6.02 FOR FURTHER INFORMATION.
10. MC TO PROVIDE & INSTALL NEW CONDENSING UNIT ON RAILS IN THE LOCATION SHOWN. ALL REFRIGERANT PIPING TO BE INSULATED & INSTALLED MY MC. REFER TO DWG. #'s M6.02 & M6.03 FOR FURTHER DETAILS.
11. MC TO TIE NEW HWS/R PIPING INTO EXISTING PIPING WITHIN BOILER ROOM WHERE SHOWN. PROVIDE VALVES / FITTINGS AS SHOWN. PROVIDE CIRCUIT SETTERS ON (2) RETURN BRANCHES COMING BACK TO BOILER ROOM. RUN NEW PIPING THROUGHOUT MAIN OFFICE / NURSE'S OFFICE AREAS AS SHOWN. REFER TO DWG M6.01 & DWG. #M6.04, DETAIL #1 FOR FURTHER INFORMATION.
12. MC TO PROVIDE & INSTALL NEW ENERGY RECOVERY VENTILATOR WHERE SHOWN, SUSPENDED FROM THE CEILING STRUCTURE. SUPPLY CFM TO BE SET AT 130 CFM / RETURN CFM TO BE SET AT 150CFM. GC TO CUT OUTDOOR AIR OPENINGS IN THE WALL. MC TO PROVIDE & INSTALL ALL DUCTWORK, INSULATION, WALL GRILLES / JACKS, SUPPORTS, TEMPERATURE CONTROLS & WIRING ETC, AS REQUIRED FOR A COMPLETE & OPERATIONAL INSTALLATION. REFER TO DWG. #M6.01 FOR MORE INFORMATION.
13. MC TO INSTALL NEW HWS / HWR PIPING / SUPPORTS AS SHOWN. PROVIDE & INSTALL 2" INSULATION FOR ALL PIPING.
14. MC TO RUN NEW CONDENSATE LINES FROM EACH VRF CASSETTE / WALL UNIT & RUN TO EXTERIOR WALL AS SHOWN. CORE DRILL AS REQUIRED. ALL CONNECTIONS BETWEEN CONDENSATE LINES MUST BE T-Y FITTINGS. CONDENSATE LINE TO BE TYPE "M" COPPER. REFER TO DWG. #M6.05 FOR FURTHER INFORMATION.
15. MC TO INSTALL "LI" OR "Z" DUCTS, ACOUSTICALLY LINED DUCTWORK AT EACH LOCATION SHOWN. DUCTWORK DIMENSIONS SHOWN ON DRAWINGS ARE "CLEAR" INSIDE DIMENSIONS. SEE DWG #M6.05 FOR MORE INFORMATION.
16. MC TO PROVIDE & INSTALL NEW TRANSFER GRILLS AT EACH LOCATION SHOWN. GC TO CUT WALL OPENINGS FOR GRILLS. MC / GC TO COORDINATE FINAL LOCATIONS. SEE DWG. #M6.05 FOR FURTHER INFORMATION.
17. MC TO PROVIDE & INSTALL NEW FIRE SMOKE DAMPER AT THE LOCATIONS SHOWN. GC TO CUT HOLE FOR DAMPER. GC / MC TO COORDINATE LOCATION. EC TO WIRE DAMPER. SEE DWG. #M6.05 FOR FURTHER INFORMATION.
18. MC TO PROVIDE & INSTALL NEW BAROMETRIC RELIEF DAMPERS / OUTDOOR AIR LOUVERS AT EACH LOCATION SHOWN. REFER TO DWG. #M6.01 FOR FURTHER INFORMATION.
19. MC TO PROVIDE & INSTALL NEW FIN TUBE RADIATOR ENCLOSURES. PROVIDE NEW FULL BACK PLATE SUPPORTS, ELEMENT SUPPORTS, ETC. AS REQ'D. TO INSTALL NEW ENCLOSURE WHERE SHOWN / INSTALL NEW ENCLOSURE OVER EXISTING FTR ELEMENT WHERE SHOWN. REFER TO DWG. #M6.0 FOR FURTHER INFORMATION.
20. MC TO RUN NEW REFRIGERANT LINES FROM THE ROOF TO EACH DX COOLING COIL IN THEIR RESPECTIVE UNIT VENT / CEILING CASSETTE / WALL MOUNT UNIT. PROVIDE & INSTALL NEW 6x6 18 GA. METAL PAINTED PIPING ENCLOSURE, FLOOR TO CEILING TO CONCEAL NEW REFR. PIPING. SEE DWG. #M6.02 FOR FURTHER INFORMATION.
21. MC TO PROVIDE & INSTALL A NEW PIPING ENCLOSURE. ENCLOSURE TO BE 18 GA. STEEL, PAINTED TO MATCH ADJACENT SURFACES. ENCLOSURE TO RUN FROM FIN. FLOOR UP TO CEILING. PROVIDE SIDE ACCESS OPENING TO FEED PIPING INTO FIN TUBE ENCLOSURE / UNIT VENT / CABINET UNIT HEATER.
22. MC SHALL DISCONNECT EXISTING UNIT VENTILATOR / SHALL DISCONNECT EXISTING EXHAUST UNIT. GC TO PROVIDE 26" BASE FOR UNITS AT THE SAME LOCATION. UPON COMPLETION OF BASES, REINSTALL EXISTING UNITS ON NEW BASE & MODIFY HWS/R PIPING AS REQUIRED TO RECONNECT UNIT(S). REFER TO DETAIL # , DWG. #M6.0 FOR FURTHER DETAILS.
23. TYP. FOR NEW HEATING THERMOSTAT (TO BMS) & NEW THERMOSTAT / CONTROLLER FOR VRF COOLING.



SECOND FLOOR MECHANICAL PROPOSED PLAN

NOTE: SCALE:1/8" = 1'-0"

REV	DATE	ITEM
1	03/06/25	BID ADDENDUM No. 1



KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

PROPOSED
FIRST and SECOND FLOOR PLANS

DRAWING BY: JH

CHECK BY: CW

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DWG TITLE	PROPOSED FIRST and SECOND FLOOR PLANS
SCALE:	AS NOTED
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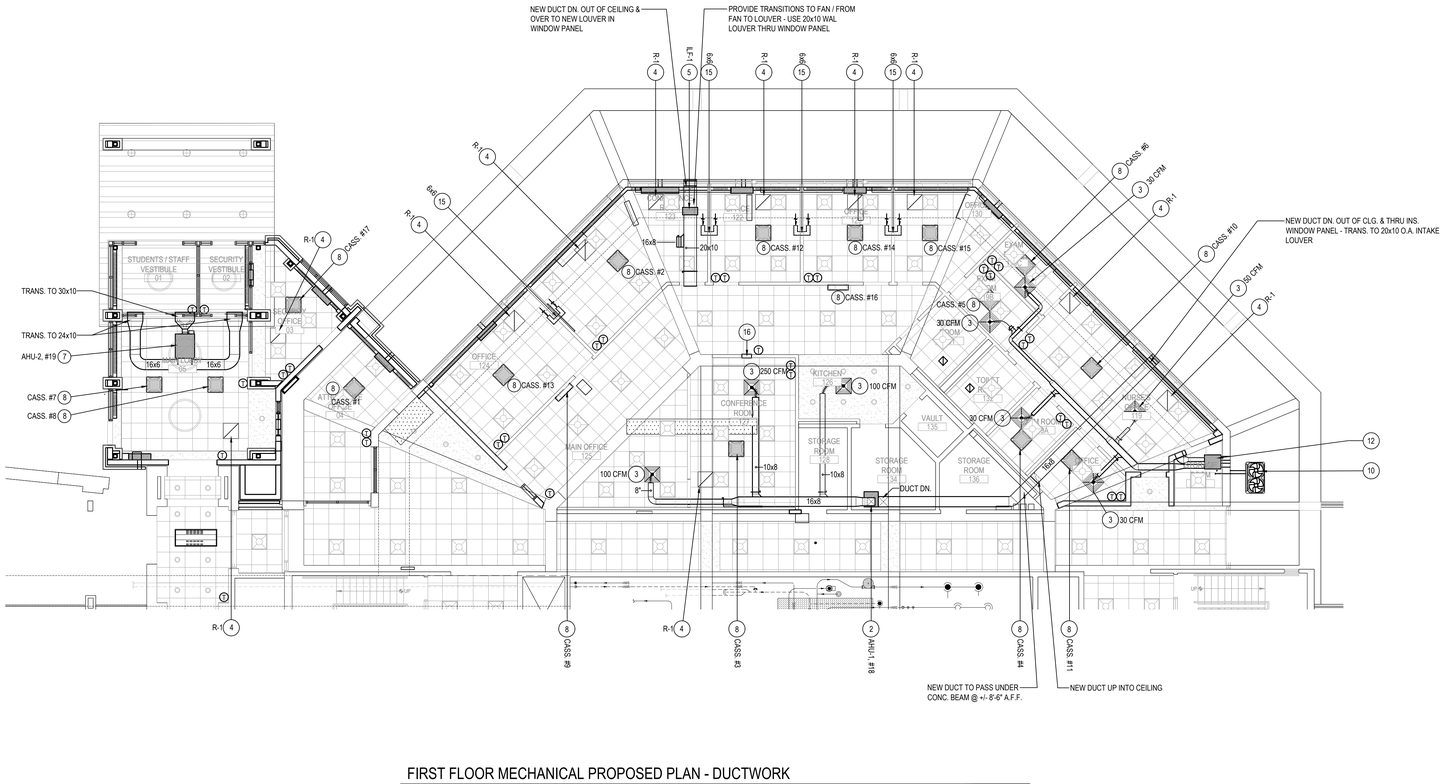
FILE No:	23-131b FLMS

M2.01



PROPOSED KEY NOTES

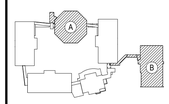
1. MC TO INSTALL NEW FIN TUBE & ENCLOSURES AT THE LOCATION SHOWN. PROVIDE THERMOSTAT & RELATED CONTROLS / CONTROL VALVES. PROVIDE PIPING ENCLOSURES FOR PIPING DROPS FROM CEILING. REFER TO DWG. #M6.01 & DETAIL #'s 3 & 10 FOR MORE INFORMATION.
2. MC TO INSTALL NEW AIR HANDLER AS SHOWN. REFER TO DWG. #M6.02 FOR MORE INFORMATION. PROVIDE 4"T. CONC. SUPPORT PAD, NEW DUCTWORK, NEW HWS/R PIPING, NEW REFR. PIPING & NEW TEMPERATURE CONTROLS FOR UNIT.
3. MC TO INSTALL NEW DUCTWORK & DIFFUSERS AS SHOWN. PROVIDE DUCT SUPPORTS, 2"T. INSULATION FOR NEW DUCTWORK. DUCTWORK DIMENSIONS SHOWN ON DRAWINGS ARE "CLEAR" INSIDE DIMENSIONS. BALANCE SYSTEM TO THE AIRFLOW VALUES SHOWN. REFER TO DWG. #M6.01 FOR MORE INFORMATION.
4. MC TO INSTALL NEW EXHAUST EGG CRATE GRILLES (TYPE R-1) AT THE LOCATIONS SHOWN. REFER TO DWG. #M6.01 FOR MORE INFORMATION.
5. MC TO INSTALL NEW INLINE FANS AT THE LOCATIONS SHOWN. REFER TO DWG. #M6.01 FOR FURTHER DETAILS. TEMPERATURE CONTROLS BY MC / POWER WIRING BY EC.
6. MC TO INSTALL NEW FLOOR MOUNTED HOT WATER CABINET UNIT HEATERS W/ OUTDOOR AIR OPENINGS / DAMPERS AT EACH LOCATION SHOWN. MC TO PROVIDE AUTOMATED DAMPER & NEW LOUVER. GC TO CUT OPENING IN WALL & INSTALL LOUVER. GC / MC TO COORDINATE FINAL LOCATIONS. REFER TO DWG. #M6.02 & #M6.05 FOR FURTHER DETAILS.
7. MC TO INSTALL NEW CEILING HUNG AHU UNIT & RUN DUCT WORK IN THE VESTIBULE AS SHOWN. PROVIDE DIFFUSERS / GRILLES & BALANCE TO THE AIRFLOW VALUES SHOWN. SEE DWG. #M6.05 FOR MORE INFORMATION.
8. MC TO PROVIDE & INSTALL NEW VRF CEILING CASSETTES / THERMOSTATS / CONDENSATE PUMPS & PIPING AS SHOWN. PROVIDE SUPPORTS / REFR. PIPING / TEMPERATURE CONTROLS & WIRING AS REQUIRED. REFER TO DWG. #M6.02 & M6.03 FOR FURTHER DETAILS.
9. MC TO PROVIDE & INSTALL NEW VRF WALL UNITS W/ CONDENSATE PUMPS & PIPING AS SHOWN. PROVIDE SUPPORTS, REFR. PIPING / PIPING ENCLOSURES / TEMPERATURE CONTROLS & CONTROL WIRING. REFER TO DWG. #M6.02 FOR FURTHER INFORMATION.
10. MC TO PROVIDE & INSTALL NEW CONDENSING UNIT ON RAILS IN THE LOCATION SHOWN. ALL REFRIGERANT PIPING TO BE INSULATED & INSTALLED MY MC. REFER TO DWG. #'s M6.02 & M6.03 FOR FURTHER DETAILS.
11. NOT USED.
12. MC TO PROVIDE & INSTALL NEW ENERGY RECOVERY VENTILATOR WHERE SHOWN, SUSPENDED FROM THE CEILING STRUCTURE. SUPPLY CFM TO BE SET AT 130 CFM / RETURN CFM TO BE SET AT 150CFM. GC TO CUT OUTDOOR AIR OPENINGS IN THE WALL. MC TO PROVIDE & INSTALL ALL DUCTWORK, INSULATION, WALL GRILLES / JACKS, SUPPORTS, TEMPERATURE CONTROLS & WIRING ETC, AS REQUIRED FOR A COMPLETE & OPERATIONAL INSTALLATION. REFER TO DWG. #M6.01 FOR MORE INFORMATION.
13. MC TO INSTALL NEW HWS / HWR PIPING / SUPPORTS AS SHOWN. PROVIDE & INSTALL 2" INSULATION FOR ALL PIPING.
14. MC TO RUN NEW CONDENSATE LINES FROM EACH VRF CASSETTE / WALL UNIT & RUN TO EXTERIOR WALL AS SHOWN. CORE DRILL AS REQUIRED. ALL CONNECTIONS BETWEEN CONDENSATE LINES MUST BE T-Y FITTINGS. CONDENSATE LINE TO BE TYPE "M" COPPER. REFER TO DWG. #M6.05 FOR FURTHER INFORMATION.
15. MC TO INSTALL "LF OR "Z" DUCTS, ACOUSTICALLY LINED DUCTWORK AT EACH LOCATION SHOWN. DUCTWORK DIMENSIONS SHOWN ON DRAWINGS ARE "CLEAR" INSIDE DIMENSIONS. SEE DWG M6.05 FOR MORE INFORMATION.
16. MC TO PROVIDE & INSTALL NEW TRANSFER GRILLS AT EACH LOCATION SHOWN. GC TO CUT WALL OPENINGS FOR GRILLS. MC / GC TO COORDINATE FINAL LOCATIONS. SEE DWG. #M6.05 FOR FURTHER INFORMATION.
17. MC TO PROVIDE & INSTALL NEW FIRE SMOKE DAMPER AT THE LOCATIONS SHOWN. GC TO CUT HOLE FOR DAMPER. GC / MC TO COORDINATE LOCATION. EC TO WIRE DAMPER. SEE DWG. #M6.05 FOR FURTHER INFORMATION.
18. MC TO PROVIDE & INSTALL NEW BAROMETRIC RELIEF DAMPERS / OUTDOOR AIR LOUVERS AT EACH LOCATION SHOWN. REFER TO DWG. #M6.01 FOR FURTHER INFORMATION.
19. MC TO PROVIDE & INSTALL NEW FIN TUBE RADIATOR ENCLOSURES. PROVIDE NEW FULL BACK PLATE SUPPORTS, ELEMENT SUPPORTS, ETC. AS REQ'D. TO INSTALL NEW ENCLOSURE WHERE SHOWN / INSTALL NEW ENCLOSURE OVER EXISTING FTR ELEMENT WHERE SHOWN. REFER TO DWG. #M6.0 FOR FURTHER INFORMATION.
20. MC TO RUN NEW REFRIGERANT LINES FROM THE ROOF TO EACH DX COOLING COIL IN THEIR RESPECTIVE UNIT VENT / CEILING CASSETTE / WALL MOUNT UNIT. PROVIDE & INSTALL NEW 6x6 18 GA. METAL PAINTED PIPING ENCLOSURE, FLOOR TO CEILING TO CONCEAL NEW REFR. PIPING. SEE DWG. #M6.02 FOR FURTHER INFORMATION.
21. MC TO PROVIDE & INSTALL A NEW PIPING ENCLOSURE. ENCLOSURE TO BE 18 GA. STEEL, PAINTED TO MATCH ADJACENT SURFACES. ENCLOSURE TO RUN FROM FIN. FLOOR UP TO CEILING. PROVIDE SIDE ACCESS OPENING TO FEED PIPING INTO FIN TUBE ENCLOSURE / UNIT VENT / CABINET UNIT HEATER.

FIRST FLOOR MECHANICAL PROPOSED PLAN - DUCTWORK

NOTE:

SCALE:1/8" = 1'-0"

REV	DATE	ITEM
1	03/06/25	BID ADDENDUM No. 1



KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

PROJECT

PROPOSED
FIRST and SECOND FLOOR PLANS

DWG TITLE

DRAWING BY: JH

CHECK BY: CW

BBS
ARCHITECTS
LANDSCAPE ARCHITECTS
ENGINEERS

244 EAST MAIN STREET
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SUITE 115, ALBANY
NEW YORK 12203
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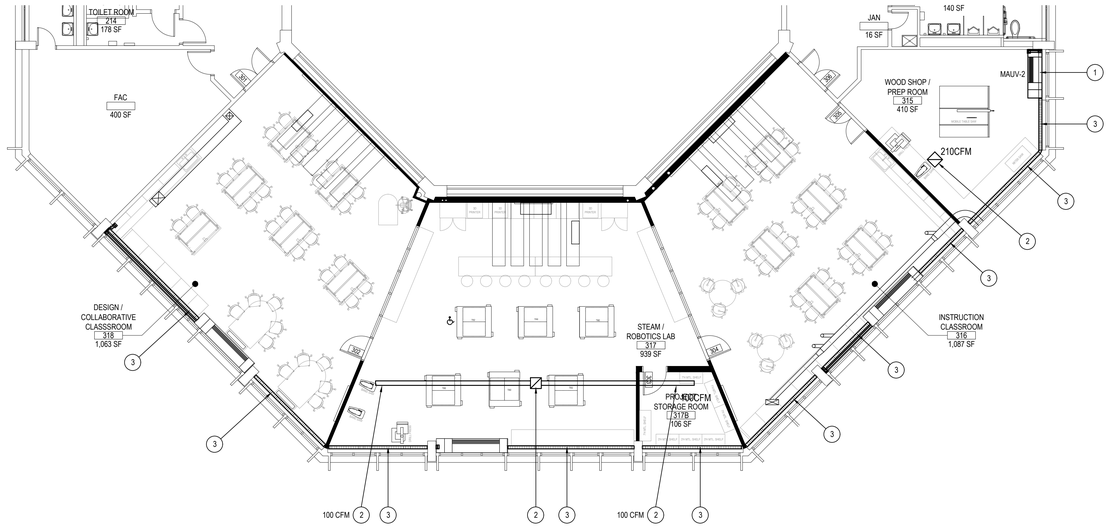
F. 518.621.7655

www.BBSARCHITECTURE.com

SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	PROPOSED FIRST and SECOND FLOOR PLANS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

M2.02



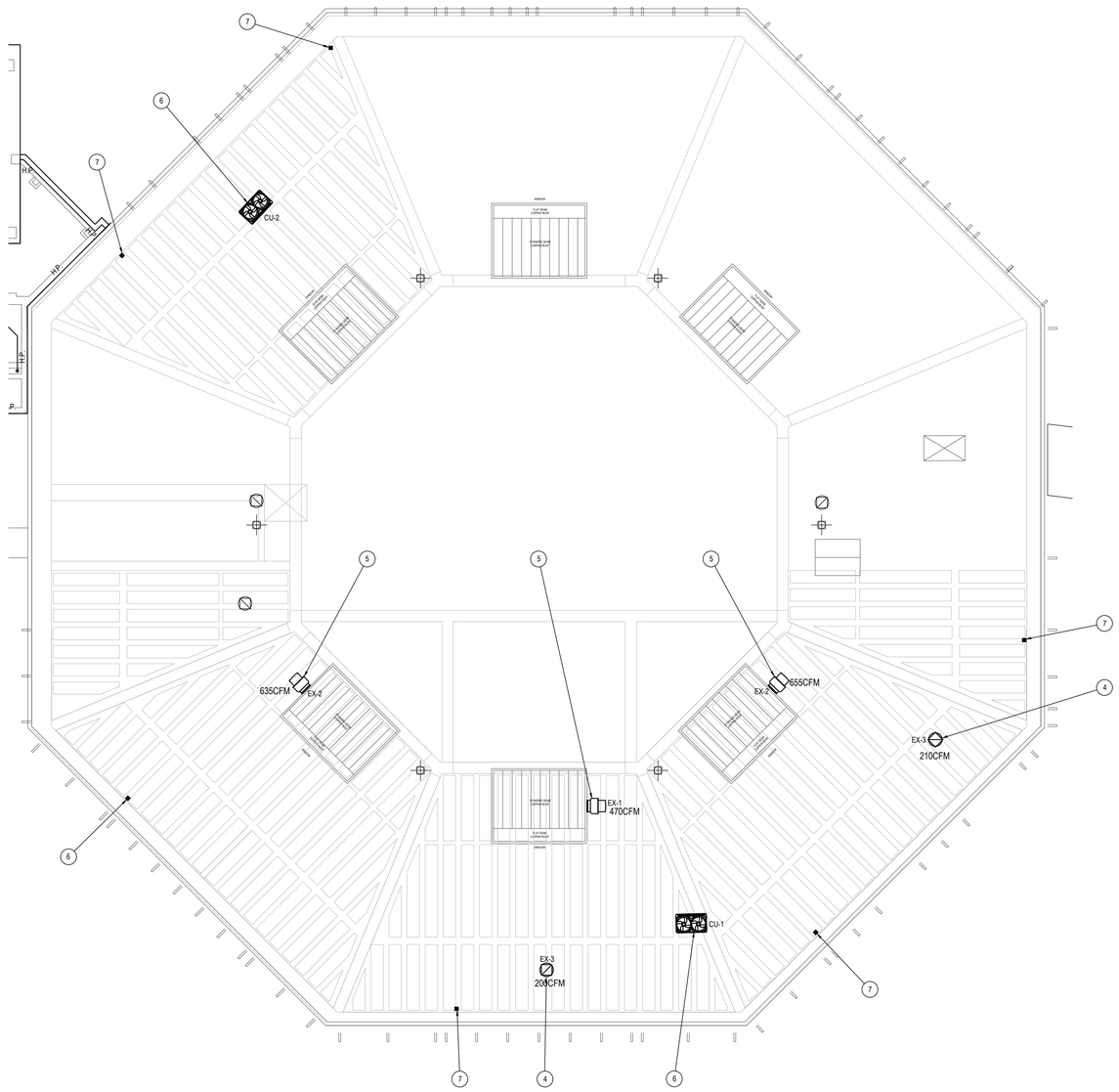
MECHANICAL THIRD FLOOR PROPOSED PLAN

NOTE:

SCALE: 1/8" = 1'-0"

PROPOSED KEY NOTES

1. MC TO INSTALL NEW HOT WATER UNIT VENTILATOR & INTAKE LOUVER. GC TO CUT OPENING IN NEW WALL PANEL. COORDINATE OPENING SIZE & LOCATION W/ THE GC. MC TO INSTALL END PANELS ON UNIT VENT. MC TO MODIFY EXISTING PIPING AS NECESSARY TO INSTALL NEW UV. SEE DRAWING M6.03 FOR UNIT SIZING. REFER TO SPECIFICATION SECTION 23 09 23 FOR NEW UNIT VENTILATOR TEMPERATURE CONTROL REQUIREMENTS.
2. MC TO INSTALL NEW EXHAUST DUCT WORK / "ANEMOSTAT" #ECOP EXHAUST GRILLES ON THE SPIRAL DUCT WHERE SHOWN. SEE DWG M6.01 FOR FURTHER INFORMATION.
3. MC TO REPLACE ALL FIN TUBE ENCLOSURE WITH 20" DEEP ENCLOSURE. USE "STERLING" #JVB-T SERIES OR SIMILAR. SEE DWG M6.01 FOR FURTHER INFORMATION.
4. NEW EXHAUST FAN LOCATED ON ROOF BY MC. GC TO CUT OPENING & INSTALL CURB. CURB PROVIDED BY MC. MC TO INSTALL EXHAUST FAN / CONTROLS / CONTROL WIRING. COORDINATE OPENING LOCATION & TIMING W/ GC. FOR FURTHER INFORMATION / DETAILS, REFER TO DWG#s M6.01 / M6.04.
5. MC TO REPLACE EXISTING SIDE WALL EXHAUST FANS ON ROOF AS SHOWN. GC TO MODIFY OPENING AND INSTALL CURB. MC TO INSTALL EXHAUST FAN / CONTROLS / CONTROL WIRING. COORDINATE OPENING LOCATION & TIMING W/ GC.
6. NEW CONDENSERS INSTALLED ON ROOF BY MC, ROOF RAILS SUPPLIED BY MC & INSTALLED BY GC. REFRIGERANT PIPING TO BE RUN BY MC TO PIPING PORTAL / DOWN CHASES TO UNIT VENTS BELOW. CHASES TO BE PROVIDED BY GC. SEE DWG. #'s M6.02 & M6.04 FOR FURTHER INFORMATION.
7. PIPING PORTAL TO BE SUPPLIED BY MC, GC TO INSTALL PIPING PORTAL AND CORE DRILL FOR REFRIGERANT PIPING. SEE DWG. #'s M6.02 & M6.04 FOR FURTHER DETAILS.



MECHANICAL THIRD FLOOR PROPOSED PLAN

NOTE:

SCALE: 1/8" = 1'-0"

REV.	DATE	ITEM
1	03/06/25	BID ADDENDUM No. 1

NOTICE

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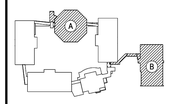

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

PROJECT

PROPOSED
THIRD FLOOR and SECOND FLOOR PLANS

DWG TITLE

DRAWING BY: JH

CHECK BY: CW

NOTICE

BBS
ARCHITECTS
LANDSCAPE ARCHITECTS
ENGINEERS

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www.BBSARCHITECTURE.com

SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	PROPOSED THIRD FLOOR and ROOF PLANS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

M2.03

Model: CUE-160XP-VG

Direct Drive Upblast Centrifugal Roof Exhaust Fan

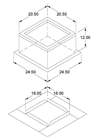
Previously: No Change

Dimensional	
Quantity	1
Weight w/o Acc's (lb)	111
Weight w/ Acc's (lb)	141
Weight w/ Acc's and Curb (lb)	160
Standard Curb Cap Size (in.)	22 x 22
Optional Damper (in.)	16 x 16
Roof Opening (in.)	18.5 x 18.5

Performance	
Requested Volume (CFM)	450
Actual Volume (CFM)	450
Total External SP (in. wg)	0.8
Fan RPM	1260
Operating Power (hp)	0.15
Elevation (ft)	30
Airstream Temp (F)	70
Air Density (lb/ft3)	0.075
Tip Speed (ft/min)	4,452
Static Eff. (%)	37

Misc Fan Data	
Fan Eff. Index (FEI)	1.73
Outlet Velocity (ft/min)	262

Motor	
Motor Mounted	Yes
Size (hp)	1
Voltage/Cycle/Phase	115/60/1
Enclosure	TEFC
Motor RPM	2160
Efficiency Rating	High
Windings	1
FLA (Amps)	10.3
Min. Circuit Ampacity (MCA)	13
Max. Overcurrent Protection (MOP)	25
Short Circuit Current Rtg (SCCR)	5 kA

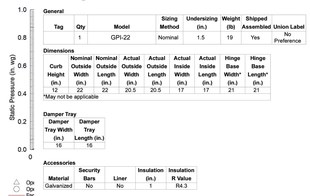


Model: GPI

Roof Curb

Standard Construction Features:

- Roof Curb fits between the building roof and the fan mounted directly to the roof support structure - Constructed of either 18 ga galvanized steel or 0.064 in. aluminum - Straight Sided without a cant - 2 in. mounting flange - 3 lb density insulation - Height - Available from 12 in. to 42 in. as specified in 0.5 in. increments. Notes: - The maximum roof opening dimension should not be greater than the "Actual" top outside dimension minus 2 in. - The minimum roof opening dimension should be at least 2.5 in. more than the damper dimension or recommended duct size. - The Roof Opening Dimension may or may not be the same as the Structural Opening Dimension. - Damper Tray is optional and must be specified. Tray size is same as damper size. - Security bars are optional and must be specified. Frames and gridwork are all 12 ga steel.



General

Tag	Qty	Model	Sizing Method	Undersizing (in.)	Weight (lb)	Shipped Assembled	Union Label
	1	GPI-22	Nominal	1.5	19	Yes	No Preference

Dimensions

Curb Height (in.)	Nominal Outside Width (in.)	Nominal Outside Length (in.)	Actual Outside Width (in.)	Actual Outside Length (in.)	Actual Inside Width (in.)	Actual Inside Length (in.)	Hinge Base Width* (in.)	Hinge Base Length* (in.)
12	22	22	20.5	20.5	17	17	21	21

*May not be applicable

Damper Tray

Damper Tray Width (in.)	Damper Tray Length (in.)
16	16

Accessories

Material	Security Bars	Liner	Insulation (in.)	Insulation R Value
Galvanized	No	No	1	R4.3

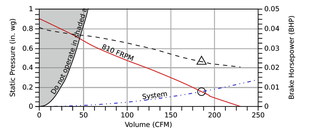
Model: CSP-A390-VG

Direct Drive Cabinet Fan

Standard Construction Features: Galvanized steel housing with duct collars. Centrifugal forward curved wheel. Direct driven motor in the air stream.

Fan Configuration	
Drive type	Direct

Performance	
Requested Volume (CFM)	150
Actual Volume (CFM)	185
Total External SP (in. wg)	0.15
Fan RPM	810
Operating Power (bhp)	0.02
Startup Power (bhp)	0.02
Air Stream Temp (F)	70
Start-up Temp (F)	70
Air Density (lbs/ft.^3)	0.074
Elevation (ft)	500
Watts (W)	17
Static Efficiency (%)	19
Outlet Velocity (ft/min)	171



Static Pressure Calculations	
External SP	0.1 in. wg
Direct Drive RPM Adjustment	0.05 in. wg
Total External SP	0.15 in. wg

Motor	
V/C/P	115/60/1
NEC FLA (Amps)	1.5
Min Circuit Ampacity (MCA)	1.9
Max Overload Production (MOP)	15

Sound

	Octave Bands (hz)								LwA	dBA	Sones
	62.5	125	250	500	1000	2000	4000	8000			
Inlet	51	53	46	25	19	12	14	20	41	26	0.6

Ceiling Diffuser Schedule

Tag No.	MFG. / Model #	Frame Size Diffuser Size	Neck Size	Max. CFM	Pt	Throw	NC Rating	Comments
R1	NAILOR #4260	24x24	N/A	800 @ 400'/MIN.	.015	N/A	NC 15	RETURN GRILLE. PROVIDE 24x24 ALUMINUM EGG CRATE GRILLE W/ STEEL FRAME - SET IN CEILING GRID / APPLIANCE WHITE FINISH. T-GRID BORDER.
R2	NAILOR #4260	24x24	6" NK.	80 @ 400'/MIN.	.015	N/A	NC 15	RETURN GRILLE. PROVIDE 24x24 ALUMINUM EGG CRATE GRILLE W/ STEEL FRAME W/ BACKPLATE FOR 6" DUCT CONNECTION - SET IN CEILING GRID / APPLIANCE WHITE FINISH. T-GRID BORDER.
R3	NAILOR #51 PRC	12x6	12x6	168 @ 400'/MIN.	.052	N/A	NC <20	PERFORATED RETURN GRILLE FOR MOUNTING IN SPIRAL DUCT. APPLIANCE WHITE FINISH.
R4	NAILOR #71 FH	24x10	24x10	548 @ 400'/MIN.	.055	N/A	NC 15	DOUBLE DEFLECTION RETURN AIR GRILLE, APPLIANCE WHITE FINISH. BAL. TO VALUE SHOWN ON PLAN. UNIT TO BE SUPPORTED FROM WALL / DUCTWORK.
S1	NAILOR #ARNS	24x24	6" NK.	100 @ 400'/MIN.	.058	4-6-10	NC 10	4-WAY STEEL SUPPLY AIR DIFFUSER. BAL. TO VALUE SHOWN ON PLAN. UNIT TO BE SUPPORTED FROM STRUCTURE ABOVE. SUPPORT FROM CEILING NOT ALLOWED. T-GRID BORDER.
S2	NAILOR #ARNS	24x24	6" NK.	100 @ 400'/MIN.	.058	4-6-10	NC 10	4-WAY STEEL SUPPLY AIR DIFFUSER. BAL. TO VALUE SHOWN ON PLAN. UNIT TO BE SUPPORTED FROM STRUCTURE ABOVE. SUPPORT FROM CEILING NOT ALLOWED. BORDER FOR HARD CEILING MOUNTING.
S3	NAILOR #71 DH	30x10	30x10	740 @ 400'/MIN.	.022	14-22-35	NC 15	DOUBLE DEFLECTION SUPPLY AIR GRILLE, APPLIANCE WHITE FINISH. BAL. TO VALUE SHOWN ON PLAN. UNIT TO BE SUPPORTED FROM WALL / DUCTWORK.

Baseboard Radiator Schedule

A	6'	DENOTES NEW "STERLING" VERSA-LINE #JVB-T COMMERCIAL BASEBOARD RADIATOR ELEMENT / ENCLOSURE. EACH UNIT SHOWN SHALL CONSIST OF #C3/4-433 SINGLE TIER 3/4" CUIAL ELEMENT (ACTIVE ELEMENT LENGTH LISTED IN BOTTOM HALF OF SYMBOL), 3-5/8" x 4-1/4" RECT. FINS, 32 FINS / FT., .020" FIN THICKNESS. ELEMENT SHALL PRODUCE 840 BTU / FT. @ 170 DEG. EWT, 2 GPM. PROVIDE FULL BACK PLATE. PROVIDE ELEMENT SUPPORTS, END CAPS, CORNER TRANSITIONS, SPLICE PLATES, OUTLET DAMPERS, ETC. AS REQUIRED FOR A COMPLETE & OPERATIONAL INSTALLATION. PROVIDE PIPING & CONTROLS AS REQ'D. - SEE DETAIL #'s 3 & #10, DWG. #M6.04 FOR FURTHER INFORMATION. REFER TO SPECIFICATION SECTION 230923 FOR TEMPERATURE CONTROL DETAILS.
B	6'	DENOTES NEW "STERLING" VERSA-LINE #JVB-PM COMMERCIAL PEDESTAL MOUNT BASEBOARD RADIATOR ELEMENT / ENCLOSURE. EACH UNIT SHOWN SHALL CONSIST OF #C3/4-433 SINGLE TIER 3/4" CUIAL ELEMENT (ACTIVE ELEMENT LENGTH LISTED IN BOTTOM HALF OF SYMBOL), 3-5/8" x 4-1/4" SQ. AL FINS, 32 FINS / FT., .020" FIN THICKNESS. ELEMENT SHALL PRODUCE 630 BTU / FT. @ 170 DEG. EWT, 3 GPM. PROVIDE ENCLOSURE SUPPORTS, END CAPS, CORNER TRANSITIONS, SPLICE PLATES, ETC. AS REQUIRED FOR A COMPLETE & OPERATIONAL INSTALLATION. PROVIDE PIPING & CONTROLS AS REQ'D. - SEE DETAIL #'s 3 & #10, DWG. #M6.04 FOR FURTHER INFORMATION. REFER TO SPECIFICATION SECTION 230923 FOR TEMPERATURE CONTROL DETAILS.
C		DENOTES NEW "STERLING" VERSA-LINE #JVB-S24 COMMERCIAL BASEBOARD RADIATOR ENCLOSURE ONLY. EACH UNIT SHALL COME COMPLETE W / FULL BACK PLATE, 24" HIGH ENCLOSURE. EACH ENCLOSURE SHALL INCLUDE A VALVE ACCESS DOOR (WHERE REQ'D.), END CAPS FOR EACH END, BACK SUPPORT PANEL, PIPING SUPPORTS, ETC. AS REQUIRED FOR A COMPLETE & OPERATIONAL INSTALLATION.

REV.	DATE	ITEM
1	03/06/25	BID ADDENDUM No. 1

NOTICE

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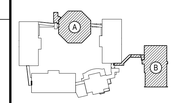


KEY PLAN

NOT TO SCALE

GREENHECK ROOFTOP EXHAUST FAN (EX-3)

NOTE: NTS

GREENHECK INLINE FAN (ILF 2)

NOTE: NTS

Model: CUE-180HP-VG

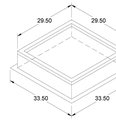
Direct Drive Upblast Centrifugal Wall Exhaust Fan

Dimensional	
Quantity	1
Weight w/o Acc's (lb)	117
Weight w/ Acc's (lb)	134
Weight w/ Acc's and Curb (lb)	172
Standard Curb Cap Size (in.)	30 x 30
Optional Damper (in.)	24 x 24
Wall Opening (in.)	26 x 26

Performance	
Requested Volume (CFM)	1,300
Actual Volume (CFM)	1,300
Total External SP (in. wg)	0.25
Fan RPM	604
Operating Power (hp)	0.1
Elevation (ft)	30
Airstream Temp (F)	70
Air Density (lb/ft3)	0.075
Tip Speed (ft/min)	2,926
Static Eff. (%)	53

Misc Fan Data	
Fan Eff. Index (FEI)	2.43
Outlet Velocity (ft/min)	445

Motor	
Motor Mounted	Yes
Size (hp)	1
Voltage/Cycle/Phase	115/60/1
Enclosure	TEFC
Motor RPM	1290
Efficiency Rating	High
Windings	1
FLA (Amps)	10.3
Min. Circuit Ampacity (MCA)	13
Max. Overcurrent Protection (MOP)	25
Short Circuit Current Rtg (SCCR)	5 kA



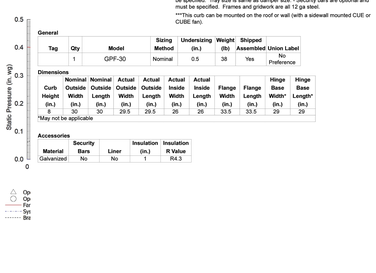
Model: GPF

Roof Curb

Standard Construction Features:

- Roof Curb fits between the building roof and the fan mounted directly to the roof support structure - Constructed of either 18 ga galvanized steel or 0.064 in. aluminum - Straight Sided without a cant - 2 in. or 5 in. mounting flange - 1 in. thick 3 lb density insulation - Height - Available from 8 in. to 42 in. as specified in 0.5 in. increments. Notes: - The maximum roof opening dimension should not be greater than the "Actual" top outside dimension minus 2 in. - The minimum roof opening dimension should be at least 2.5 in. more than the damper dimension or recommended duct size. - The Roof Opening Dimension may or may not be the same as the Structural Opening Dimension. - Damper Tray is optional and must be specified. Tray size is same as damper size. - Security bars are optional and must be specified. Frames and gridwork are all 12 ga steel.

***This curb can be mounted on the roof or wall (with a sidewall mounted CUE or CUBE fan).



General

Tag	Qty	Model	Sizing Method	Undersizing (in.)	Weight (lb)	Shipped Assembled	Union Label
	1	GPF-30	Nominal	0.5	38	Yes	No Preference

Dimensions

Curb Height (in.)	Nominal Outside Width (in.)	Nominal Outside Length (in.)	Actual Outside Width (in.)	Actual Outside Length (in.)	Actual Inside Width (in.)	Actual Inside Length (in.)	Flange Width (in.)	Flange Length (in.)	Hinge Base Width* (in.)	Hinge Base Length* (in.)
8	30	30	29.5	29.5	26	26	33.5	33.5	29	29

*May not be applicable

Accessories

Material	Security Bars	Liner	Insulation (in.)	Insulation R Value
Galvanized	No	No	1	R4.3

Model: CSP-A700-VG

Inline Cabinet Fan

Standard Construction Features:

- Galvanized steel housing - Sound absorbing insulation - Outlet duct collar with integral spring loaded back-draft damper - Forward curved wheel - Plug type disconnect - Adjustable mounting brackets - Square duct connection - Dual galvanized steel scroll design - Field rotatable discharge

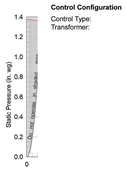
Selected Options & Accessories:

Motor rated for continuous use
Motor - Vari-Green EC motor w/Mounted Potentiometer Dial
UL/cUL 507 Listed - Electric Fan
Isolation Kit, (PN: VI KIT-SIFICSP), Shipped Loose
Adjustable easy installation mounting bracket
Polypropylene Wheel Material

Dimensional	
Quantity	1
Weight w/o Acc's (lb)	39
Weight w/ Acc's (lb)	40

Performance	
Requested Volume (CFM)	780
Actual Volume (CFM)	780
Total External SP (in. wg)	0.15
Fan RPM	1108
* FLA (A)	4.1
Elevation (ft)	30
Airstream Temp (F)	70
Air Density (lb/ft3)	0.075
Sones	1.0

Motor	
Motor Mounted	Yes
** Input Watts (W)	139
Voltage/Cycle/Phase	115/60/1
Enclosure	TENV
Control Input Voltage	8.3



Vari-Green

Motor & Control Options

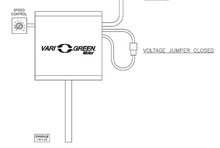
An EC motor that uses AC input power and internally converts it to DC power. Potentiometer (dial) mounted on the motor enclosure adjusts the speed (RPM) down 80%. Vari-Green motors feature a soft-start and inherent thermal and current protection built into each unit. Inrush current at start up is eliminated and the motor will automatically reduce speed or turn off if overloaded or it becomes too hot.

Motor Configuration

Input Voltage:	115
Speed Reference:	Dial on Motor
Permanent Dial:	Yes

Control Configuration

Control Type:	N/A
Transformer:	None



GREENHECK SIDEWALL EXHAUST FAN (EX-2)

NOTE: NTS

GREENHECK INLINE FAN (ILF 1)

NOTE: NTS

Model: CUE-120-VG

Direct Drive Upblast Centrifugal Wall Exhaust Fan

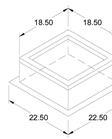
Previously: CUE-121-VG

Dimensional	
Quantity	1
Weight w/o Acc's (lb)	50
Weight w/ Acc's (lb)	53
Weight w/ Acc's and Curb (lb)	74
Standard Curb Cap Size (in.)	19 x 19
Optional Damper (in.)	12 x 12
Wall Opening (in.)	15 x 15

Performance	
Requested Volume (CFM)	1,000
Actual Volume (CFM)	1,000
Total External SP (in. wg)	0.25
Fan RPM	1005
Operating Power (hp)	0.09
Elevation (ft)	30
Airstream Temp (F)	70
Air Density (lb/ft3)	0.075
Tip Speed (ft/min)	3,438
Static Eff. (%)	43

Misc Fan Data	
Fan Eff. Index (FEI)	-
Outlet Velocity (ft/min)	781

Motor	
Motor Mounted	Yes
Size (hp)	1/4
Voltage/Cycle/Phase	115/60/1
Enclosure	TENV
Motor RPM	1400
Efficiency Rating	High
Windings	1
FLA (Amps)	3.5
Min. Circuit Ampacity (MCA)	4
Max. Overcurrent Protection (MOP)	15
Short Circuit Current Rtg (SCCR)	5 kA



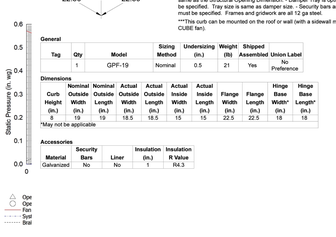
Model: GPF

Roof Curb

Standard Construction Features:

- Roof Curb fits between the building roof and the fan mounted directly to the roof support structure - Constructed of either 18 ga galvanized steel or 0.064 in. aluminum - Straight Sided without a cant - 2 in. or 5 in. mounting flange - 1 in. thick 3 lb density insulation - Height - Available from 8 in. to 42 in. as specified in 0.5 in. increments. Notes: - The maximum roof opening dimension should not be greater than the "Actual" top outside dimension minus 2 in. - The minimum roof opening dimension should be at least 2.5 in. more than the damper dimension or recommended duct size. - The Roof Opening Dimension may or may not be the same as the Structural Opening Dimension. - Damper Tray is optional and must be specified. Tray size is same as damper size. - Security bars are optional and must be specified. Frames and gridwork are all 12 ga steel.

***This curb can be mounted on the roof or wall (with a sidewall mounted CUE or CUBE fan).



General

Tag	Qty	Model	Sizing Method	Undersizing (in.)	Weight (lb)	Shipped Assembled	Union Label
	1	GPF-19	Nominal	0.5	21	Yes	No Preference

Dimensions

Curb Height (in.)	Nominal Outside Width (in.)	Nominal Outside Length (in.)	Actual Outside Width (in.)	Actual Outside Length (in.)	Actual Inside Width (in.)	Actual Inside Length (in.)	Flange Width (in.)	Flange Length (in.)	Hinge Base Width* (in.)	Hinge Base Length* (in.)
8	19	19	18.5	18.5	15	15	22.5	22.5	18	18

*May not be applicable

Accessories

Material	Security Bars	Liner	Insulation (in.)	Insulation R Value
Galvanized	No	No	1	R4.3

GREENHECK SIDE WALL EXHAUST FAN (EX-1)

NOTE: NTS

GREENHECK ENERGY RECOVERY VENTILATOR

NOTE: NTS

GREENHECK

SYNC-180SCE-S1

Residential Energy Recovery Ventilators

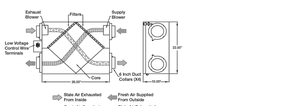
Construction Features

Housing
- Low profile
- Ceiling mount
- 20 ga. coated galvanized steel
- Sensor-controlled fan defrost
- Easily removable door panel

General
- AHU interlock, NC/NO low/high speed controls
- Cross flow energy recovery core
- Plug and hard wired connections available
- Mirrored configuration available
- Integral dehumidistat
- Precision airflow balancing enabled
- Weight: 42 lbs.
- Factory-balanced airflow
- MERV 6 filters (standard)
- MERV 13 filters (optional)
- UL 1812 compliant
- Dual EC Motors

Warranty
- 5 year core and parts warranty

Accessories
- Precision|SYNC™ control
- 20/40/60 minute timers
- Dual intake/exhaust hood



Note: Door clearance of 25 in. (635 mm) is recommended for servicing unit.
All duct uses 6 in. (125 mm) round collars. MERV 13 upgrade: 485465
Drawing represents winter season operation

Energy Performance

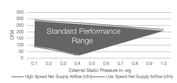
	Airflow Air Conditions		Motor Air Conditions		Net Airflow (CFM)	Power (Watts)	CFM/ Watt	Sensible Recovery Efficiency	Apparent Sensible Effectiveness	Adjusted Sensible Recovery Efficiency	Latent Recovery	Total Recovery Efficiency	Adjusted Total Recovery Efficiency
	Temp	RH %	Temp	RH %									
Heating	32° F	75%	71.6° F	40%	49	24	2.0	86%	92%	90%	75%	-	-
					64	26	2.3	84%	89%	87%	66%	-	-
					72	29	2.5	82%	83%	83%	48%	-	-
Cooling	90° F	50%	75° F	50%	64	32	2.0	73%	84%	80%	52%	60%	62%

= HVI Certified Point

Electrical Specifications	
Voltage	120V
Cycle	60hz
Amps	1.4A

Airflow Performance

Ext. Static Pressure (in. wg)	High Speed Net Supply Airflow (CFM)	Power (Watts)	CFM/Watt
0.1	199	137	1.5
0.2	191	139	1.4
0.3	184	137	1.3
0.4	176	139	1.3
0.5	167	137	1.2
0.6	159	137	1.2
0.7	150	137	1.1
0.8	140	137	1.0
0.9	133	137	1.0
1.0	125	137	0.9



GREENHECK

P.O. Box 410, Schofield, WI 54476-0410 • 1.800.684.6713 opt. 7 • greenheck.com

SYNC-180SCE-S1, Rev 2 November 2023

As a result of our commitment to continuous improvement, Greenheck reserves the right to change specifications without notice.

MAGICAIRE BAROMETIRC RELIEF DAMPER

NOTE: NTS

Magic Aire offers a full range of quality accessories that are designed to match our unit ventilators. Magic Aire's customers will save time during ordering, delivery, and installation with our excellent delivery times on quality matching accessories.

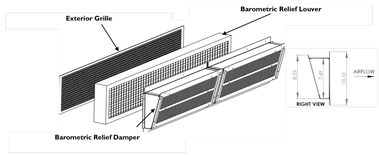
Barometric Relief Dampers and Louvers

Barometric Relief Dampers and Louvers are available for order in New Magic in addition to the Unit Ventilators, MAU models, and Outside Air Louvers. The louvers and grilles used for Barometric Relief Dampers are the same as the ones used for unit ventilator Outside Air Louvers so the outside aesthetics are architecturally pleasing.

The barometric relief damper is silicone impregnated canvas mounted within a sheet metal frame that operates in direct response to positive static air pressure created when ventilation air is brought into the room by the unit ventilator. The weight of the canvas keeps it closed. If a gust of wind comes from outside it pushes the canvas against the frame.

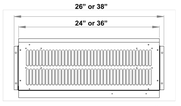
The louver is a wall box style and available in horizontal and vertical configurations. They are sized to match the Magic Aire Barometric Relief Damper. The louvers are available with grille options including: standard bird, protective lattice, and sub frames and other models of insect and bird screens. Standard finish is satin anodized.

The Barometric Relief Damper should be mounted on the same wall as the unit ventilator. This neutralizes the effect of wind pressure forcing excess air into the room through the unit ventilator louver. The damper is designed to mount directly to the louver. For large unit ventilators, two dampers may be mounted side by side on the same louver to promote adequate exhaust air capacity.



Available in sizes:
- **24" Barometric Relief Damper for 500 CFM**
- **36" Barometric Relief Damper for 750 CFM**
- **48" Barometric Relief Damper for 1000 CFM**
- **60" Barometric Relief Damper for 1250 CFM**
- **75" Barometric Relief Damper for 1500 CFM**

NOTES:
1. **48" consists of (2) 24" dampers. Field assembly is required.**
2. **60" consists of (1) 24" and (1) 36 damper. Field assembly is required.**
3. **72" consists of (2) 36" dampers. Field assembly is required.**



Terminal Unit Schedule

Tag No.	MFG. / Model #	CFM / S.P.	HP	Elect. Req.	Heating Coil Type	Heat Output / GPM / P.D.	Cooling Output / GPM / P.D.	Cabinet Type	Louver Type	Controls / Comments
CUH-1	STERLING #F-1010-02	230 @ .1	1/15	120V., 1 PH.	HOT WATER	11.2 MBH @ 1.6 GPM, 0.06'	- - -	FLOOR / SURFACE MTD. 6"D. FALSE BACK	GREENHECK #BVE BRICK VENT 8-1/8" x 4-3/4"	PROVIDE FIELD INSTALLED FULL DDC CONTROLS - SEE SPECIFICATION SECTION 230923 FOR TEMPERATURE CONTROL DETAILS. COORDINATE O.A. LOUVER OPENING W/ G.C. - PROVIDE OPTION #'s 1,2,3,4,5,6.
CUH-2	STERLING #F-1010-06	630 @ .1	1/15	120V., 1 PH.	HOT WATER	32 MBH @ 3 GPM, 0.06'	- - -	FLOOR / SURFACE MTD. 6"D. FALSE BACK	GREENHECK #BVE BRICK VENT 12" x 4-3/4"	PROVIDE FIELD INSTALLED FULL DDC CONTROLS - SEE SPECIFICATION SECTION 230923 FOR TEMPERATURE CONTROL DETAILS. COORDINATE O.A. LOUVER OPENING W/ G.C. - PROVIDE OPTION #'s 1,2,3,4,5,6.
CUH-3	STERLING #RC-1200-06	630 @ .1	1/15	120V., 1 PH.	HOT WATER	32 MBH @ 3 GPM, 0.06'	- - -	CEILING / RECESSED BOTTOM SA / RA	- - -	PROVIDE FIELD INSTALLED FULL DDC CONTROLS - SEE SPECIFICATION SECTION 230923 FOR TEMPERATURE CONTROL DETAILS. COORDINATE O.A. LOUVER OPENING W/ G.C. - PROVIDE OPTION #'s 4 & 5.

1. OPTION 12 - ALUMINUM DISCHARGE GRILLE
2. OPTION 17 - LOUVERED INLET GRILLE
3. OPTION 19 - 25% MOTORIZED OUTDOOR AIR DAMPER / BRICK VENT
4. OPTION 28 - 2" NEOPRENE INSULATION, ALL EXTERIOR PANELS
5. OPTION 40 - 24V, 40VA CONTROL TRANSFORMER
6. OPTION 116 - LEVELLING LEGS

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

SCHEDULES AND DETAILS

BBS
ARCHITECTS
LANDSCAPE ARCHITECTS
ENGINEERS
244 EAST MAIN STREET
PATCHOGUE
NEW YORK 11772
T. 631.475.0349
F. 631.475.0361
100 GREAT OAKS BLVD.
SUITE 115, ALBANY
NEW YORK 12203
T. 518.621.7650
F. 518.621.7655
www.BBSARCHITECTURE.com

PROJECT	
DWG TITLE	
DRAWING BY:	JH
CHECK BY:	CW

NOTICE

SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	SCHEDULES AND DETAILS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

M6.01

ACCU-1

Tag No.:

ARUM216DTE5
Multi V™ 5 with LGRED® 460V ODU

18 Ton Single Frame Heat Pump and Heat Recovery

Performance:

Cooling Mode:

Nominal Capacity (Btu/h)	216,000
Power Input (kW)	15.37

Heating Mode:

Nominal Capacity (Btu/h)	243,000
Power Input (kW)	17.75

Rated capacity is certified under AHRI Standard 1230-2023. Ratings are subject to change without notice. Current and past certified ratings are available at www.ahridirectory.org.

Electrical:

Frame	ARUM216DTE5
Power Supply (V/Hz/Ø)[1]	460/60/3
MOP (A)	50
MCA (A)	38.3
Rated Amps (A)	34.4
Compressor A (A)	15.5
Compressor B (B)	13.9
Fan (A)	5.0

Piping:[2]

Frame	ARUM216DTE5
Refrigerant Charge (lbs.)	37.5
Liquid (in., O.D.)	5/8 Braze
High Pressure Vapor (in, O.D.)	1-1/8 Braze
Low Pressure Vapor (in., O.D.)	1-1/8 Braze

Standard Features:

- Advanced Smart Load Control
- Intelligent Heating
- HiPOR (High Pressure Oil Return)
- Smart Oil Control
- Night Quiet Operation
- Fault Detection and Diagnosis
- Active Refrigerant Control
- Variable Heat Path Exchanger
- Subcooling and Vapor Injection Control
- Liquid Cooled Inverter Controller
- Advanced Comfort Cooling

Optional Accessories:

- ☐ Air Guide - ZAGDKAS2A
- ☐ Hail Guard Kit - ZHGDKAS2A
- ☐ Low Ambient Baffle Kit - ZLABKAS2A, Control Kit - PRVC2 (1 per system)
- ☐ Base Pan Heater - ZPLT2AS1A

**Cooling range with the Low Ambient Baffle Kit (sold separately) is -9.9°F to +122°F and is achieved only when all indoor units are operating in cooling mode. Does not impact heat recovery system synchronous operating range.

Operating Range:

Cooling (°F DB)**	5 - 122
Heating (°F WB)	-22 - 61
Synchronous Cooling Based (°F DB)	14 - 81
Synchronous Heating Based (°F WB)	14 - 61

Unit Data:

Refrigerant Type	R410A
Refrigerant Control	EEV
Max. Number of Indoor Units[3]	35
Sound Pressure* dB(A)	64.0
Weight	
Frame	ARUM216DTE5
Net (lbs.)	666
Shipping (lbs.)	694
Communication Cable (No x AWG)[3]	2 x 18
Heat Exchanger Coating	Black Fin II

Compressor:

Type	HSS DC Scroll
Quantity	2
Oil / Type	PVE / FVC68D

Fan:

Type	Propeller
Quantity	2
Motor Drive	Brushless Digitally Controlled Direct
Air Flow Rate (rated/max, CFM)	10,300 / 11,300

Notes:

1. Power wiring cable size must comply with the applicable local and national codes. Cables terminate at each frame.
2. For main pipe segment size, refer to the LATS Multi V tree diagram.
3. The combination ratio must be between 50-130%.
4. Sound pressure levels are tested in an anechoic chamber under ISO Standard 3745 for the combination of outdoor units.
5. Communication cable between ODU and IDUs must be 2-conductor, 18 AWG, twisted, stranded, and shielded. Ensure the communication cable shield is properly grounded to the Main ODU chassis only. Do not ground the communication cable at any other point. Wiring must comply with all applicable local and national codes.
6. Acceptable operating voltage: ±14 - 10%V
7. SCCR rating: 65 kA RMS symmetrical 460V maximum.
8. Fan ESP (in wg) selectable range is 0.16 to 0.32.

LGRED® Powerful Heat Technology

AHRI CERTIFIED www.ahridirectory.org Variable Refrigerant Flow (VRF) Multi-Split AC and HP AHRI Standard 1230

Fox Lane Middle School (23-131B)-BBS - Rev.5_2.27.25(ver 1.9.3.5)

System Model Section - IDU

System Name: ACCU-1

Date: 02/27/2025

System No : 1/1

5. Indoor Units(1)

Room	Room Loads(kBtu/h)			Room Design Temp.(Return Air Temp.)(°F)				Model Name	Rated TC/Corrected TC(kBtu/h)			Corrected Capa(Room Load)(%)		
	TC	SC	HC	Cooling		Heating			TC	SC	HC	TC	SC	HC
				DBT	WBT	DBT	WBT							
AU Attendance Office 04	6.1	-	-	80.6	67.1	68.0	56.8	ARNU093TRD4	9.6/9.1	6.9/6.6	10.9/11.2	148.8	-	-
AU Conference Rm 103	12.6	-	-	80.6	67.1	68.0	56.8	ARNU123TRD4	12.3/11.6	8.9/8.5	13.6/14.1	92.3	-	-
AU Conference Rm 107	8.2	-	-	80.6	67.1	68.0	56.8	ARNU123TRD4	12.3/11.6	8.9/8.5	13.6/14.1	141.8	-	-
AU/ Exam Rm 116A	1.3	-	-	80.6	67.1	68.0	56.8	ARNU053TRD4	5.5/5.2	3.9/3.7	6.1/6.3	400.3	-	-
AU/ Exam Rm 116B	1.3	-	-	80.6	67.1	68.0	56.8	ARNU053TRD4	5.5/5.2	3.9/3.7	6.1/6.3	400.3	-	-
AU/ Exam Rm 119C	2.5	-	-	80.6	67.1	68.0	56.8	ARNU053TRD4	5.5/5.2	3.9/3.7	6.1/6.3	208.1	-	-
AU/ Main Lobby 05	13.0	-	-	80.6	67.1	68.0	56.8	ARNU153TQD4	15.4/14.6	11.1/10.7	17.1/17.7	111.6	-	-
AU/ Main Lobby 05	13.0	-	-	80.6	67.1	68.0	56.8	ARNU153TQD4	15.4/14.6	11.1/10.7	17.1/17.7	111.6	-	-
AU/ Main Office 120	3.4	-	-	80.6	67.1	68.0	56.8	ARNU073SJS4	7.5/7.1	6.7/5.9	8.5/8.8	205.6	-	-
AU/ Nurse's Office 118	12.6	-	-	80.6	67.1	68.0	56.8	ARNU123TRD4	12.3/11.6	8.9/8.5	13.6/14.1	92.3	-	-
AC/ Office 120	1.4	-	-	80.6	67.1	68.0	56.8	ARNU053TRD4	5.5/5.2	3.9/3.7	6.1/6.3	371.7	-	-
AC/ Office 122	2.9	-	-	80.6	67.1	68.0	56.8	ARNU053TRD4	5.5/5.2	3.9/3.7	6.1/6.3	179.4	-	-
AC/ Office 124	9.6	-	-	80.6	67.1	68.0	56.8	ARNU093TRD4	9.6/9.1	6.9/6.6	10.9/11.2	94.6	-	-
AC/ Office 126	3.6	-	-	80.6	67.1	68.0	56.8	ARNU053TRD4	5.5/5.2	3.9/3.7	6.1/6.3	144.5	-	-
AC/ Office 130	3.9	-	-	80.6	67.1	68.0	56.8	ARNU053TRD4	5.5/5.2	3.9/3.7	6.1/6.3	133.4	-	-
AU/ Outer Office Area	3.4	-	-	80.6	67.1	68.0	56.8	ARNU073SJS4	7.5/7.1	6.7/5.9	8.5/8.8	205.6	-	-
AU/ Security Office 02	8.1	-	-	80.6	67.1	68.0	56.8	ARNU093TRD4	9.6/9.1	6.9/6.6	10.9/11.2	112.1	-	-
ERV-ROOF Storage Rm 106	36.4	-	-	80.6	67.0	70.0	56.8	PRLK048A0	36.4/34.4	-	36.4/36.4	94.4	-	-
ERV-1/ Room / Hallway 114	18.0	-	-	80.6	67.0	70.0	56.8	PRLK048A0	18.0/17.0	-	18.0/18.0	94.4	-	-

#Notes: Correction factor is corrected by such as, but not limited to, indoor unit combination, temperature, and pipe length.

The result can be slightly different from Product Data Book due to simulation.

Pipe lengths are estimations only.

Contractor is responsible for piping take-off and verification of actual pipe routing and pipe lengths.

System Schematic Diagram

System Name: ACCU-1

Date: 02/27/2025

System No : 1/1

EEV Kit
EXV-FCU & DOAS
Qty. (2)

Tag #:

PRLK048A0
Electronic Expansion Valve Kit
for AHU Communications Kit

Electrical:

Power Supply	Powered by AHU Comm Kit (12 VDC)

Environmental Data:

Operating Temperature	-4 - 149 °F
Humidity	0-98 % (non-condensing)

Unit Data:

Dimensions (inch)	8-5/8 W x 15-15/16 H x 3-5/16 D
Net Weight (lb)	6.8
Shipping Weight (lb)	7.9

Capacity:

Maximum AHU Capacity (Btu/h)	96,000

Standard Features:

- Controls refrigerant flow between Multi V air or water source units and a 3rd party air handling unit
- Minimum coil entering temperature is 41°F
- Maximum distance between EEV and Comm kit is 32 feet
- Maximum of (1) EEV kit can be connected to Comm kit
- When brazing to EEV kit, use wet cloth to ensure main EEV body temperature does not exceed 248°F
- Designed for indoor installations (field supplied water-proof enclosure must be used when installing outdoors)
- Includes (1) Pipe In and (1) Pipe Out temperature sensor

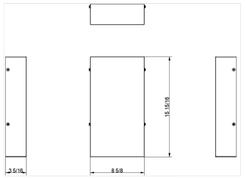
Communications Cabling Specifications:

Type	Stranded, shielded copper cable
Size	AWG 18 x 6

AWG - American Wire Gauge

Refrigerant

Refrigerant Type	R410A



Notes:

1.Must follow installation instructions in the applicable LG installation manual.

AHU Communication Kit
COM-FCU & DOAS
Qty. (2)

Tag No.:

PAHCMR000
AHU Communications Kit
Return Air

Electrical:

Power Supply	208-230VAC, 60Hz, 1Ph
Rated Current	0.1A

Environmental Data:

Operating Temperature	-4 to +149°F
Humidity	0-98% (Non-condensing)

Unit Data:

Dimensions (inch)	11-13/16 W x 11-13/16 D x 6-3/32 H
Net Weight (lb.)	13.7
Shipping Weight (lb.)	16.4

Standard Features:

- Allows communication between third-party air handling unit controllers and LG air source and water source units
- AHU Coil Capacities
  - 41°F minimum entering air temperature
  - 12-384 kBtu/h for Multi V
- One Thermistor (Return air; 16.4 ft. in length.)
- EEV Control
- Analog input (0-10V) for capacity control
- Digital Inputs for On/Off and Mode control
- Digital Outputs for ODU running status (heat/cool/off), ODU defrost signal
- Designed for outdoor installation

Connectivity:

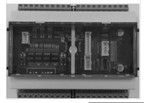
LG Communications	RS-485 (Connects to IDU A/B Communications Terminals on ODU)

Communications Cabling Specifications:

Type	Stranded, Shielded Copper Cable
Size	18 x 2

AWG - American Wire Gauge

Communications Module



Return Air Thermistor (1)

AHU Capacity Multi V (kBtu/h)
12
15
18
24
28
36
42
48
54
76
96
115
134
153
172
192
216
240
264
288
312
336
360
384

Required Accessories (Sold Separately):

One of the following Electronic Expansion Valves:

☒ AHU EEV Kit PRLK048A0

Notes:

1. Must follow installation instructions in the applicable LG installation manual.

Wall Controller

Tag #:

PREMTBVC2
MultiSITE CRC2 Remote Controller

Electrical:

Power Supply	12VDC power from indoor unit

Surrounding Conditions:

Temperature	
Operating	32-122 °F
Storage	-22-122 °F
Humidity	
Operating	5-95% RH (non-condensing)
Storage	0-95% RH (non-condensing)

Features:

- Customizable color digital touch screen interface with Multilanguage support
- BACnet® Wireless IP (optional)
- ZigBee® Pro Wireless capability (optional)
- 2 universal inputs, 1 universal output, and 1 digital output
- Role based configuration (password protected)
- Lua scripting
- Function code settings
- Function code search tool
- Date and time display
- Room temperature display (-9 °F ~ +9 °F adjustable)
- Humidity display (-15% ~ +15% adjustable)
- Operation - On/Off
- Mode - Auto/Cool/Dry/Heat/Fan Only
- Occupied cooling and heating temperature setpoints
- Unoccupied cooling and heating temperature setpoints
- 7 day scheduling with mode
- Fan speed - Auto/Low/Med/High/Power
- Discharge vanes - Auto/Swing/Fixed
- Static pressure installer setting

Optional Accessories (sold separately):

- ☐ PZCWRCG3 - Group Control Cable Kit
- ☐ PZCWRC1 - Extension Cable (for IDUs without terminal blocks)
- ☐ ZVRCZPWC2 - ZigBee® Pro Wireless Module[3]
- ☐ ZVRCZDWC1 - Wireless Door Window Contact[4]
- ☐ ZVRCZMTH1 - Wireless Ceiling Mounted Occupancy, Temperature and Humidity Sensor[4]
- ☐ SEDCO2650A5 - Wireless CO2, Temperature & Humidity Sensor[3]
- ☐ ZVRCZTRH1 - Wireless Temperature & Humidity Sensor[3]
- ☐ ZVRCZWLS1- Wireless Water Leak Sensor[3]
- ☐ VCMB00JYS04 - Wi-Fi Module (BACnet Wireless IP)

Connectivity:

LG Communications	1 Channel/RS-485 V-Net
BACnet® MS/TP	
BACnet® wireless IP (optional)	
Zigbee® Pro wireless mesh network (P) (optional)	

Communications Cabling Specifications (V-Net):

Type	3 conductor, stranded, twisted, unshielded
Size	AWG 22-3
Length[2]	up to 164 ft

AWG - American Wire Gage

Unit Data:

Dimensions	4.72" H x 3.39" W x 1.06" D
Maximum Number of Indoor Units (per controller)	16

Input / Output Specifications:

Input (Universal inputs T16, T17)

- Temperature: Type 10K Thermistor
- Digital: Dry-contact closure
- Analog: Modulating 0-10Vdc.

Output (Universal output T9)

- Digital: Electric relay closure rated at 12Vac or 12Vdc +/- 15%, 1.0A, 3.0 A inrush
- Analog: 0-10 Vdc @ 5mA max into a 2KΩ resistive load
- Output (digital output T8)
- Digital: Electric relay closure rated at 12Vac or 12Vdc +/- 15%, 1.0A, 3.0 A inrush

AHU-1 - DOAS, MAIN OFFICE AREA

Fox Lane Middle School AHU

Manufacturer	MagicAire
Performance Details	NDB08
Arrangement	Vertical Floor Mounted
Base Unit Size	ND-8
Tag	DOAS
Quantity	1
Altitude	0
Configuration	4 Pipe
Airflow (ACFM)	600
OA (CFM)	600
External Static Pressure ESP (IWG)	0.9
Internal Static Pressure ESP (IWG)	0.335
Total Static Pressure TSP (IWG)	1.235
RPM	1100
BHP	0.623
Cooling Coil	R-410A-A-Coil-Single Ckt
Rows	3
EAT Dry Bulb (F)	91.4
EAT Wet Bulb (F)	74
LAT Dry Bulb (F)	55.84
LAT Wet Bulb (F)	55.66
Leaving Dew Point (F)	55.54
Total Capacity (BTU/hr)	36440
Sensible Capacity (BTU/hr)	22570
Saturated Condensing Temp (F)	95
Saturated Evap Temp (F)	45
	See VRF Data Performance
Heating Coil	Hot Water Coil
Rows	2
EAT Dry Bulb (F)	0
LAT Dry Bulb (F)	84.14
Total Capacity (BTU/hr)	62872
EWT (F)	170
LWT (F)	149.12
GPM	6
WPD (ft w.g.)	5.08
Heating Fluid	Water
Electrical Data	ECM-Premium
Voltage 1 (V1)	208
Phase	1
Frequency	60
Motor HP	3/4
Motor FLA (at V1)	6.8
Unit MCA (at V1)	8.5
Unit MOPD (at V1)	15
Filters	
Nominal Size (in) - MERV 13	16" x 20" x 2"
Quantity (per unit)	1

Notes:

1. All temperature controls to be field supplied and installed by ATC vendor (Coordinate control with MC).
2. Any return duct and/or mixing box to be field supplied and installed by others.
3. MC and vendor to coordinate control and installation of VRF integration accessories.
4. MC and vendor to coordinate right or left hand piping connections.
5. Unit to be field supplied with 2" MERV 13 filter.

AHU-2 - MAIN VESTIBULE

Fox Lane Middle School AHU

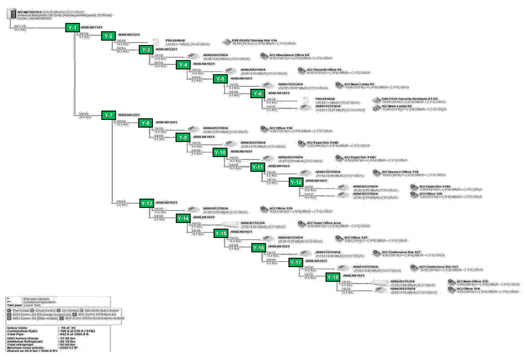
Manufacturer	MagicAire
Performance Details	HB806
Arrangement	Horizontal Ceiling Mounted
Base Unit Size	HB-6
Tag	FCU-Vestibule
Quantity	1
Altitude	0
Configuration	4 Pipe
Airflow (ACFM)	600
External Static Pressure ESP (IWG)	0.5
Internal Static Pressure ISP (IWG)	0.368
Total Static Pressure TSP (IWG)	0.868
RPM	1288
BHP	0.396
Cooling Coil	Standard Capacity DX
Rows	3
EAT Dry Bulb (F)	80
EAT Wet Bulb (F)	67
LAT Dry Bulb (F)	56.08
LAT Wet Bulb (F)	54.37
Leaving Dew Point (F)	53.17
Total Capacity (BTU/hr)	22940
Sensible Capacity (BTU/hr)	15490
Saturated Condensing Temp (F)	95
Saturated Evap Temp (F)	43
	See VRF Data Performance
Heating Coil	2 Row HW
Rows	2
EAT Dry Bulb (F)	60
LAT Dry Bulb (F)	111.19
Total Capacity (BTU/hr)	33866
EWT (F)	170
LWT (F)	146.89
GPM	3
WPD (ft w.g.)	2.696
Heating Fluid	Water
Electrical Data	ODP 208/230-1-60
Voltage 1 (V1)	208
Phase	1
Frequency	60
Motor HP	0.5
Motor FLA (at V1)	4.8
Unit MCA (at V1)	6
Unit MOPD (at V1)	15
Sound Data	
A-weighted Sound Power Level	
Freq(Hz)	LwA(dbA)
63	40
125	58
250	71
500	79
1K	80
2K	72
4K	68
8K	57
Overall	83

Notes:

1. All temperature controls to be field supplied and installed by ATC vendor (Coordinate control with MC).
2. Architect to select unit color from vendor color chart.
3. MC and vendor to coordinate right or left hand piping connections.

ACCU-1

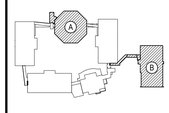
SYSTEM COMPONENTS / PIPING ARRANGEMENTS



LG VRF SYSTEM ACCU-1, FIRST FLOOR, MAIN OFFICE / NURSE'S OFFICE / NEW ENTRANCE & LOBBY AREAS

NOTE: NTS

REV.	DATE	ITEM
1	03/06/25	BID ADDENDUM No. 1



KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

SCHEDULES AND DETAILS

DRAWING BY:	JH
CHECK BY:	CW

BBS
ARCHITECTS
LANDSCAPE ARCHITECTS
ENGINEERS

244 EAST MAIN STREET
PATCHOGUE
NEW YORK 11772
T. 631.475.0349
F. 631.475.0361

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SUITE 115, ALBANY
NEW YORK 12203
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F. 518.621.7655

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SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	SCHEDULES AND DETAILS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

M6.02

CU-1
System Data

LG — MULTI V

Fox Lane Middle School (23-131B) - BBS vrf_uv Rev.2_3.5.24(ver 1.8.14.16)

System Model Selection - ODU

System Name: CU-1 — **Date: 03/05/2024**

System No : 1/2

1. Design conditions - Outdoor

	Cooling			Heating		
	DBT(°F)	WBT(°F)	RH(%)	DBT(°F)	WBT(°F)	RH(%)
OAT	91.9	73.9	43.3	10.9	10.2	86.0
IAT	80.0	67.0	51.2	70.0	56.8	43.9

2. Outdoor Units

Model Name	No. of ID.Us (Current / Max.) (EA)	Combination Ratio (Current / Max.) (%)	Corrected Capacity / Block Load (Cooling / Heating) (%)	Pre-charged Ref. amount (lbs)	Additional Ref. Amount (lbs)
ARUM192DTE5	4 / 32	89 / 130	0.0 / 0.0	30.90	18.02

Nominal/Corrected Capa. (kBtu/h)		Nominal/Corrected FI (kW)	
Cooling	Heating	Cooling	Heating
192.0/184.5	216.0/216.0	13.8/11.4	15.5/22.2

Efficiency(Btu/h/W)		Weight(lbs)	Dimension (WxHxD) (inch)	Electrical Characteristics				
Cooling	Heating			Volt	Phase	Hz	MCA (A)	MOP (A)
16.2	9.7	659x1	48-13/16x66-17/32x29-29/32	460	3	60	35.7	50

3. Pipes

Diameter(Liq.Gas.inch)	Length(ft)
3/8 : 5/8	135.0
3/8 : 3/4	40.0
3/8 : 7/8	20.0
5/8 : 1-1/8	20.0

4. Branch/Header

Model Name	Quantity
ARBLN01621	1
ARBLN03321	1
ARBLN07121	1
-	-

LG — MULTI V

Fox Lane Middle School (23-131B) - BBS vrf_uv Rev.2_3.5.24(ver 1.8.14.16)

System Model Section - IDU

System Name: CU-1 — **Date: 03/05/2024**

System No : 1/2

5. Indoor Units(1)

Room	Room Load(kBtu/h)			Room Design Temp.(Return Air Temp.) (°F)			Model Name	Rated TC/Corrected TC(kBtu/h)			Corrected Input/Input Load(kW)		
	TC	SC	HC	Cooling DBT	Cooling WBT	Heating DBT		TC	SC	HC	TC	SC	HC
2nd Fl Music CR	48.0	32.0	-	80.0	67.0	70.0	PRLK048A0	49.0/49.0	-	49.0/49.0	102.1	-	-
2nd Fl Instruction CR	48.0	32.0	-	80.0	67.0	70.0	PRLK048A0	49.0/49.0	-	49.0/49.0	102.1	-	-
2nd Fl Music Practice Rm	48.0	32.0	-	80.0	67.0	70.0	PRLK048A0	49.0/49.0	-	49.0/49.0	102.1	-	-
2nd Fl Wood Shop/ Prep Rm	24.0	16.0	-	80.0	67.0	70.0	PRLK048A0	23.4/23.4	-	23.4/23.4	97.5	-	-

6. Indoor Units(2)

Tag	Model Name	Type	Est. Discharge Temp.(°F)		Air flow rate (CFM)	Remark
			Cooling	Heating		
	PRLK048A0	EEV KIT	-	-	-	-
	PRLK048A0	EEV KIT	-	-	-	-
	PRLK048A0	EEV KIT	-	-	-	-
	PRLK048A0	EEV KIT	-	-	-	NA

7. Indoor Units(3)

Tag	Model Name	Weight	Dimension (WxHxD)	Electrical Characteristics				
				Volt	Phase	Hz	MCA (A)	RLA (A)
	PRLK048A0	kg	mm	220~240	1	50/60	0.10	
	PRLK048A0	kg	mm	220~240	1	50/60	0.10	
	PRLK048A0	kg	mm	220~240	1	50/60	0.10	

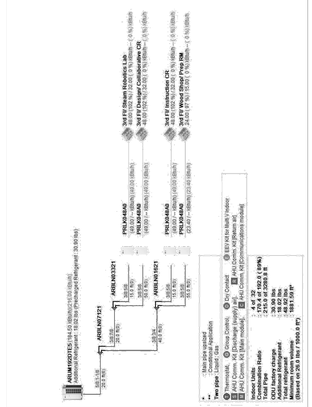
LG — MULTI V

Fox Lane Middle School (23-131B) - BBS vrf_uv Rev.2_3.5.24(ver 1.8.14.16)

System Tree Diagram

System Name: CU-1 — **Date: 03/05/2024**

System No : 1/2



VRF Outdoor Condensing
Unit Data

CU-1 — Tag No.:

ARUM192DTE5
Multi V™ S with LGRED® 460V ODU
16 Ton Single Frame Heat Pump and Heat Recovery

LG Life's Good

Performance:

Cooling Mode:

Nominal Capacity (Btu/h)	192,000
Power Input (kW)	13.61

Heating Mode:

Nominal Capacity (Btu/h)	216,000
Power Input (kW)	15.46

Rated capacity is certified under AHRI Standard 1230:2023. Ratings are subject to change without notice. Current and updated certified ratings are available at www.ahridirectory.org.

Electrical:

Frame	ARUM192DTE5
Power Supply (V/Hz/Ø)	460/60/3
MOP (A)	50
MCA (A)	35.7
Rated Amps (A)	
Compressor A (A)	14.8
Compressor B (B)	12.2
Fan (A)	5.0

Piping:[2]

Frame	ARUM192DTE5
Refrigerant Charge (lbs.)	30.9
Liquid (in., O.D.)	5/8 Braze
High Pressure Vapor (in, O.D.)	1-1/8 Braze
Low Pressure Vapor (in., O.D.)	1-1/8 Braze

Operating Range:

Cooling (°F DB)[4]	5 - 122
Heating (°F WB)	-22 - 61
Synchronous	
Cooling Based (°F DB)	14 - 81
Heating Based (°F WB)	14 - 61

Unit Data:

Refrigerant Type	R410A
Refrigerant Control	EEV
Max. Number of Indoor Units[3]	32
Sound Pressure[4] dB(A)	62.0
Weight	
Frame	ARUM192DTE5
Net (lbs.)	659
Shipping (lbs.)	688
Communication Cable (No x AWG)[5]	2 x 18
Heat Exchanger Coating	Black Fin II

Compressor:

Type	HSS DC Scroll
Quantity	2
Oil / Type	PVE / FVC68D

Fan:

Type	Propeller
Quantity	2
Motor Drive	Brushless Digitally Controlled Direct
Air Flow Rate (rated)/max. CFM)	10,300 / 11,300

Notes:

Job Name/Location: _____

ARUM192DTE5
Multi V™ S with LGRED® 460V ODU
16 Ton Single Frame Heat Pump and Heat Recovery

LG Life's Good

Tag No.: _____
Date: _____
PO No.: _____

AHRI Data:

Reference Number	Indoor Type	Cooling Capacity (95°F)	EER (95°F)	IEER	SCHE	High Heating Capacity (47°F)	High COP (47°F)	Low Heating Capacity (17°F)	Low COP (17°F)
213916312	Ducted Indoor Units	184,000	10.5	19.9	22.77	206,000	3.30	134,000	2.41
213916306	Non-Ducted Indoor Units	184,000	9.9	21.4	23.94	206,000	3.75	134,000	2.64

EEV Kit
UV-XX
Qty. (6)

Tag #: _____

PRLK048A0
Electronic Expansion Valve Kit
for AHU Communications Kit

LG Life's Good

Electrical:

Power Supply:	Powered by AHU Comm Kit (12 VDC)

Environmental Data:

Operating Temperature:	-4 -149 °F
Humidity:	0-98 % (non-condensing)

Unit Data:

Dimensions (inch)	8-5/8 W x 15-15/16 H x 3-5/16 D
Net Weight (lb)	6.8
Shipping Weight (lb)	7.9

Capacity:

Maximum AHU Capacity (Btu/h)	96,000

Communications Cabling Specifications:

Type	Stranded, shielded copper cable
Size	AWG 18 x 6

AWG - American Wire Gauge

Refrigerant

Refrigerant Type:	R410A

AHU Communication Kit
Qty. (6)

Tag No.: _____

PAHCMR000
AHU Communications Kit
Return Air

LG Life's Good

Electrical:

Power Supply:	208-230VAC, 60Hz, 1Ph
Rated Current	0.1A

Environmental Data:

Operating Temperature:	-4 to +149°F
Humidity:	0-98% (Non-condensing)

Unit Data:

Dimensions (inch)	11-13/16 W x 11-13/16 D x 6-3/32 H
Net Weight (lb.)	13.7
Shipping Weight (lb.)	16.4

Connectivity:

LG Communications:	RS-485 (Connects to IDU A/B Communications Terminals on ODU)

Communications Cabling Specifications:

Type:	Stranded, Shielded Copper Cable
Size	18 x 2

AWG - American Wire Gauge

Communications Module

LG VRF SYSTEM MUSIC ROOM/STEAM LAB (SECOND AND THRID FLOOR)

NOTE: NTS

CU-2
System Data

LG — MULTI V

Fox Lane Middle School (23-131B) - BBS vrf_uv Rev.2_3.5.24(ver 1.8.14.16)

System Model Selection - ODU

System Name: CU-2 — **Date: 03/05/2024**

System No : 2/2

1. Design conditions - Outdoor

	Cooling			Heating		
	DBT(°F)	WBT(°F)	RH(%)	DBT(°F)	WBT(°F)	RH(%)
OAT	91.9	73.9	43.3	10.9	10.2	86.0
IAT	80.0	67.0	51.2	70.0	56.8	43.9

2. Outdoor Units

Model Name	No. of ID.Us (Current / Max.) (EA)	Combination Ratio (Current / Max.) (%)	Corrected Capacity / Block Load (Cooling / Heating) (%)	Pre-charged Ref. amount (lbs)	Additional Ref. Amount (lbs)
ARUM096DTE5	3 / 16	103 / 130	0.0 / 0.0	23.20	8.70

Nominal/Corrected Capa. (kBtu/h)		Nominal/Corrected FI (kW)	
Cooling	Heating	Cooling	Heating
96.0/94.7	108.0/110.2	5.3/5.2	6.7/10.6

Efficiency(Btu/h/W)		Weight(lbs)	Dimension (WxHxD) (inch)	Electrical Characteristics				
Cooling	Heating			Volt	Phase	Hz	MCA (A)	MOP (A)
18.2	10.4	507x1	48-13/16x66-17/32x29-29/32	460	3	60	16.4	25

3. Pipes

Diameter(Liq.Gas.inch)	Length(ft)
3/8 : 5/8	65.0
3/8 : 7/8	40.0

4. Branch/Header

Model Name	Quantity
ARBLN03321	1
-	-

LG — MULTI V

Fox Lane Middle School (23-131B) - BBS vrf_uv Rev.2_3.5.24(ver 1.8.14.16)

System Model Section - IDU

System Name: CU-2 — **Date: 03/05/2024**

System No : 2/2

5. Indoor Units(1)

Room	Room Load(kBtu/h)			Room Design Temp.(Return Air Temp.) (°F)			Model Name	Rated TC/Corrected TC(kBtu/h)			Corrected Input/Input Load(kW)		
	TC	SC	HC	Cooling DBT	Cooling WBT	Heating DBT		TC	SC	HC	TC	SC	HC
2nd Fl Music CR	48.0	32.0	-	80.0	67.0	70.0	PRLK048A0	49.3/49.3	-	49.3/49.3	102.1	-	-
2nd Fl Music CR	48.0	32.0	-	80.0	67.0	70.0	PRLK048A0	49.3/49.3	-	49.3/49.3	102.1	-	-

6. Indoor Units(2)

Tag	Model Name	Type	Est. Discharge Temp.(°F)		Air flow rate (CFM)	Remark
			Cooling	Heating		
	PRLK048A0	EEV KIT	-	-	-	-
	PRLK048A0	EEV KIT	-	-	-	-

7. Indoor Units(3)

Tag	Model Name	Weight	Dimension (WxHxD)	Electrical Characteristics				
				Volt	Phase	Hz	MCA (A)	RLA (A)
	PRLK048A0	kg	mm	220~240	1	50/60	0.10	
	PRLK048A0	kg	mm	220~240	1	50/60	0.10	

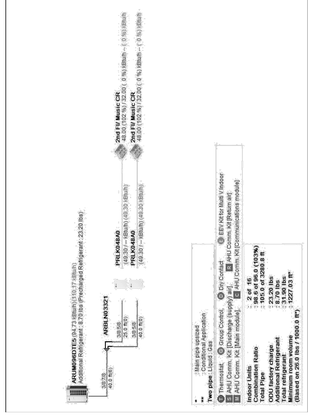
LG — MULTI V

Fox Lane Middle School (23-131B) - BBS vrf_uv Rev.2_3.5.24(ver 1.8.14.16)

System Tree Diagram

System Name: CU-2 — **Date: 03/05/2024**

System No : 2/2



VRF Outdoor Condensing
Unit Data

CU-2 — Tag No.:

ARUM096DTE5
Multi V™ S with LGRED® 460V ODU
8 Ton Single Frame Heat Pump and Heat Recovery

LG Life's Good

Performance:

Cooling Mode:

Nominal Capacity (Btu/h)	96,000
Power Input (kW)	5.33

Heating Mode:

Nominal Capacity (Btu/h)	108,000
Power Input (kW)	6.74

Rated capacity is certified under AHRI Standard 1230:2023. Ratings are subject to change without notice. Current and updated certified ratings are available at www.ahridirectory.org.

Electrical:

Frame	ARUM096DTE5
Power Supply (V/Hz/Ø)	460/60/3
MOP (A)	25
MCA (A)	16.4
Rated Amps (A)	14.1
Compressor A (A)	9.1
Compressor B (B)	-
Fan (A)	5.0

Piping:[3]

Frame	ARUM096DTE5
Refrigerant Charge (lbs.)	23.2
Liquid (in., O.D.)	3/8 Braze
High Pressure Vapor (in, O.D.)	3/4 Braze
Low Pressure Vapor (in., O.D.)	7/8 Braze

Operating Range:

Cooling (°F DB)[4]	5 - 122
Heating (°F WB)	-22 - 61
Synchronous	
Cooling Based (°F DB)	14 - 81
Heating Based (°F WB)	14 - 61

Unit Data:

Refrigerant Type	R410A
Refrigerant Control	EEV
Max. Number of Indoor Units[3]	16
Sound Pressure[4] dB(A)	58.0
Weight	
Frame	ARUM096DTE5
Net (lbs.)	507
Shipping (lbs.)	534
Communication Cable (No x AWG)[5]	2 x 18
Heat Exchanger Coating	Black Fin II

Compressor:

Type	HSS DC Scroll
Quantity	1
Oil / Type	PVE / FVC68D

Fan:

Type	Propeller
Quantity	2
Motor Drive	Brushless Digitally Controlled Direct
Air Flow Rate (rated)/max. CFM)	7,400 / 11,300

Notes:

Job Name/Location: _____

ARUM096DTE5
Multi V™ S with LGRED® 460V ODU
8 Ton Single Frame Heat Pump and Heat Recovery

LG Life's Good

Tag No.: _____
Date: _____
PO No.: _____

AHRI Data:

Reference Number	Indoor Type	Cooling Capacity (95°F)	EER (95°F)	IEER	SCHE	High Heating Capacity (47°F)	High COP (47°F)	Low Heating Capacity (17°F)	Low COP (17°F)
213916291	Ducted Indoor Units	92,000	11.9	20.1	24.30	103,000	3.66	67,000	2.73
213916289	Non-Ducted Indoor Units	92,000	10.4	26.6	28.80	103,000	4.33	67,000	2.85

UV Data

WOOD SHOP PREP RM.

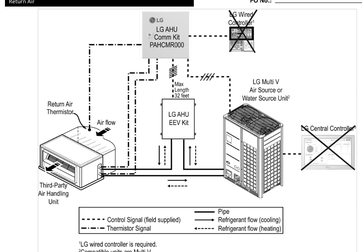
Fox Lane Middle School UV

Manufacturer	MagicAire
Performance Details	MAUVF2
Arrangement	Vertical Floor Mounted
Base Unit Size	MAUV-2
Tag	UV-Wood Shop
Quantity	1
Altitude	0
Configuration	4 Pipe
Nominal Airflow (CFM)	750
External Static Pressure ESP (IWG)	0.1
Cooling Coil	4 Row DX (R-410A)
Rows	4
EAT Dry Bulb (F)	80
EAT Wet Bulb (F)	67
LAT Dry Bulb (F)	60.14
LAT Wet Bulb (F)	56.42
Leaving Dew Point (F)	53.93
Total Capacity (BTU/hr)	23440
Sensible Capacity (BTU/hr)	15620
Saturated Condensing Temp (F)	95
Saturated Evap Temp (F)	42
	See VRF Data Performance
Heating Coil	2 Row Hot Water Coil
Rows	2
EAT Dry Bulb (F)	55
LAT Dry Bulb (F)	103.04
Total Capacity (BTU/hr)	40374
EWT (F)	170
LWT (F)	149.34
GPM	4
WPD (ft w.g.)	1.2
Heating Fluid	Water
Electrical Data	ECM
Voltage 1 (V1)	208
Phase	1
Frequency	60
Motor HP	1/3
Motor FLA (at V1)	2.3
Unit MCA (at V1)	2.9
Unit MOPD (at V1)	15
Filters	
Nominal Size (in) - MERV13	9.25" x 36.25" x 2"
Quantity (per unit)	1

PAHCMR000
AHU Communications Kit
Return Air

LG Life's Good

Tag No.: _____
Date: _____
PO No.: _____



[1]LG wired controller is required.
[2]Compatible units are Multi V.
[3]Compatible central controllers are AC Smart V and ACP V.

LG VRF SYSTEM MUSIC ROOM/STEAM LAB (SECOND AND THRID FLOOR)

NOTE: NTS

REV.	DATE	ITEM
1	03/06/25	BID ADDENDUM No. 1

NOTICE

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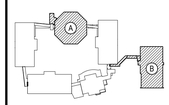

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

SCHEDULES AND DETAILS

PROJECT

DWG TITLE

DRAWING BY: JH

CHECK BY: CW

NOTICE

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SUITE 115, ALBANY
NEW YORK 12203
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F. 518.621.7655

www.BBSARCHITECTURE.com

SED No. 66-01-02-06-0-007-013

DISTRICT: BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT: PHASE 2 - BOND IMPROVEMENTS

DWG TITLE: SCHEDULES AND DETAILS

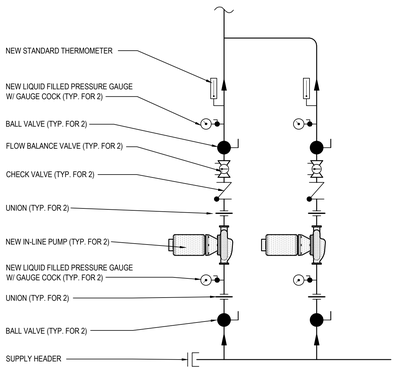
SCALE: AS NOTED

DATE: APRIL 2024

BID PICK-UP: FEBRUARY 24, 2025

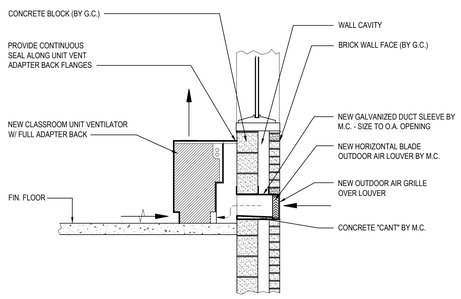
FILE No: 23-131b FLMS

M6.03



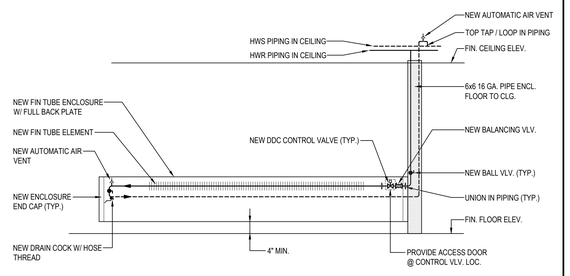
1 NEW IN-LINE CIRCULATOR PUMPS / TRIM

SCALE: N.T.S.



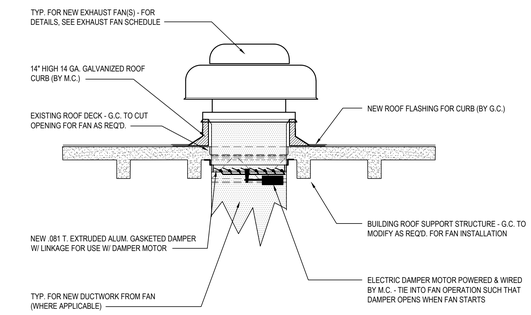
2 UNIT VENTILATOR / FAN COIL UNIT FRESH AIR INTAKE - MASONRY WALL INSTALLATION

SCALE: N.T.S.



3 TYPICAL BASEBOARD DETAIL

SCALE: N.T.S.



4 NEW ROOF MOUNTED EXHAUST FAN INSTALLATION

SCALE: N.T.S.

REV.	DATE	ITEM
1	03/06/25	BID ADDENDUM No. 1

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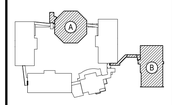
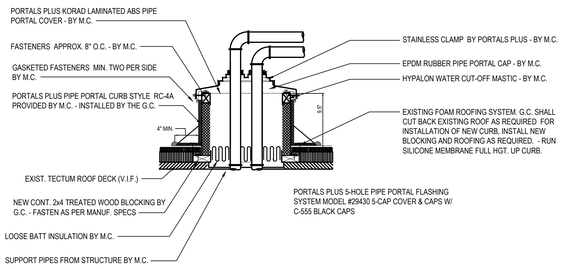


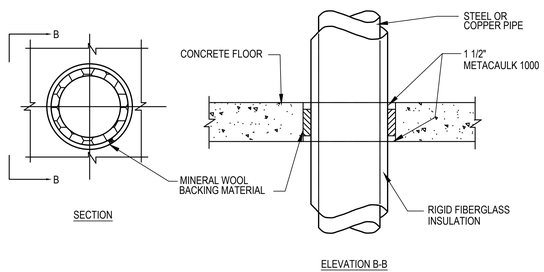
KEY PLAN

NOT TO SCALE



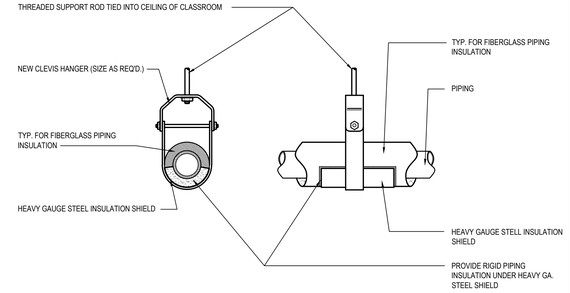
5 ROOF PIPING PENETRATION DETAIL

SCALE: N.T.S.



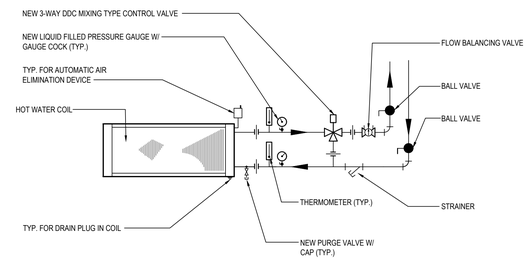
6 PIPING FLOOR PENETRATION

SCALE: N.T.S.



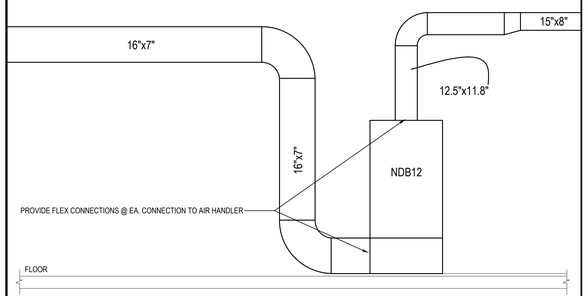
7 CLEVIS HANGER PIPING SUPPORT DETAIL

SCALE: N.T.S.



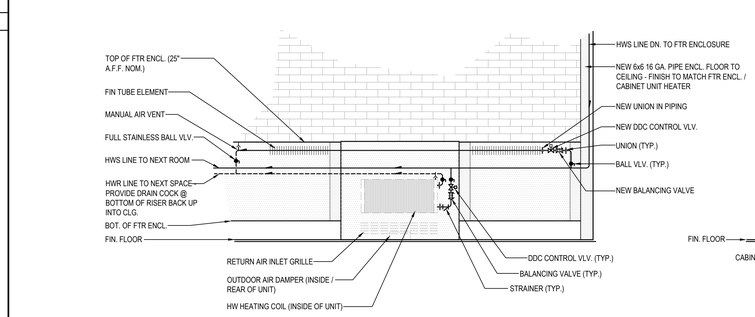
8 3 WAY HOT WATER COIL DETAIL

SCALE: N.T.S.



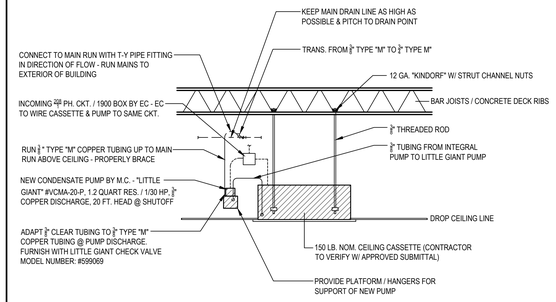
9 DUCT WORK FOR AIR HANDELING UNIT

SCALE: N.T.S.



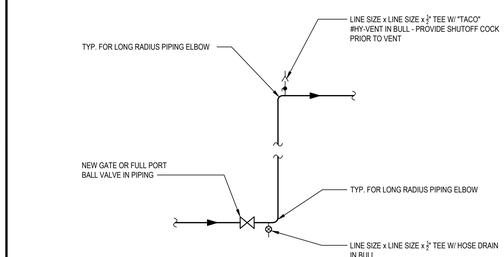
10 CAB. UNIT HEATER INSTALLED IN FTR RUN - SIDE ELEVATION

SCALE: N.T.S.



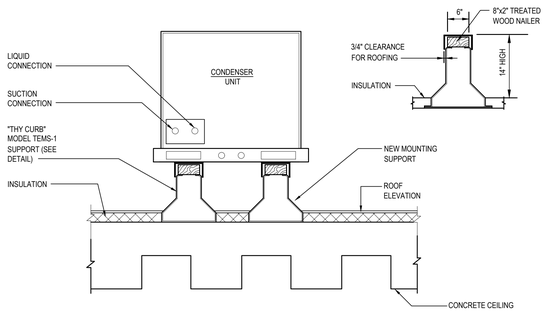
11 CEILING CASSETTE / CONDENSATE PUMP TYPICAL INSTALL DETAIL

NOT TO SCALE



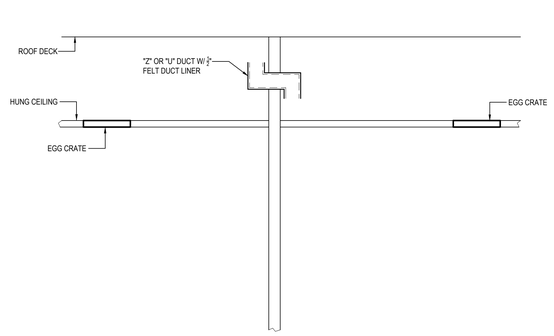
12 PIPING BASE DRAIN / PIPING HIGH POINT VENT DETAIL

SCALE: N.T.S.



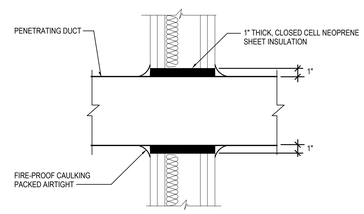
13 CONDENSER UNIT AND SUPPORT

SCALE: N.T.S.



14 TYPICAL Z-DUCT DETAIL

SCALE: N.T.S.



15 TYPICAL DUCT PENETRATION

SCALE: N.T.S.

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

SCHEDULES AND DETAILS

PROJECT

DWG TITLE

DRAWING BY: JH

CHECK BY: CW

NOTICE

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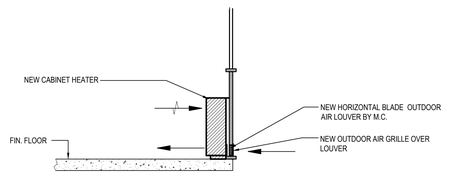
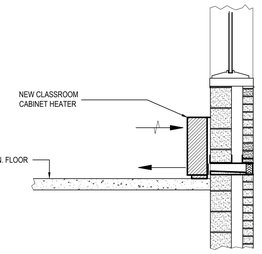
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	SCHEDULES AND DETAILS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

M6.04



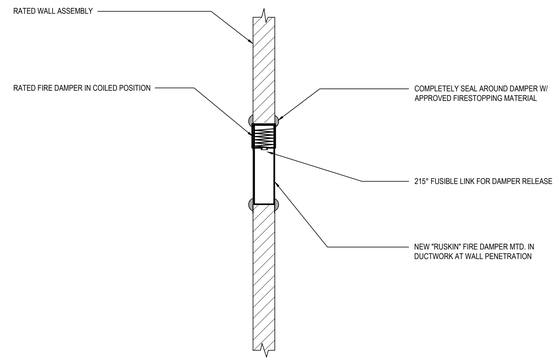
17 CABINET HEATER FRESH AIR INTAKE - CURTAIN WALL INSTALLATION

SCALE: N.T.S.



18 CABINET HEATER FRESH AIR INTAKE - BLOCK WALL

SCALE: N.T.S.



19 FIRE SMOKE DAMPER THROUGH RATED ASSEMBLY

SCALE: N.T.S.

RELIABLE

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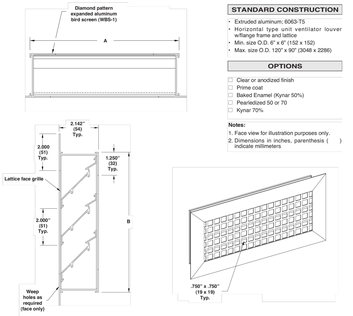
AEL-92-267-L



STANDARD CONSTRUCTION

- Extruded aluminum; 6063-T5
- Horizontal type unit ventilator louver w/flange frame and lattice
- Min. size O.D. 6" x 6" (152 x 152)
- Max. size O.D. 120" x 90" (3048 x 2286)

OPTIONS

- ☐ Clear or anodized finish
- ☐ Prime coat
- ☐ Baked Enamel (Kynar 50%)
- ☐ Pearlesized 50 or 70
- ☐ Kynar 70%

Notes:

1. Face view for illustration purposes only.
2. Dimensions in inches, parenthesis ( ) indicate millimeters

UV 750 A=36", B=10 3/8" / AHU-1, 20x10

OUTDOOR AIR LOUVER FOR UNIT VENT

NOTE: NTS

REV.	DATE	ITEM
1	03/06/25	BID ADDENDUM No. 1

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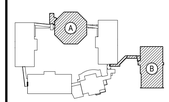


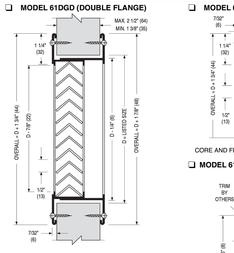
KEY PLAN

NOT TO SCALE

Nailor Industries Inc.

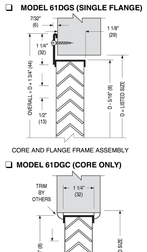
STEEL DOOR/TRANSFER GRILLES
SIGHTPROOF
MODELS: 61DGD, 61DGS AND 61DGC

❑ **MODEL 61DGD (DOUBLE FLANGE)**



AUXILIARY FRAME ASSEMBLY

❑ **MODEL 61DGS (SINGLE FLANGE)**



CORE AND FLANGE FRAME ASSEMBLY

❑ **MODEL 61DGC (CORE ONLY)**

CORE AND CHANNEL FRAME ASSEMBLY

DESCRIPTION:

1. Construction: Corrosion-resistant steel. Roll-formed frame mechanically interlocked with reinforced mitered corners for strength. Heavy duty inverted "V" louvers in 22 ga. (0.86) steel provides rigidity and strength and are mechanically locked in place using a double tab and slot method.
2. Model Series 61DG offers the largest free area possible with a completely sight-proof design, utilizing a 90° inverted "V" louver on 1/2" (13) centers. Solid construction will tolerate abuse from bumps and kicks. The 61DG Series Door Grille may also be used as a transfer grille and in place of standard design exhaust and return air grilles where it is important that the interior of the plenum or duct be concealed.
3. Minimum size is 6" x 4" (152 x 102). Maximum size is 36" x 96" (914 x 914). Available in nominal 2" (51) increments.
4. Standard fastening is Type 'A' countersunk screw holes.
5. Standard finish is AW Appliance White.

OPTIONS:

1. Finish:
   ❑ SP Special _____ .

DOOR/TRANSFER GRILLES Nailor

PERFORMANCE DATA:
DOOR/TRANSFER GRILLES – 5100 AND 6100 SERIES
MODELS: 51DG, 61DG

Listed Duct Size (inches)	Alternate Sizes (inches)	Core Area (sq. ft.)	Ak Factor	Core Velocity Velocity Pressure Neg. Static Pressure	100 .001 .005	150 .001 .012	200 .002 .021	250 .002 .004 .031	300 .006 .044	350 .008 .055	400 .010 .055	450 .013 .105
6 x 6	8 x 4 10 x 4	0.18	0.25	CFM Noise Criteria	18 –	27 –	36 –	45 18	54 22	63 25	72 28	81 30
8 x 6	12 x 4	0.25	0.33	CFM Noise Criteria	25 –	38 –	50 –	63 19	75 23	88 26	100 29	113 31
10 x 6	16 x 4	0.32	0.41	CFM Noise Criteria	32 –	48 –	64 15	80 20	96 24	112 27	128 30	144 33
8 x 8		0.35	0.44	CFM Noise Criteria	35 –	53 –	70 15	88 20	105 24	123 27	140 30	158 32
12 x 6	18 x 4	0.40	0.50	CFM Noise Criteria	40 –	60 –	80 16	100 21	120 25	140 28	160 31	180 33
12 x 8	16 x 6 24 x 4	0.55	0.66	CFM Noise Criteria	56 –	83 –	110 17	138 22	165 26	193 29	220 32	248 34
10 x 10	26 x 4	0.58	0.69	CFM Noise Criteria	61 –	87 –	116 17	145 22	174 26	203 29	232 32	261 35
12 x 10	16 x 8 30 x 4	0.70	0.82	CFM Noise Criteria	74 –	105 –	140 16	175 21	210 25	245 27	280 30	315 32
12 x 12	14 x 10 18 x 8	24 x 6	0.86	0.99	CFM Noise Criteria	90 –	129 –	172 20	215 24	258 28	301 31	344 34	387 36
14 x 14	16 x 12 20 x 10	28 x 8 34 x 6	1.20	1.35	CFM Noise Criteria	124 –	186 15	248 21	309 25	371 29	433 32	495 35	556 37
18 x 12	16 x 14 22 x 10	28 x 8	1.32	1.49	CFM Noise Criteria	132 –	198 16	264 22	330 26	396 30	462 33	528 36	594 38
18 x 16	18 x 14 22 x 12	30 x 8	1.59	1.76	CFM Noise Criteria	159 –	239 –	318 20	398 25	477 28	557 31	636 34	716 36
24 x 12	18 x 16 20 x 14	30 x 10	1.79	1.98	CFM Noise Criteria	179 –	269 17	358 23	448 28	537 33	627 35	716 37	806 40

TRANSFER GRILLES

NOTE: NTS

GREENHECK

FSD-331
Combination Fire Smoke Dampers

Application

Model FSD-331 is a combination fire smoke damper with Class I leakage and 3 hour fire rating. High strength airfoil blades ensure the lowest resistance to airflow in HVAC systems with velocities up to 2,000 fpm (10.2 m/s) and pressures up to 4" w.g. (1 kPa). FSD-331 may be installed vertically or horizontally (with blades running horizontal) and is rated for airflow and leakage in either direction.

Ratings

UL 555 Fire Resistance Rating
Fire Rating: 3 hours
Dynamic Closure Rating: Actual ratings are size dependent
Velocity: Up to 4000 fpm (20.3 m/s)
Pressure: Up to 8 in. wg (2 kPa)

UL 555S Leakage Rating
Leakage Class: 1
Operational Rating: Actual ratings are size dependent
Velocity: Up to 4000 fpm (20.3 m/s)
Pressure: Up to 8 in. wg (2 kPa)
Temperature: Up to 350°F (177°C) - depending upon the actuator

Construction

	Standard	Optional
Frame Material	Galvanized steel	-
Frame Material Thickness	16 ga. (1.5mm)	-
Frame Type	5 in. x 1 in. (127mm x 25mm) hat channel	-
Blade Material	Galvanized steel	-
Blade Material Thickness	14 ga. (2mm) equivalent	-
Blade Type	Airfoil	-
Blade Action	Opposed	-
Linkage	Plated steel out of airstream, concealed in jamb	316SS
Axle Bearings	316SS	-
Axle Material	Plated steel	316SS
Blade Seals	Silicone	-
Jamb Seals	Stainless Steel	-
Closure Device	RRL	RRL/OCI, TOR, Fusible Link
Closure Temperature	165°F (74°C)	212°F (100°C), 250°F (121°C), 286°F (141°C)*, 350°F (177°C)

Model FSD-331 meets the requirements for fire dampers, smoke dampers and combination fire smoke dampers established by:
National Fire Protection Association
NFPA Standards 80, 90A, 92, 101, & 105
IBC International Building Codes
CSFM California State Fire Marshal
Fire Damper Listing (#2215-0981:0103)
Leakage (Smoke) Damper Listing (#3230-0981:0104)

Width and Height dimensions furnished approximately ½ in. (6mm) smaller than nominal duct size to facilitate installation (all dimensions). Right hand drive is shown. Left hand is available upon request.

See complete marking on product.
UL 555 and UL 555S
Classification R13317

W x H	Minimum Size	Maximum Size	
		Single Section	Multiple Section
Inches	8 x 6	30 x 36.00 or 30 x 48.91 or VI.	120 x 96.00 or 120 x 96.91
mm	203 x 152	813 x 1270.00 or 762 x 1219.20 or VI.	3048 x 2438.00 or 3048 x 2438.91

Note: Maximum sizes are dependent on velocities and pressures.

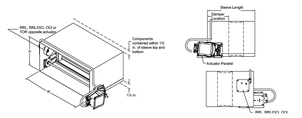
Note:
The frames are constructed with reinforced corners. Low profile head and sill are used on sizes less than 17 in. (432mm) high for lower pressure drop and improved damper performance.

*only available with fusible link

FSD-331 August 2023

Contained Actuator Option

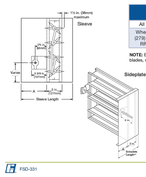
Dampers can be ordered with a "contained actuator option". This option will result in the actuator being oriented such that it extends no more than 1½ inches above or below the sleeve. Note that some damper configurations that are 11 inches high or less will have the RRL, RRL/OCI, or TOR mounted on the side opposite the actuator when the contained actuator option is selected.



Sleeve and Sideplate Dimensional Data

The drawings below and corresponding table show the position of the FSD-331 damper when mounted in a factory sleeve. The damper mounting locations provide enough space for the mounting of actuators, controls and allow space for installation of retaining angles and duct connections.

The standard location of a damper mounted in a factory sleeve ("A" dimension) is shown below. The damper can be positioned at other locations within a range of 6 in. (152mm) to 16 in. (406mm) for the "A" dimension.



in. (mm)	"A" Dimension	
	Sleeve Std	Sleeve Max	Sideplate
All Dampers (RRL)	7 ¾ in. (183)	16 (406)	6½ (157)
When height is 11 in. (279) or less with RRL, RRL/OCI, or TOR	12 (305)	16 (406)	12 (305)

NOTE: Entire damper frame is not required to be installed within the wall. The damper blades, when closed should be contained within the wall.

FSD-331 August 2023

RELIABLE

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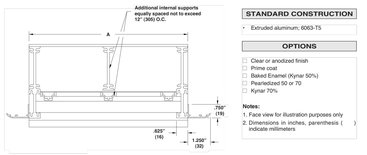
XHD-AEL-42 W/ 34 FRAME



STANDARD CONSTRUCTION

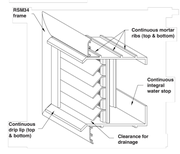
- Extruded aluminum; 6063-T5

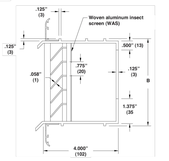
OPTIONS

- ☐ Clear or anodized finish
- ☐ Prime coat
- ☐ Baked Enamel (Kynar 50%)
- ☐ Pearlesized 50 or 70
- ☐ Kynar 70%

Notes:

1. Face view for illustration purposes only.
2. Dimensions in inches, parenthesis ( ) indicate millimeters





UNIT TYPE	UNIT MODEL NO.	ACTUAL SIZE A	ACTUAL SIZE B	VARIATIONS
	CH-1	8 1/8	4	
	CH-2	10 5/8	4	
		20	10	
		13	10	
		16	10	

OUTDOOR AIR BRICK VENTS FOR CABINET HEATERS & EXHAUST DUCTWORK

NOTE: NTS

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

PROJECT

SCHEDULES AND DETAILS

DWG TITLE

DRAWING BY: JH
CHECK BY: CW

NOTICE

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SED No. 66-01-02-06-0-007-013

DISTRICT BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT PHASE 2 - BOND IMPROVEMENTS

DWG TITLE SCHEDULES AND DETAILS

SCALE: AS NOTED
DATE: APRIL 2024
BID PICK-UP: FEBRUARY 24, 2025
FILE No: 23-131b FLMS

M6.05

FIRE STOP NOTES

1. ALL PIPING PENETRATIONS THROUGH FIRE RATED WALLS, FLOORS OR OTHER STRUCTURES SHALL BE FIRE STOPPED BY PLUMBING CONTRACTOR.
2. THE FIRE STOP MATERIALS SHALL BE HILTI TYPE FS-657 FIRE BLOCK, FS-ONE SEALANT, CP-672 JOINT SPRAY, CP-601S ELASTOMERIC SEALANT, 6P-606 FLEXIBLE SEALANT, CP-643 OR CP-642 COLLAR, CP-618 PUTTY STICK, OR FS-635 TROWEL ABLE COMPOUND, AS SUITABLE.
3. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF PRODUCTS TO BE USED.
4. FIRESTOP MATERIALS OTHER THAN HILTI SHALL INCLUDE FULL TECHNICAL DATA WITH SHOP DRAWINGS TO DEMONSTRATE EQUALITY WITH THE SPECIFIED FIRE STOPS.

NEW WORK SCOPE NOTES

1. PLUMBING CONTRACTOR SHALL PROVIDE AND INSTALL NEW FIXTURES AS SHOWN IN PLUMBING FIXTURE SCHEDULE ON DRAWING #P0.02.
2. INSTALL NEW PIPING WITH CONNECTIONS TO EXISTING MAIN PIPING TO EACH NEW FIXTURE.
3. CONNECT VENT PIPING TO EXISTING VENTS.
4. SEE GENERAL NOTES AND PLUMBING SPECIFICATIONS DIVISION 22 FOR MORE DETAIL.
5. DEMOLITION AND RECONSTRUCTION OF PLUMBING WALLS BY GENERAL CONTRACTOR. PLUMBING CONTRACTOR TO COORDINATE WITH GENERAL CONTRACTOR.
6. IN ALL INSTANCES WHERE NEW FIXTURES ARE PROPOSED THE PLUMBING CONTRACTOR SHALL PERFORM ALL DEMOLITION REQUIRED FOR REMOVAL OF EXISTING FIXTURE CARRIERS AND INSTALL NEW FIXTURE CARRIERS. GENERAL CONTRACTOR SHALL THEN BUILD/PATCH MASONRY WALLS AS REQUIRED INCLUDING NEW TILE FINISHES. UPON COMPLETION OF MASONRY/TILE THE PLUMBING CONTRACTOR SHALL INSTALL NEW FIXTURES PER SPECIFICATIONS

UTILITY NOTES

1. PIPING LOCATIONS ARE SCHEMATIC AND EACH TRADE SHALL RUN PIPING IN ORDER TO USE THE LEAST AMOUNT OF MATERIAL.
2. PLUMBING CONTRACTOR SHALL PROVIDE VENT PIPING FOR ALL PLUMBING FIXTURES AS PER CODE.
3. PLUMBING NOTE: PIPING SIZES SEE SCHEDULE THIS SHEET.
4. P.C. TO VERIFY SIZE OF SERVICE REQUIRED, SIZE AND EXACT LOCATION OF CONNECTIONS TO EACH PIECE OF FIXTURE AND/OR APPLIANCE.

EPA 67.4 NOTE

1. THE PLUMBING CONTRACTOR SHALL PROVIDE AND INSTALL NEW AND/OR REPLACEMENT PLUMBING FIXTURES. THE RESPECTIVE FIXTURES MUST ADHERE TO THE "LEAD-FREE" DIVISION 22 SPECIFICATIONS OUTLINING THE INSTALLATION MEANS AND METHODS AS WELL AS THE FIXTURE ITSELF BEING "LEAD FREE." THE CONTRACTOR SHALL PROVIDE THE REQUIRED SUBMITTALS FOR ALL FIXTURES AND BUILDING MATERIALS PRIOR TO THE FIXTURE INSTALLATION, AND CONFIRM ON THE JOBSITE THAT THE FIXTURE ADHERES TO "LEAD-FREE" REGULATIONS.
   a. FOLLOWING THE POTABLE FIXTURE INSTALLATION; THE P.C. SHALL REMOVE ALL FILTERS AND STRAINERS AND FLUSH THE FIXTURE OF DEBRIS FROM THE SYSTEM.
2. FOLLOWING THE COMPLETION OF THE P.C. WORK SCOPE, THE OWNER SHALL HAVE THE WATER CONDITIONS TESTED FOR LEAD CONTAMINANTS BY A THIRD-PARTY TESTING FIRM TO REGULATION 67.4 OF THE DEPARTMENT OF HEALTH REGULATIONS AS PART OF SECTION 1417 OF THE FEDERAL SAFE WATER ACT TO DETERMINE THEM AS "LEAD-FREE" COMPLIANT.
3. IF A FIXTURE DOES NOT COMPLY WITH SUB-PART REGULATION 67.4 OF THE DOH SECTION 1417 OF THE FEDERAL SAFE WATER ACT, THE P.C. SHALL PROVIDE A REPLACEMENT FIXTURE AT NO ADDITIONAL COST, TO THEN REPEAT THE INSTALLATION AND TESTING REQUIREMENTS. THE P.C. SHALL ABSORB THE FEE FOR THE FIRST LEAD TESTING PROCEDURE AS WELL AS THE FOLLOWING CONFIRMATION PROCEDURES AT NO ADDITIONAL COST TO THE OWNER.

PLUMBING SYMBOL LEGEND

SYMBOL	DESCRIPTION
	EXISTING DOMESTIC COLD WATER PIPING
	EXISTING DOMESTIC HOT WATER PIPING
	EXISTING DOMESTIC HOT WATER RETURN PIPING
SW	EXISTING SANITARY WASTE PIPING
	NEW DOMESTIC COLD WATER PIPING
	NEW DOMESTIC HOT WATER PIPING
	NEW DOMESTIC HOT WATER RETURN PIPING
SW	NEW SANITARY WASTE PPIPING
	NEW VENT PIPING
	EXISTING VENT PIPING
CODP	DENOTES CLEAN OUT DECK PLATE
E.CODP	DENOTES EXISTING OUT DECK PLATE
	NEW BALL VALVE IN PIPING
	NEW HAMMER ARRESTOR IN PIPING
	CONNECTION POINT OF NEW WORK TO BE DONE.
X X	DEMOLITION WORK TO BE DONE
W.	WASTE PIPING
V.	VENT PIPING
HWS	HOT WATER SUPPLY PIPING
HWR	HOT WATER RE-CIRCULATION PIPING
CWS	COLD WATER SUPPLY PIPING
RECIRC.	RECIRCULATION

GENERAL CONSTRUCTION NOTES

1. PLUMBING CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING HIS BID AND PERFORM ALL INVESTIGATION WORK BEFORE SUBMITTING A BID ON THE PLUMBING WORK.
2. CONNECT ALL HOT WATER, COLD WATER, VENT, AND WASTE PIPING AS REQUIRED INCLUDING PIPING, VALVES, TAPS, ESCUTCHEONS, SLEEVES, ACCESS DOORS, CLEANOUTS, PIPE HANGERS, INSULATION, ETC.
3. PROVIDE AND INSTALL PLUMBING FIXTURES INCLUDING ALL CUTTING AND PATCHING AS REQUIRED INCLUDING WASTE, VENT, AND WATER SUPPLY CONNECTIONS AND FITTINGS (ALL TRAPS TO HAVE CLEANOUTS).
4. ALL WORK SHALL BE IN ACCORDANCE WITH STATE AND LOCAL BUILDING CODES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND PAYING RELATED FEES.
5. PLUMBING CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES PRIOR TO CONSTRUCTION.
6. INTERIOR DOMESTIC WATER PIPING SHALL BE TYPE "L" COPPER. UNDERGROUND DOMESTIC WATER PIPING SHALL BE TYPE "K" COPPER FOR UP TO 2" AND DUCTILE IRON OVER 2". WASTE PIPING SHALL BE SERVICE WEIGHT CAST IRON SOIL PIPE, HUB AND SPIGOT UNDERGROUND, AND NO HUB INSIDE BUILDING. STORM DRAIN PIPING SHALL BE NO HUB CAST IRON SOIL PIPE INSIDE BUILDING. VENT PIPING SHALL BE NO HUB CAST IRON.
7. ALL WORK SHALL BE PROPERLY TESTED AND CLEANED. PROVIDE ONE YEAR WARRANTY FROM DATE OF ACCEPTED COMPLETION ON ALL PARTS AND LABOR.
8. ALL EXPOSED METALWORK ON PLUMBING FIXTURES SHALL BE CHROME PLATED.
9. PROVIDE SHUTOFF VALVE ON WATER SUPPLY BRANCH TO EACH INDIVIDUAL FIXTURE IN AN ACCESSIBLE LOCATION.
10. ALL WORK SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
11. WHERE DISSIMILAR METALS ARE CONNECTED, PROVIDE AN APPROVED MAKE OF NON-GALVANIC ISOLATOR, DIELECTRIC UNION OR FLANGES.
12. PROVIDE AND INSTALL BOLT CAPS ON ALL TOILETS.
13. RUN LOCAL HORIZONTAL DRAINAGE PIPING AT A GRADE OF 1/4-INCH PER FOOT WHEREVER POSSIBLE, BUT NO LESS THAN 1/8-INCH PER FOOT; HOUSE DRAINS AT 1/8-INCH PER FOOT UNLESS OTHERWISE NOTED AND OUTSIDE UNDERGROUND DRAINAGE PIPING AS INDICATED OR REQUIRED BY CODE.
14. RUN VENT PIPING WITH LONG TURN ELBOWS AT CHANGES IN DIRECTION, GRADE TO DRAIN OUT CONDENSATION, AND CONNECT AT BASE TO PREVENT ACCUMULATION OF RUST.
15. PROVIDE CLEANOUTS (FULL SIZE UP TO 4-INCHES AND AT LEAST HALF-SIZE FOR LARGER PIPES WITH 4-INCH MINIMUM), WHERE INDICATED, APPROXIMATELY EVERY 50 FEET ON HORIZONTAL DRAINAGE PIPING, AT CHANGES IN DIRECTION, AT BASE OF LEADERS, SOIL, AND WASTE STACKS, AND AS REQUIRED BY CODE.
16. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORE DRILLING THRU WALLS, FLOORS AND CUTTING AND PATCHING AS REQUIRED TO FACILITATE INSTALLATION OF PIPES AND PLUMBING FIXTURES.
17. PLUMBING CONTRACTOR TO PROVIDE AND INSTALL NEW VENTS FROM FIXTURES UP TO ROOF AS SHOWN.
18. ALL FLOOR TRAPS SHALL BE INSTALLED WITH PRIMER TAPPING FOR WATER CONNECTION TO TRAP.
19. P.C. SHALL PROVIDE AND INSTALL PIPE INSULATION ON ALL DOMESTIC COLD WATER SUPPLY, HOT WATER SUPPLY, HOT WATER SUPPLY (RE-CIRCULATION LINE) AND ROOF DRAIN PIPING THAT IS EXPOSED ABOVE CEILINGS OR IN CRAWL SPACE AND PIPE CHASES.

EXISTING PIPING FIELD VERIFICATION NOTES

PLUMBING CONTRACTOR SHALL BE RESPONSIBLE TO INCLUDE IN THEIR PROPOSAL, EXISTING FIELD VERIFICATION OF ALL EXISTING PLUMBING INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

1. COLD WATER LINES
2. HOT WATER SUPPLY LINES
3. HOT WATER RE-CIRCULATION LINES
4. SANITARY WASTE LINES
5. VENT LINES

REV.	DATE	ITEM

NOTICE

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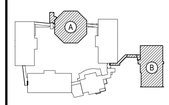

KEY PLAN

NOT TO SCALE

PROJECT: BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE: GENERAL NOTES, LEGENDS, ETC.

DRAWING BY: JH
CHECK BY: CW

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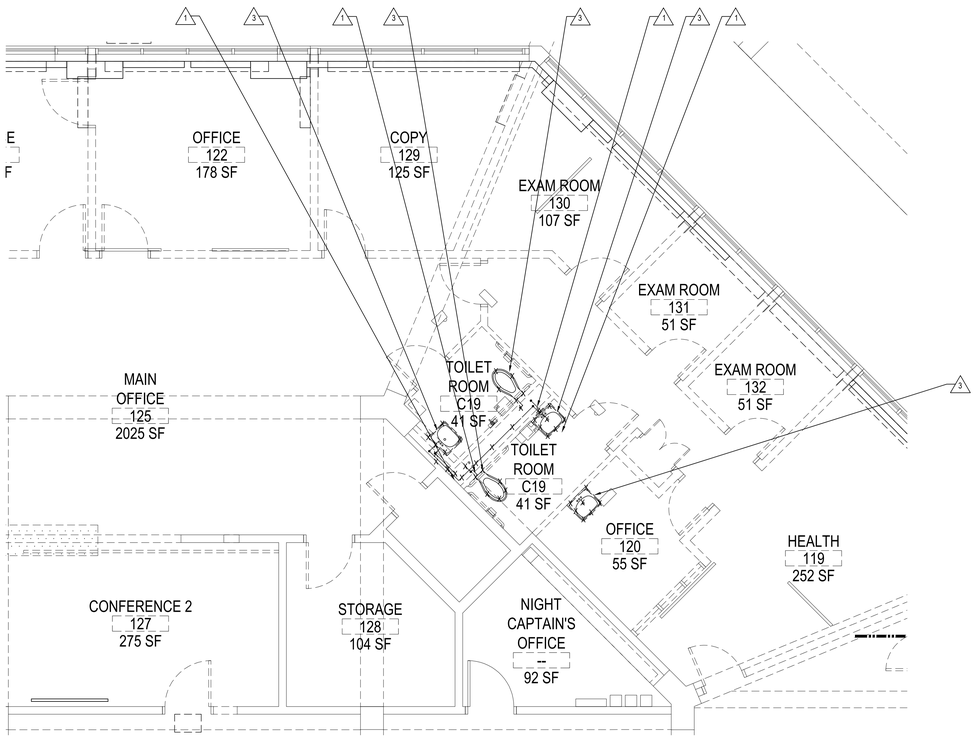
SED No. 66-01-02-06-0-007-013
DISTRICT: BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT: PHASE 2 - BOND IMPROVEMENTS
DWG TITLE: GENERAL NOTES, LEGENDS, ETC.

SCALE: AS NOTED
DATE: APRIL 2024
BID PICK-UP: FEBRUARY 24, 2025
FILE No: 23-131b FLMS

P0.01

DEMOLITION KEY NOTES

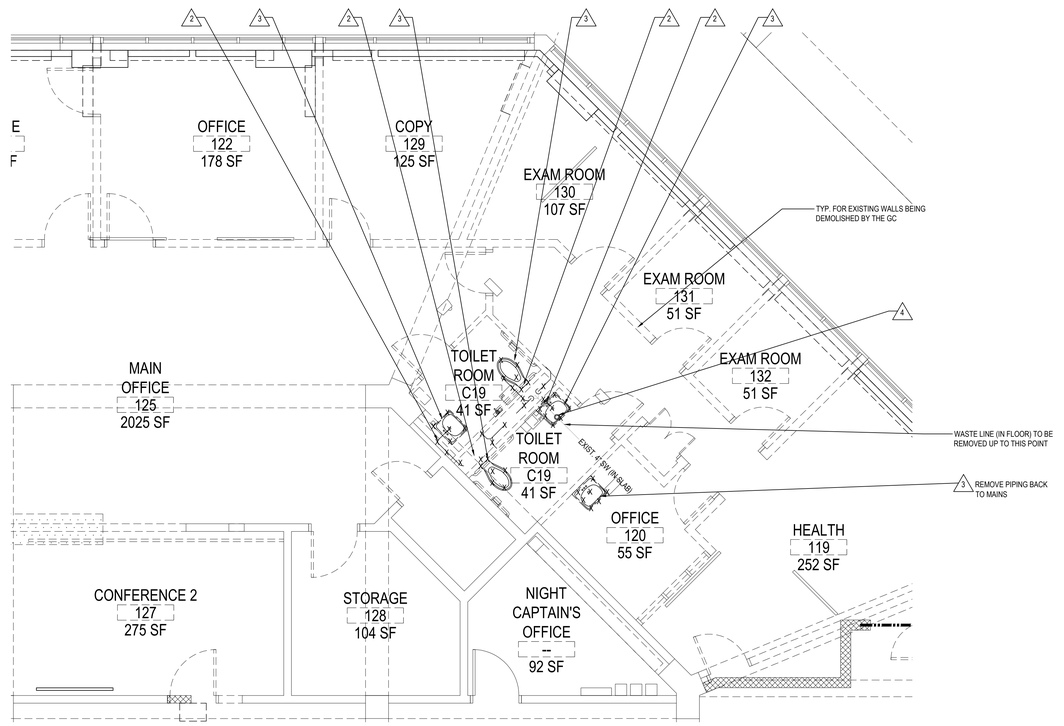
1. PC TO REMOVE EXISTING HW / CW PIPING TO THE EXTENT SHOWN. THE INTENT IS TO REMOVE ALL PIPING BACK TO POINT OF ENTRY INTO THE PLUMBING CHASE. GC TO DEMOLISH CHASE.
2. PC TO REMOVE EXISTING SANITARY WASTE PIPING TO THE EXTENT SHOWN. THE INTENT IS TO REMOVE ALL WASTE LINES WITHIN THE CHASE, INCLUDING THE MAIN DROP DOWN INTO SLAB. CHOP OUT AREA AROUND DROP AS REQUIRED TO EXPOSE 4" WASTE LINE. PREP LINE FOR FUTURE MODIFICATION.
3. PC TO REMOVE EXISTING WATER CLOSETS, SINKS & ANY RELATED FIXTURE CARRIERS / SUPPORTS AS SHOWN.
4. PC TO REMOVE ANY FLOOR DRAINS / FLOOR CLEANOUTS WITHIN THE TWO EXISTING BATHROOMS. TEMPORARILY CAP OFF FOR FUTURE MODIFICATION.



FIRST FLOOR PLUMBING DOMESTIC WATER DEMOLITION PLAN

NOTE:

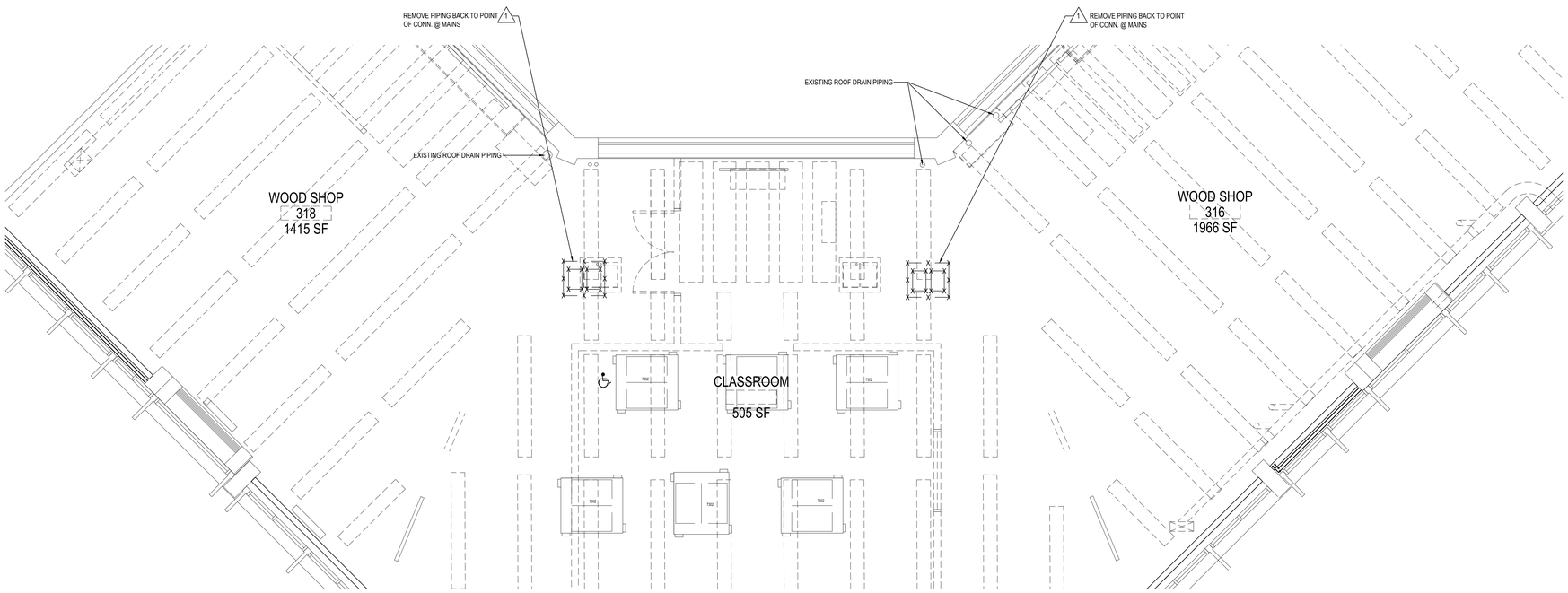
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLUMBING SANITARY WASTE DEMOLITION PLAN

NOTE:

SCALE: 1/4" = 1'-0"



THIRD FLOOR PLUMBING DEMOLITION PLAN

NOTE:

SCALE: 1/4" = 1'-0"

REV.	DATE	ITEM
1	03/19/2025	BID ADDENDUM No. 4

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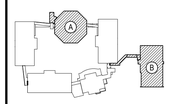

KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

DEMOLITION PLANS

DRAWING BY: JH

CHECK BY: CW

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SED No. 66-01-02-06-0-007-013

DISTRICT: BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT: PHASE 2 - BOND IMPROVEMENTS

DWG TITLE: DEMOLITION PLANS

SCALE: AS NOTED

DATE: APRIL 2024

BID PICK-UP: FEBRUARY 24, 2025

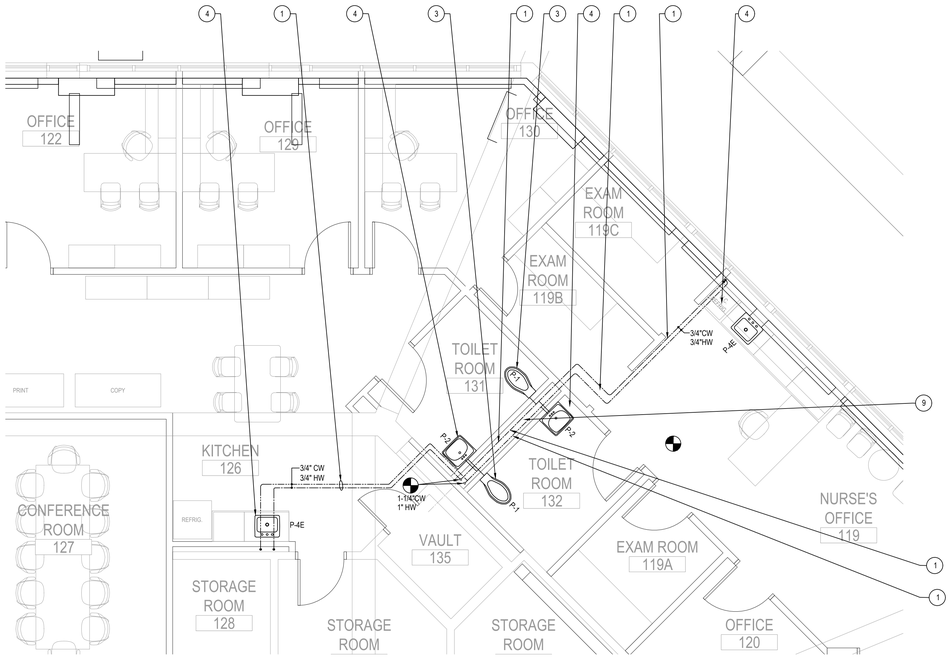
FILE No: 23-131b FLMS

P1.01

PROPOSED KEY NOTES

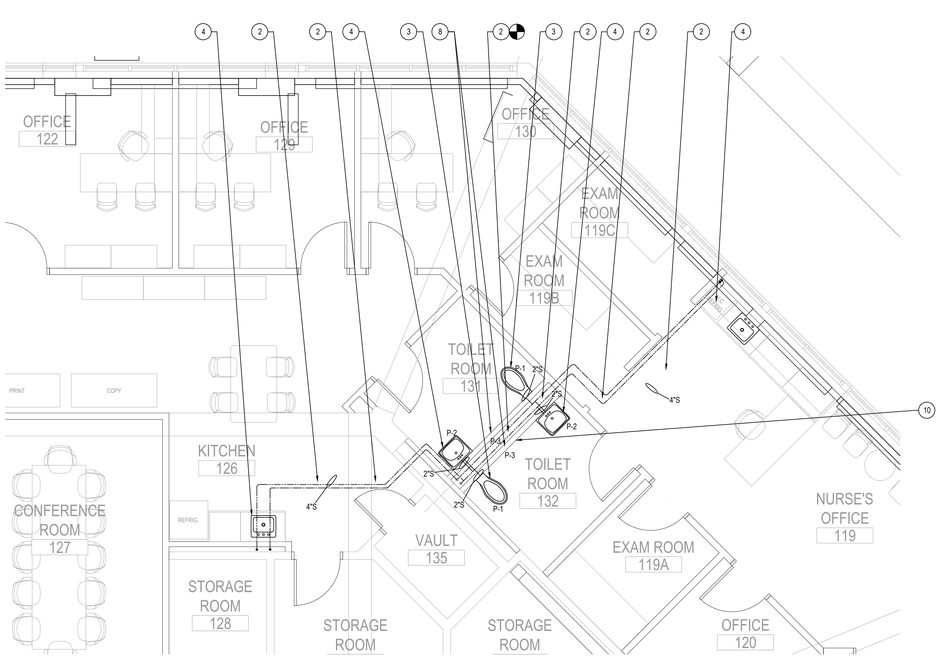
1. PC TO TAP OFF EXISTING HW/CW LINES IN CHASE & INSTALL NEW HW/CW PIPING AS SHOWN. PC TO WRAP PIPING WITH 2" INSULATION. SEE DWG P6.01 & SPECIFICATIONS FOR FURTHER INFORMATION.
2. PC TO INSTALL NEW CAST IRON EXTRA HEAVY WEIGHT PIPING AS SHOWN. RUN EACH LINE TO FIXTURES AS SHOWN & TIE INTO EXISTING SEWER LINE IN FLOOR AT THE LOCATION SHOWN. GC TO REPAIR FLOOR AFTER NEW PIPING PIPING IS INSTALLED. NOTE THAT GC WILL PERFORM FLOOR CHOPPING REQUIRED TO RUN WASTE LINES TO FIXTURES WHERE APPLICABLE. COORDINATE / MARK OUT PIPING RUNS W/ GC.
3. PC TO INSTALL NEW WATER CLOSET. SEE DWG P6.01 FOR PLUMBING FIXTURE SCHEDULE / PIPING SIZES.
4. PC TO INSTALL NEW LAVATORY. SEE DWG P6.01 FOR PLUMBING FIXTURE SCHEDULE / PIPING SIZES.
5. PC TO TAP OFF EXISTING CW LINE WITHIN CHASE & RUN NEW PIPE IN CEILING ON THE SECOND FLOOR, THEN UP TO NEW LAVATORIES IN ROOMS 316 & 318 AS SHOWN. PERFORM CORE DRILLING / FIRE STOPPING AS REQUIRED.
6. PC TO TAP OFF EXISTING HW LINE WITHIN CHASE & RUN NEW PIPE IN THE CEILING ON THE SECOND FLOOR, THEN UP TO NEW LAVATORIES IN ROOMS 316 & 318 AS SHOWN. PERFORM CORE DRILLING / FIRE STOPPING AS REQUIRED.
7. PC TO TAP OFF EXISTING SANITARY WASTE PIPING & RUN PIPE IN THE CEILING ON THE SECOND FLOOR, THEN UP TO NEW LAVATORIES IN ROOMS 316 & 318 AS SHOWN. PERFORM CORE DRILLING / FIRE STOPPING AS REQUIRED.
8. PC TO RUN NEW CW LINE TO NEW WALL HYDRANT AS SHOWN. SEE DWG P6.01 FOR PLUMBING FIXTURE SCHEDULE.
9. PC TO INSTALL WATER HAMMER ARRESTORS WHERE APPLICABLE. SEE DWG P6.01 FOR PLUMBING FIXTURE SCHEDULE.
10. GC TO REPLACE ACCESS DOOR AT THE LOCATION SHOWN, LIKE-IN-KIND. PAINT TO MATCH EXISTING SURROUNDINGS.

DENOTES CONNECTION BETWEEN NEW TO EXISTING.



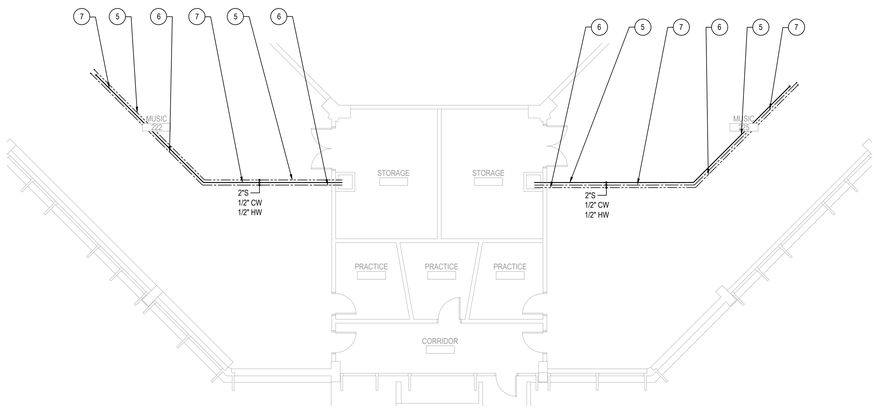
FIRST FLOOR PLUMBING DOMESTIC WATER PROPOSED PLAN

NOTE: SCALE: 1/4" = 1'-0"



FIRST FLOOR PLUMBING DOMESTIC WATER PROPOSED PLAN

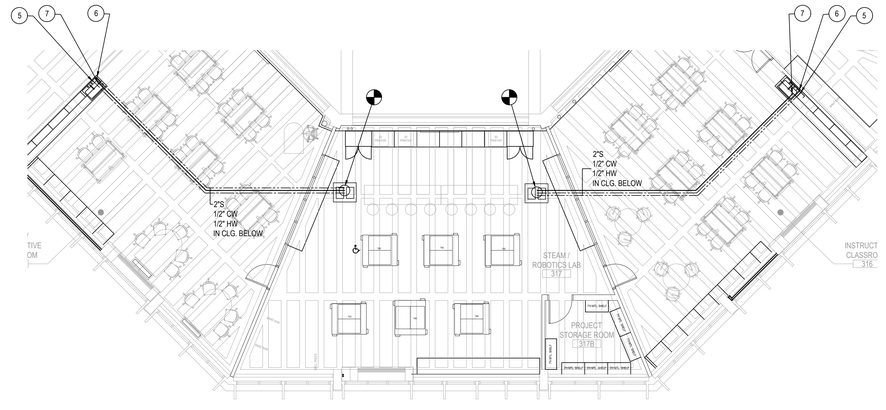
NOTE: SCALE: 1/4" = 1'-0"



WATER / SANITARY PIPING SHOWN @ CEILING LEVEL

SECOND FLOOR PLUMBING PROPOSED PLAN

NOTE: SCALE: 1/8" = 1'-0"

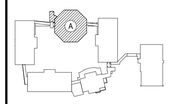


WATER / SANITARY PIPING SHOWN IS AT THE FLOOR BELOW, CEILING LEVEL.

SECOND FLOOR PLUMBING PROPOSED PLAN

NOTE: SCALE: 1/8" = 1'-0"

REV.	DATE	ITEM
1	03/19/2025	BID ADDENDUM No. 4



KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

PROJECT

PROPOSED PLAN

DWG TITLE

DRAWING BY:	JH
CHECK BY:	CW

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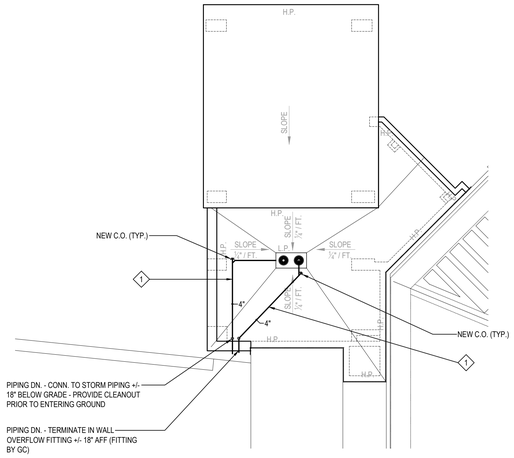
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	PROPOSED PLANS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

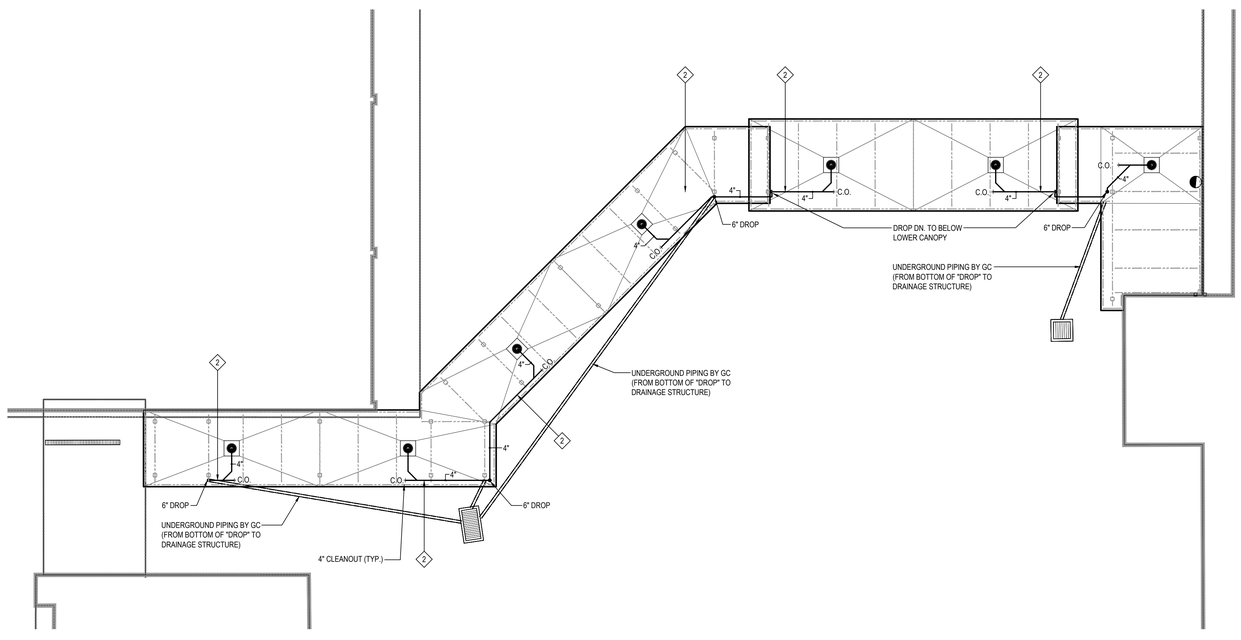
P2.01



PART ROOF PLAN - NEW ENTRY AREA (ROOF DRAINAGE AT NEW MAIN ENTRY)

NOTE:

SCALE: 1/8" = 1'-0"



PART ROOF PLAN - NEW CANOPY (NEW CANOPY BETWEEN "EAST" HOUSE & GYMNASIUM BUILDING)

NOTE:

SCALE: 1/8" = 1'-0"

PROPOSED KEY NOTES

1. PC SHALL PROVIDE & INSTALL A NEW SYSTEM OF STORM DRAINAGE (ROOF DRAIN) PIPING AS SHOWN. PIPING IS FOR MAIN ROOF DRAIN & OVERFLOW DRAIN. RUN PIPING AS TIGHT TO STRUCTURE ABOVE AS POSSIBLE & MAINTAIN ¼" / FT. PITCH. DROP PIPING DN. AT THE LOCATION SHOWN. OVERFLOW DRAIN TO EXIT SIDE WALL OF BUILDING @ +/- 18" ABOVE GRADE. DISCHARGE DRAIN FITTING AT WALL BY GC. PROVIDE ALL PIPING SUPPORTS AS REQUIRED BY CODE & AS LISTED WITHIN THE PROJECT MANUAL.
2. PC SHALL PROVIDE & INSTALL A NEW SYSTEM OF STORM DRAINAGE (ROOF DRAIN) PIPING AS SHOWN. PIPING IS FOR MAIN ROOF (CANOPY) DRAINS. RUN PIPING AS TIGHT TO STRUCTURE ABOVE AS POSSIBLE & MAINTAIN ¼" / FT. PITCH. DROP PIPING DN. AT THE LOCATIONS SHOWN. PC TO TERMINATE PIPING IN 4" RECEPTORS (RECEPTORS BY GC). GC TO CONTINUE PIPING TO DRAINAGE SYSTEM. PROVIDE ALL PIPING SUPPORTS AS REQUIRED BY CODE & AS LISTED WITHIN THE PROJECT MANUAL.

REV.	DATE	ITEM
1	03/19/2025	BID ADDENDUM No. 4

NOTICE

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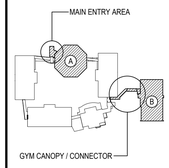

KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

PART ROOF PLANS - NEW ENTRY & GYM CANOPY

DRAWING BY: CMW

CHECK BY: CW

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SED No. 66-01-02-06-0-007-013

DISTRICT: BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT: PHASE 2 - BOND IMPROVEMENTS

DWG TITLE: PROPOSED PLANS

SCALE: AS NOTED

DATE: APRIL 2024

BID PICK-UP: FEBRUARY 24, 2025

FILE No: 23-131b FLMS

P2.02

PLUMBING FIXTURE TYPES

FIXTURE TYPE	TAG No.	FIXTURE	TRAP SIZE	VENT SIZE	COLD WATER	HOT WATER	DESCRIPTION
WATER CLOSET	P-1	WALL MOUNTED WATER CLOSET	4"	2"	1"	--	ZURN Z5615-BWL-AM ECOVANTAGE HIGH EFFICIENCY TOILET SYSTEM VITREOUS CHINA. 1.1 GPF [4.2 LPF] OR GREATER HIGH EFFICIENCY WALL HUNG TOILET WITH SIPHON JET FLUSHING ACTION, ZURNSHIELDTM CERAMIC GLAZE AND ELONGATED FRONT RIM WITH 1-1/2" TOP SPUD. UNIVERSAL HIGH , 1.1 GALLONS PER FLUSH. ZURN ZTR6200 EXPOSED, QUIET PISTON-TYPE, CHROME PLATED FLUSHOMETER VALVE WITH A POLISHED EXTERIOR. COMPLETE WITH CHLORAMINE RESISTANT, FILTERED PISTON KIT. THE VALVE INCORPORATES A BATTERY POWERED SOLENOID ACTUATOR, AUTOMATIC SENSOR WITH MANUAL OVERRIDE PUSH BUTTON, AND ROBUST VANDAL RESISTANT METAL COVER WITH 10 DEGREE ANGLED SENSOR. ZURN Z6956SS-AM , 1" HIGH, IS AN ELONGATED, EXTRA HEAVY DUTY, PREMIUM WHITE, OPEN FRONT TOILET SEAT WITH LESS COVER AND STAINLESS STEEL CHECK HINGE.REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHT.
LAVATORY	P-2	ADA ACCESSIBLE LAVATORY	1½"	1½"	½"	½"	ZURN Z5341 WALL-MOUNTED CONCEALED CARRIER ARM LAVATORY – SINGLE HOLE 20" X 18" VITREOUS CHINA WALL-MOUNTED LAVATORY WITH SINGLE FAUCET HOLE. PROVIDED WITH HANGER PLATE AND HOLES FOR CONCEALED ARM CARRIER SYSTEMS, FRONT OVERFLOW. ZURN Z6950-XL-S-F ZURN HYDRO-X POWER SENSOR FAUCETS. CHROME-PLATED CAST BRASS SENSOR FAUCET WITH INFRARED PROXIMITY SENSOR. A STANDARD 0.5 GPM FLOW CONTROL AND MOUNTING HARDWARE. ZURN P6900-TMV-1-XL THERMOSTATIC LEAD FREE VALVE MEETS ASSE 1070. ZURN Z8746-PC, CHROME PLATED CAST BRASS OPEN GRID DRAIN STRAINER, AND CHROME PLATED CAST BRASS ELBOW. FURNISHED WITH 1-1/4 17 GAUGE CHROME PLATED TUBULAR BRASS OFFSET TAILPIECE FOR SINK DEPTH TO 2-1/2. ZURN Z8700-PC TO Z8708-PC. CHROME-PLATED CAST BRASS (COPPER ALLOY) BODY P-TRAP WITH CLEANOUT, TUBULAR BRASS WALL BEND AS SPECIFIED, DIE-CAST NUTS, AND SHALLOW ESCUTCHEON WITH COMPRESSION INLET. ZURN Z8800-XL-LR-PC TO Z8809-XL-LRLK-PC TWO ZURN CHROME PLATED, SOLID BRASS ANGLE STOPS WITH ROUND WHEEL HANDLES OR LOOSE KEY AS SPECIFIED, TWO 12" FLEXIBLE CHROME PLATED COPPER LAVATORY RISERS COMPLETE WITH TWO CHROME PLATED STEEL FLANGES. Z8808-XL-LR-PC TO Z8809-XL-LRLK-PC INCLUDE 5"[127MM] CHROME PLATED COPPER EXTENSION TUBES AND DEEP BELL STEEL FLANGES. TRUEBRO MODEL 2018-AS-L LAV SHIELD ENCLOSURE. ZURN Z1231 LAVATORY SUPPORT SYSTEM WITH CONCEALED ARMS, COMPLETE WITH DURA-COATED RECTANGULAR STEEL UPRIGHTS WITH WELDED FEET, CAST IRON ADJUSTABLE HEADERS, CONCEALED ARMS, STEEL SLEEVES, ALIGNMENT TRUSS, AND MOUNTING FASTENERS. REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHT.
WALL HYDRANT	P-3	WALL HYDRANT (INTERIOR)	--	--	¾"	--	ZURN Z1321XL EXPOSED, ECOLOTROL, LEAD-FREE, NON-FREEZE AUTOMATIC DRAINING WALL HYDRANT FOR FLUSH INSTALLATION. HYDRANT FEATURES INTEGRAL BACKFLOW PREVENTER WITH ANTI-SIPHON TECHNOLOGY, COPPER CASING, ALL-BRONZE INTERIOR COMPONENTS WITH 1/2 TURN LONG-LIFE CERAMIC DISC CARTRIDGE, COMBINATION 3/4" FEMALE SOLDER AND 3/4" MALE PIPE THREAD INLET CONNECTION, AND 3/4" MALE HOSE CONNECTION. HYDRANT FURNISHED WITH TYPE 304 STAINLESS STEEL FACEPLATE AND INCLUDES OPERATING KEY.
ARRESTOR	P-4	WATER HAMMER ARRESTOR	--	--	¾"	--	OATEY QUIET PIPES HAMMER ARRESTORS SIZE A-F. ARRESTOR CHAMBERS SHAL BE SPECIFICALLY SIZED TO ACCOMMODATE AND DISSIPATE ENERGY GENERATED BY SUCH VALVES AND FAUCETS. ARRESTORS SHALL BE EFFECTIVE WHEN INSTALLED ANY ANGLE. ARRESTOR SHALL BE LEAD-FREE, MADE OF COPPER AND INCLUDE POLYPROPYLENE PISTON WITH TWO NBR O-RINGS. ARRESTORS SHALL BE ANSI/ASSE1010-200 CERTIFIED AND APPROVED FOR INSTALLATION WITH NO ACCESS PANEL REQUIRED. ARRESTOR BODY:COPPER(TYPE K). PISTION:POLYPROPYLENE WITH TWO NBR O-RINGS.PISTON LUBRICATION: DOW CORNING MOLYKOTE 111. FITTINGS AVAILABLE: MALES SWEAT/PRESS,FEMALE CPVC.MIP,F1807 PEX & F1960 PEX(NO LEAD BRASS C46400). TEMPERATURE RANGE:33ºF-180ºF.MAX WORKING PRESSURE: 0-400 Psi. ANSI/ASSE1010-2004/cUPC.PDI WH-201-2017.
FLOOR DRAIN	P-5E	LOW PROFILE ADJUSTABLE FLOOR DRAIN	4"	2"	--	--	ZURN MODEL# Z415B-IP-ZB LOW PROFILE ADJUSTABLE FLOOR DRAIN, RECOMMENDED FOR FINISHED FLOOR AREAS. THE DRAIN IS DESIGNED FOR FOOT TRAFFIC AND LIGHT CART APPLICATIONS. COMPLETE WITH CAST IRON BODY AND ADJUSTABLE NICKEL BRONZE STRAINER ASSEMBLY. FURNISH AND INSTALL WITH J R. SMITH MODEL# 2692-04 QUAD CLOSE TRAP SEAL.
CLEANOUT	P-5B	WALL CLEAN-OUT	3"	--	--	--	ZURN MODEL# Z1441-Z-BP WALL CLEAN-OUT, ROUND STAINLESS STEEL WALL ACCESS COVER COMPLETE WITH SECURING SCREW AND BRONZE RAISED HEX HEAD PLUG. (CLEANOUT SIZE TO MATCH PIPE SIZE)
CLEANOUT	P-5A	FLOOR CLEAN-OUT	3"	--	--	--	ZURN MODEL# ZN1400-BZ1-ZS-UP CLEAN-OUT, DURA-COATED CAST IRON BODY WITH BOTTOM OUTLET, WITH GAS AND WATER TIGHT THREADED ABS TAPERED PLUG, POLISHED STAINLESS STEEL TOP AND VANDAL-PROOF SCREWS. (CLEANOUT SIZE TO MATCH PIPE SIZE)
SINK	P-4E	ADA ACCESSIBLE DROP-IN SINK	1-1/2""	1-1/2"	1/2"	1/2"	ELKAY LUSTERSTONE CLASIC STAINLESS STEEL 25"X22"X5-1/2" SINGLE BOWL DROP-IN ADA SINGLE MODEL# LRAD252255. SINK IS MANUFACTURED FROM 18 GAUGE 304 STAINLESS STEEL W/ SATIN FINISH. REAR CENTER DRAIN PLACEMENT & BOTTOM ONLY PADS. INSTALLATION TYPE: DROP-IN. MATERIAL: 304 STAINLESS STEEL, FINISH: SATIN GAUGE:18. BOWL DIMENSIONS: 21"X15-3/4"X5-1/8". DRAIN SIZE: 3-1/2". DRAIN LOCATION: 5" FROM REAR CENTER. MINIMUM CABINET SIZE: 30". MOUNTING HARDWARE: PART#84099012 INCLUDED FOR COUNTERTOPS UP TO 3/4"THICK. CUTOUT TEMPLATE#: 1000001188. PRODUCT COMPLIANCE: ADA&ICC A117.1, ASME A112.19..3/CSA B45.4. P.C. TO FURNISH & INSTALL ELKAY MODEL# LK35 3-1/2" DRAINING FITTING TYPE 304 STAINLESS STEEL BODY, STRAINER BASKET & TAILPIECE. OVERALL DIMENSIONS ARE 4-7/16"X4-7/16"X7-5/16" MADE OF STAINLESS STEEL. DESIGNED TO FIT 3-1/2" DRAIN OPENING WITH AN OVERALL FLANGE SIZE OF 4-1/2". 1-1/2" O.D. X 4" CHROME PLATED BRASS TAILPIECE. STRAINER BASKET W/ METAL STEM & RUBBER SEAL. TYPE 304 STAINLESS STEEL BODY. POLISHED FINISH. PRODUCT COMPLIANCE: ASME A11.18.2/CA B125.2. F. ELKAY 4" CENTERSET MODEL# LK406LGN08T4 W/ EXPOSED DECK LAMINAR FLOW FAUCET WITH 8" GOOSENECK SPOUT, 4" CHROME WRIST BLADE HANDLES, CHROME PLATED BRASS MATERIAL, WITH A QUARTER TURN CERAMIC DISC VALVE. FAUCET REQUIRES (2) FAUCET HOLES. MOUNTING TYPE: DECK MOUNT. SPECIAL FEATURES: LOW FLOW SOLID BRASS CONSTRUCTION SPOUT SWING RESTRICTION PIN FINISH: CHROME (CR) HANDLE TYPE: 4" WRIST BLADE HANDLE, DECK CLEARANCE: 8-1/2", SPOUT REACH: 8", SPOUT HEIGHT: 14-1/8", HOLE DRILLINGS: 2, MATERIAL: CHROME PLATED BRASS. VALVE TYPE: QUARTER TURN CERAMIC DISC, VALVE CONNECTION: 1/2" NPS MALE, FLOW RATE: 1 GPM, FAUCET HOLE SPREAD: 4, SPOUT TYPE: GOOSENECK.

REV.	DATE	ITEM
1	03/19/2025	BID ADDENDUM No. 4

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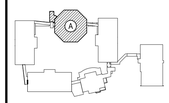

KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

SCHEDULES AND DETAILS

DRAWING BY: JH

CHECK BY: CW

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SED No. 66-01-02-06-0-007-013

DISTRICT: BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT: PHASE 2 - BOND IMPROVEMENTS

DWG TITLE: SCHEDULES AND DETAILS

SCALE: AS NOTED

DATE: APRIL 2024

BID PICK-UP: FEBRUARY 24, 2025

FILE No: 23-131b FLMS

ELECTRICAL CONSTRUCTION NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE N.E.C., APPLICABLE LOCAL CODES, STATE CODES, OWNER'S WORKING RULES AND SCHEDULE DIRECTIVES, AND THE ENGINEER'S SPECIFICATIONS.
2. THE VOLTAGE CHARACTERISTIC OF BUILDING IS 480Y/277V, 3-PHASE, 4-WIRE, GROUNDED NEUTRAL, WYE. ALL EQUIPMENT SHALL BE COMPATIBLE WITH THESE CHARACTERISTICS. VERIFY AND MAINTAIN ALL PHASE ROTATIONS THROUGHOUT THE PROJECT.
3. THE DRAWINGS SCHEMATICALLY SHOW THE APPROXIMATE LOCATION OF ALL EQUIPMENT, CONDUITS, DEVICES, ETC. THE EXACT LOCATION OF WHICH SHALL BE SUBJECT TO APPROVAL BY THE ARCHITECT AND / OR OWNER WHO RESERVES THE RIGHT TO MAKE PRIOR TO INSTALLATION, ANY REASONABLE CHANGES IN LOCATION INDICATED WITHOUT EXTRA COST TO THE OWNER. CONTRACTOR SHALL VERIFY ALL INDICATED OR APPROXIMATED DIMENSIONS DRAWN OR DENOTED.
4. CONTRACTOR SHALL EXAMINE THE SITE TO VERIFY WORK TO BE PERFORMED AS SHOWN ON DRAWINGS AND SPECIFICATIONS BEFORE SUBMITTING HIS BID. ANY DISCREPANCY BETWEEN DRAWINGS AND SPECIFICATIONS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO ARCHITECT / ENGINEERS ATTENTION BEFORE BID SUBMITTAL. ANY FIELD CONDITION FOUND AFTER BID APPROVAL WHICH HAMPERS AND/OR PREVENTS ANY WORK TO BE PERFORMED AS SHOWN ON DRAWINGS AND SPECIFICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BID THE HIGHER SPECIFICATION FOR ANY DISCREPANCY BETWEEN DRAWINGS AND SPECIFICATIONS.
5. CONTRACTOR SHALL PROVIDE ALL LABOR SERVICE MATERIALS, EQUIPMENT, AND RELATED ITEMS TO COMPLETE THE WORK OF THIS DIVISION, AS REQUIRED BY THE NATIONAL ELECTRIC CODE, AND ALL STATE AND LOCAL AUTHORITIES HAVING JURISDICTION.
6. CONTRACTOR SHALL PROVIDE ALL ELECTRICAL HARDWARE SHOWN ON THESE DRAWINGS, RELATED DETAIL AND IS NECESSARY TO COMPLETE THE INSTALLATION.
7. CONTRACTOR SHALL PAY ANY FEES APPLICABLE TO ELECTRICAL WORK, SUCH AS, BUT NOT LIMITED TO, THE POWER COMPANY, TELEPHONE COMPANY, CAT-V, AN APPROVED ELECTRICAL INSPECTION AGENCY, ALARM AND FIRE PROTECTION COMPANIES.
8. CONTRACTOR SHALL REFER TO ALL OTHER DRAWINGS IN BID PACKAGE AND PERFORM THE WORK (INCLUDE IN HIS BID) INDICATED AS ELECTRICAL CONTRACTOR (E.C.) WORK.
9. ALL WORK SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND DIRECTIVES OF THE OWNER.
10. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL OBTAIN AN INSPECTION CERTIFICATE AND PAY ASSOCIATED FEE. SUBMIT A PHOTOCOPY OF THIS CERTIFICATE TO THE ENGINEER WITH FINAL PAYMENT APPLICATION.
11. CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND THEIR INSTALLATION TO BE FREE OF DEFECTS FOR A PERIOD AS DEFINED IN SPECIFICATION SECTION 01700 OF THE PROJECT MANUAL.
12. A COMPLETE SYSTEM OF WIRING, WITH ALL FEEDERS, MAINS, BRANCHES AND CONDUITS AS SHOWN ON THE DRAWINGS, SHALL BE FURNISHED AND INSTALLED FROM THE MAIN DISTRIBUTION BOARD TO THE PANELS OUTLETS, MOTORS, AND APPURTENANCES.
13. PROVIDE IDENTIFICATION FOR ALL PANEL AND MOTOR FEEDER CABLES IN PULL BOXES AND AT TERMINATIONS. ANY CONDUCTOR VOLTAGES HIGHER THAN 240 VOLTS SHALL BE MARKED ON DEVICES AND JUNCTION BOXES.
14. FURNISH AND INSTALL ALL WIRING OF ANY VOLTAGE OR PURPOSE AS SHOWN ON THE DRAWINGS.
15. THE INDICATED SOURCE OF EXISTING CIRCUITS MAY NOT BE KNOWN OR HAS NOT BEEN VERIFIED. IT IS THE DIVISION 16 CONTRACTOR'S RESPONSIBILITY TO TRACE OUT, LOCATE AND VERIFY THE DISCONNECTING MEANS OF EXISTING CIRCUIT(S) TO BE IMPACTED BY THE WORK. SAFE OFF THE CIRCUIT (SO AS REQUIRED TO SAFELY PERFORM THE WORK, AND RE-ENERGIZE UPON COMPLETION. UPDATE PANEL DIRECTORIES UPON COMPLETION.
16. ALL BRANCH CIRCUITS SHALL HAVE INDIVIDUAL NEUTRALS. SHARING COMMON NEUTRALS AMONG BUNDLED CIRCUITS IS SPECIFICALLY DISALLOWED UNLESS OTHERWISE NOTED.
17. PULL / JUNCTION BOXES SHALL BE PROVIDED WHERE INDICATED OR AS OTHERWISE REQUIRED TO FACILITATE THE PROPER INSTALLATION OF WIRES AND CABLES. CONDUITS MAY BE INCREASED IN SIZE FOR CONSTRUCTION CONVENIENCE.
18. FURNISH AND INSTALL ALL DISCONNECT DEVICES AND SAFETY SWITCHES AS SHOWN ON THE DRAWINGS AND / OR AS REQUIRED TO CONFORM WITH CODE REQUIREMENTS.
19. FURNISH AND INSTALL ALL INDICATED LIGHTING FIXTURES COMPLETE WITH MOUNTING HARDWARE AS REQUIRED FOR A COMPLETE INSTALLATION. NOTE ALL LIGHT FIXTURES SHALL BE SUPPORTED FROM BUILDING STRUCTURE. UTILIZING CEILING FRAMING ALONE IS NOT ACCEPTABLE. NEW LIGHTING FIXTURES (OTHER THAN THEATRICAL EQUIPMENT) SHALL NOT BE DAISY CHAINED. RE-USE OF AN EXISTING LIGHTING CIRCUIT INCLUDES HOME RUN WIRING OR WIRING UP TO THE SWITCH. ANY WIRING DOWNSTREAM OF THE SWITCH IS SUBJECT TO REMOVAL/REARRANGEMENT. ELECTRICAL CONTRACTOR SHALL ALLOW FOR THIS IN THE BID PRICE.
20. NEW CIRCUIT BREAKERS INSTALLED IN EXISTING PANELBOARD(S) SHALL BE LISTED/LABELED FOR USE WITH THE EXISTING PANELBOARD(S) AND SHALL MEET OR EXCEED THE INTERRUPTING RATING OF THE PANEL.
21. CONTRACTOR SHALL REFER TO ALL FURNITURE DRAWINGS BEFORE INSTALLING RECEPTACLES. THE MOUNTING HEIGHT OF THE RECEPTACLES IS 18" ABOVE FINISHED FLOOR UNLESS INDICATED ON THE DRAWING. COLOR, TYPE & FINISH OF ALL RECEPTACLES, DEVICES & FACE PLATES SHALL BE AS APPROVED BY ENGINEER AND ARCHITECT. CONTRACTOR SHALL PROVIDE & WIRE WEATHERPROOF GFCI RECEPTACLES ON ALL APPLICABLE ROOFTOP UNITS AS PART OF HIS BID. SEE MECHANICAL EQUIPMENT SCHEDULES FOR UNITS WITH SERVICE RECEPTACLES FACTORY INSTALLED.
22. ALL WIRING TO BE 1 #12 + 1 #12(N) + 1 #12(G) - 3/4"C, OR STEEL JACKETED MC CABLE (WHERE CODE PERMITTED). ALUMINUM JACKETED MC CABLE IS NOT ACCEPTABLE.
23. UNLESS OTHERWISE SPECIFIED ON DRAWINGS, RUN BRANCH CIRCUITS IN DROPPED CEILINGS, VOIDS, CHASES, FLOOR BELOW AND BEHIND WALLS. ALL DEVICES & CONDUITS ON NEW CONSTRUCTION MUST BE RECESSED. CONDUITS MAY BE SURFACE MOUNTED IN MECHANICAL SPACES UNLESS OTHERWISE NOTED. CONDUITS IN PUBLIC AREAS SHALL BE CONCEALED IN HUNG CEILINGS, EMBEDDED IN SLAB OR MASONRY WALLS, EXCEPT WHERE SURFACE MOUNTED RACEWAY IS SPECIFIED. ALL WIRING THAT CANNOT BE CONCEALED IN MUST BE RUN IN FINISHED SURFACE RACEWAY SUCH AS WIREMOLD, COLOR PER ARCHITECT.
24. ALL CONNECTIONS AND / OR SPLICES SHALL BE MADE ONLY IN ACCESSIBLE JUNCTION BOXES.
25. ALL COUPLINGS AND CONNECTORS FOR USE WITH EMT SHALL BE COMPRESSION TYPE. SET SCREW TYPE OR INDENT TYPE FITTINGS WILL NOT BE ACCEPTED.
26. ALL PENETRATIONS TO BUILDING EXTERIOR SHALL BE SEALED WATERTIGHT. ROOF PENETRATIONS SHALL BE MADE VIA APPROVED PITCH POCKETS OR PIPE PORTALS AND IN ACCORDANCE WITH EXISTING ROOF WARRANTIES.
27. WIRING INSTALLED IN CEILINGS SHALL BE HUNG INDEPENDENT OF CEILING SYSTEM AND SECURELY TIED TO BUILDING STEEL.
28. ALL LOW VOLTAGE (FIRE ALARM, PA INTERCOM, PHONE, DATA, ETC.) WIRING INSTALLED IN OPEN AREAS SHALL BE IN METALLIC RACEWAY IN MECHANICAL AREAS, GYMNASIUMS, ART ROOMS, STOREROOMS, ETC., AND IN SURFACE MOUNTED RACEWAY IN PUBLIC AREAS. LOW VOLTAGE WIRE INSTALLED IN DROPPED CEILINGS SHALL BE BUNDLED TOGETHER AND SUPPORTED BY BUILDING STEEL. LOW VOLTAGE WIRE SHALL NOT BE SUPPORTED WITH BRANCH CIRCUITS OR FEEDER CIRCUITS AND SHALL NOT BE SUPPORTED BY CONDUIT, PIPES, ETC.. LOW VOLTAGE WIRING NOT INSTALLED IN CONDUITS, SHALL BE PLENUM RATED.
29. FURNISH AND INSTALL ALL HARDWARE TO PROPERLY SUPPORT ALL CONDUITS NOT INSTALLED IN CONCRETE SLABS OR UNDERGROUND.
30. ALL CONDUITS OR MC CABLE SHALL BE EQUIPPED WITH AN INSULATING/CHAFE GUARD GROMMET AT WIRE EXIT/ENTRANCE. MC CABLE SHALL USE MC STYLE BUSHINGS. BX OR OTHER BUSHINGS ARE SPECIFICALLY DISALLOWED.
31. WHERE AN EXISTING CONDUIT OR CABLE IS REQUIRED TO BE REMOVED BUT SERVES AND EXISTING PIECE OF EQUIPMENT WHICH IS TO REMAIN OPERABLE, THE ELECTRICAL CONTRACTOR SHALL REROUTE SAID CONDUIT OR CABLE OR PROVIDE A NEW SOURCE OF POWER (APPROVED BY ENGINEERING) TO THIS EQUIPMENT AS A PART OF THIS CONTRACT.
32. ALL PANELS, SWITCHES, DISCONNECT STARTERS, OR OTHER ELECTRIC SYSTEM CONTROLS SHALL BE STENCILED WITH THEIR APPROPRIATE DESIGNATION/FUNCTION. ALL CIRCUIT BREAKERS SHALL BE IDENTIFIED BY A PANEL SCHEDULE OR STENCIL ADJACENT TO THE CIRCUIT BREAKER. PROVIDE PRINT PANEL SCHEDULE. HAND WRITING NOT ALLOWED.
33. ALL CIRCUIT BREAKERS POSITIONS IN ALL PANELS ARE SHOWN FOR GROUPING PURPOSES ONLY. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR LOAD BALANCING.
34. ALL DEVICES SHALL BE FASTENED IN PLACE SECURELY.
35. WORK WHICH MUST BE DONE IN OCCUPIED AREAS SHALL BE DONE AT SUCH TIMES AS INDICATED IN THE PHASING OF CONSTRUCTION AND AS APPROVED BY THE OWNER. OUTAGES ARE ONLY PERMITTED OUTSIDE OF NORMAL BUSINESS HOURS. COORDINATE WITH OWNER. INCLUDE ALL PREMIUM TIME IN BID.
36. WHERE THE CONTRACTOR IS INSTRUCTED TO PROVIDE, INSTALL AND WIRE CIRCUIT BREAKER(S) TO AN EXISTING PANEL AND THAT PANEL DOES NOT HAVE THE ROOM TO INSTALL REQUIRED CIRCUIT BREAKERS, THE CONTRACTOR SHALL REMOVE (3) ADJACENT 1P CIRCUIT BREAKERS AND PROVIDE A 3P, 60A CIRCUIT BREAKER IN THEIR PLACE FOR SUB FEED TO A SURFACE MOUNTED 1OOA, 3P, 4W, 24 POLE SUB PANEL AND ESTABLISH OVERFLOW CIRCUITS IN NEW SUB PANEL, EACH WITH REQUIRED CIRCUIT BREAKERS. PROVIDE (3) 1P, AMPERAGE AS BEFORE CIRCUIT BREAKERS FOR DISCONNECTED CIRCUITS IN MAIN PANEL AND RECONNECT THEM IN SUB PANEL. SUB PANEL FEED TO BE 3 #6 + 1 #6(N) + 1 #10(G) - 1"C.
37. ALL DEVICES ADDRESSED BY ADA REGULATIONS SHALL BE INSTALLED AT ADA COMPLIANT HEIGHTS AND LOCATIONS.
38. REMOVAL OF ELECTRICAL ITEMS INCLUDES THEIR DISPOSAL. THE EXCEPTION WILL BE TO TURN OVER TO THE OWNER ITEMS, IF ANY, THEY SPECIFY TO BE RETAINED IN THEIR INVENTORY. PCB OR ASBESTOS BEARING MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH LAWS AND REGULATIONS.
39. UNLESS OTHERWISE NOTED, STARTERS AND DISCONNECTS FOR MECHANICAL EQUIPMENT SHALL BE FURNISHED BY THE MECHANICAL CONTRACTOR. COORDINATE WITH THE MECHANICAL CONTRACTOR FOR ALL POWERED MECHANICAL EQUIPMENT. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO INSTALL ALL MOTOR STARTERS AND ASSOCIATED POWER WIRING FROM SOURCE TO UNIT VIA STARTERS AND DISCONNECTS. THE LOCATIONS OF MOTOR STARTERS SHALL BE DETERMINED BY THE MECHANICAL CONTRACTOR IN THE FIELD AND SUBMITTED TO THE ENGINEER FOR APPROVAL UNLESS IT IS SPECIFIED ON THE DRAWINGS. THE ELECTRICAL CONTRACTOR SHALL REFER TO THE MECHANICAL DRAWINGS, EQUIPMENT SCHEDULES AND NOTES AND INCLUDE IN HIS BID PRICE ALL ELECTRICAL WORK ASSOCIATED WITH THEIR INSTALLATION, AND THE REMOVAL OF ANY STARTERS / DISCONNECTS NO LONGER REQUIRED.
40. PROVIDE PROTECTIVE DUST COVERS ON SMOKE DETECTORS IN CONSTRUCTION AREAS. REMOVE COVERS UPON COMPLETION OF WORK.
41. ANY LIGHT FIXTURES INSTALLED IN GYMNASIUMS OR OTHER AREAS SUBJECT TO IMPACT OR PHYSICAL DAMAGE SHALL BE MOUNTED WITH SAFETY CHAINS AND SECURED TO STRUCTURE. INCLUDE PROTECTIVE WIRE GUARD OVER FIXTURES.
42. PROVIDE ALL WIRING, PANEL BOARDS, SWITCHES, FUSES, EQUIPMENT, AND ALL INCIDENTAL MATERIALS REQUIRED TO SUPPLY TEMPORARY AND PERMANENT ELECTRICAL NEEDS FOR THE WORK INVOLVED, ALL IN ACCORDANCE WITH OSHA, LOCAL, STATE AND UNDERWRITERS REQUIREMENTS.

FIRE STOP NOTES

1. ALL CONDUIT AND CABLE PENETRATIONS THROUGH FIRE RATED WALLS, FLOORS OR OTHER STRUCTURES SHALL BE FIRE STOPPED.
2. THE FIRE STOP MATERIALS SHALL BE HILTI TYPE FS-657 FIRE BLOCK, FS-ONE SEALANT, CP-672 JOINT SPRAY, CP-601S ELASTOMERIC SEALANT, 6P-606 FLEXIBLE SEALANT, CP-643 OR CP-642 COLLAR, CP-618 PUTTY STICK, OR FS-635 TROWEL ABLE COMPOUND, AS SUITABLE.
3. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF PRODUCTS SPECIFIED OR EQUAL.
4. FIRE STOP MATERIALS OTHER THAN HILTI SHALL INCLUDE FULL TECHNICAL DATA WITH SHOP DRAWINGS TO DEMONSTRATE EQUALITY WITH THE SPECIFIED FIRE STOPS AND STATEMENT FROM MANUFACTURER THAT THEY MEET OR EXCEED THE PRODUCTS SPECIFIED HERE.
5. ALL SYSTEMS SHALL HAVE THEIR OWN SLEEVE THROUGH FIRE RATED WALLS. IE FIRE ALARM, PUBLIC ADDRESS, TELEPHONE, DATA, POWER AND LIGHTING.

DEMOLITION NOTES

1. THE ITEMS SPECIFICALLY SHOWN ON THE DEMOLITION DRAWINGS ARE TO BE ADDRESSED BY THE ELECTRICAL CONTRACTOR. THE ITEMS ARE TO BE TREATED AS NOTED AND RANGE FROM DIRECT REMOVAL AND DISPOSAL TO REMOVAL, STORAGE AND REINSTALLATION
2. MANY OTHER ELECTRIC ITEMS EXIST THAT ARE NOT SHOWN INCLUDING, BUT ARE NOT LIMITED TO, SWITCHES, RECEPTACLES, FLOOR OUTLETS, LOW VOLTAGE JACKS, LOW VOLTAGE DEVICES AND WIRING, TELEPHONE PUNCH DOWN BLOCKS, AND OUT OF SERVICE ITEMS. ALL SUCH ITEMS SHALL BE PERMANENTLY DE-ENERGIZED, DISCONNECTED, AND OTHERWISE MADE SAFE FOR DEMOLITION BY NON-ELECTRICAL CONTRACTORS. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL ELECTRIC DEVICES SCHEDULED FOR DEMOLITION, OF ANY VOLTAGE OR FUNCTION, ARE SAFE AND ADVISE THE OTHER CONTRACTORS.
3. AFTER THE ELECTRICAL CONTRACTOR HAS DISCONNECTED ELECTRIC SUPPLIES TO ITEMS TO BE DEMOLISHED, HE SHALL ADVISE THE GENERAL CONTRACTOR OF ANY ELECTRIC ITEMS TO BE RETAINED FOR FUTURE USE AND THEREFORE NOT TO BE DEMOLISHED. THE GENERAL CONTRACTOR SHALL THEN PERFORM ALL WORK ZONE DEMOLITION. THIS MATTER APPLIES TO ALL ELECTRIC ITEMS, OF ANY VOLTAGE OR PURPOSE.
4. THE SPECIAL/SPECIFIC ITEMS SHOWN ON THE DRAWING FOR ELECTRICAL CONTRACTOR TO ACT ON WERE FOUND BY SURVEY. NUMEROUS LOCATIONS WERE BLOCKED BY FURNITURE, ETC. AND ADDITIONAL EQUAL TYPE ITEMS MAY BE PRESENT. THE ELECTRICAL CONTRACTOR SHALL ALLOW FOR THIS IN HIS BID PRICE AND ATTEND TO THOSE EQUAL OR SIMILAR DEVICES AS MAY BE DISCOVERED.
5. REMOVAL ITEMS THAT ARE LISTED AS TO BE TURNED OVER TO OWNER'S INVENTORY SHALL BE DISCUSSED WITH THE OWNERS BUILDINGS AND GROUNDS MANAGER. THOSE ITEMS THAT THE OWNER DECLINES SHALL THEN BE DISPOSED OF BY THE CONTRACTOR IN THE MANNER OF OTHER PERMANENT REMOVALS. ANY PCB BEARING FLUORESCENT FIXTURES SHALL BE DISPOSED OF PER REGULATIONS.
6. RETAIN EXISTING RECEPTACLES IN WALLS THAT WILL NOT BE IN CONFLICT WITH NEW CONSTRUCTION. RETAIN LIGHT SWITCH LOCATIONS THAT WILL NOT BE IN CONFLICT WITH NEW CONSTRUCTION. INSTALL BLANKING PLATE COVERS OVER THE UNUSED PORTION OF GANG BOXES HAVING MORE GANG POSITIONS THAN NEEDED FOR NEW SWITCHES.
7. LIGHT FIXTURES ARE TO BE REMOVED AS GENERAL, NON ELECTRIC, CONTRACTOR DEMOLITION U.O.N. ELECTRICAL CONTRACTOR IS RESPONSIBLE TO SAFE OFF LIGHTING CIRCUITS FOR REMOVAL BY OTHERS. NO SPECIFIC QUANTITIES OR LOCATIONS ARE SHOWN. RETURN WHATEVER QUANTITY, IF ANY, OF THESE TO OWNER'S INVENTORY IF HE SO SPECIFIES OR THEY ARE OTHERWISE TO BE DISPOSED OF. ELECTRICAL CONTRACTOR SHALL EXAMINE FIXTURES FOR PRESENCE OF PCB'S AND SPECIAL DISPOSAL.
8. THE ELECTRICAL CONTRACTOR SHALL COVER ALL BACK BOXES IN THE WALL THAT BECOME EXPOSED DUE TO DEVICE REMOVALS. THIS INSTRUCTION ALSO APPLIES TO EXPOSED ELECTRICAL BACK BOXES AS MAY EXIST AT THE SITE PRIOR TO THIS PROJECT. THE COVER SHALL BE BRUSHED ALUMINUM WITH CHAMFERED EDGES AND COVER THE HOLE COMPLETELY WITH AT LEAST 3/4" EXTRA MARGIN ON ALL SIDES. MOUNT THE COVER WITH SCREWS TO MATCH THE ORIGINAL PATTERN.
9. IT IS EXPECTED THAT STRUCTURAL DEMOLITION BY THE GENERAL CONTRACTOR WILL CAUSE VARIOUS ELECTRIC SUPPLIES, OF VARIOUS VOLTAGES AND PURPOSES, TO BE CUT AND RENDER SOME DEVICES TEMPORARILY INACTIVE. IT IS THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO RECONSTRUCT AND RECONNECT SUCH ELECTRIC SOURCES WHEN THE NEW STRUCTURE IS BUILT. NOTE THAT MOST REINSTALLED ITEMS WILL BE IN DIFFERENT LOCATIONS FROM THE REMOVAL LOCATION. THE ELECTRICAL CONTRACTOR SHALL MAKE ALL REQUIRED CIRCUIT EXTENSIONS OR MODIFICATIONS TO PROVIDE SERVICE TO A REINSTALLED ITEM AS RELOCATED. PROVIDE ALL REQUIRED CIRCUIT EXTENSIONS AS REQUIRED TO RESTORE SERVICE TO DEVICES. NOTE THAT THIS REQUIREMENT ALSO APPLIES TO THE ROOMS AND ELECTRICAL ITEMS WITHIN THAT ARE NOMINALLY NOT IN CONTRACT. SUCH RESTORATION OF SERVICE, IF NEEDED, IS SPECIFICALLY IN THE ELECTRICAL CONTRACTOR'S CONTRACT.
10. IT SHALL BE THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL ELECTRICAL DEVICES, FROM DAMAGES DURING CONSTRUCTION, WHICH ARE EITHER INDICATED TO REMAIN, AND/OR TO BE REMOVED AND REINSTALLED THROUGHOUT ALL CONSTRUCTION AREAS. DEVICES SHALL INCLUDE BUT WILL NOT BE LIMITED TO: SMOKE DETECTORS, EMERGENCY LIGHTS, EXIT SIGNS, OCCUPANCY SENSORS, SPEAKERS, LIGHT FIXTURES, SWITCHES, RECEPTACLE, ETC. IN THE EVENT OF DAMAGES INCURRED DUE TO CONSTRUCTION ACTIVITIES, THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE ANY DAMAGED DEVICES AT NO ADDITIONAL COST TO THE OWNER.
11. ALL SYSTEMS ASSOCIATED WITH THE DEVICES SCHEDULED TO BE REMOVED, STORED AND PROTECTED SHALL BE TESTED BY THE MANUFACTURER'S CERTIFIED TESTING VENDOR PRIOR TO ANY DEMOLITION ACTIVITY. ANY DEVICE WHICH FAILS THE TEST SHALL BE REPLACED WITH A FORM, FIT AND FUNCTION COMPONENT PER UNIT PRICES, AND SUCH DEVICES ARE NOT INCLUDED IN THIS RESPONSIBILITY STATEMENT, BUT ALSO SUCH INSTALLATION SHALL BE IN THE ELECTRICAL CONTRACTOR'S BASE BID. THE ELECTRICAL CONTRACTOR SHALL RE-TEST ALL SUCH SYSTEM COMPONENTS BY A MANUFACTURER CERTIFIED TESTING VENDOR OF SUCH SYSTEM OF ALL PREVIOUSLY TESTED SYSTEM COMPONENTS AFTER ALL WORK BY ALL TRADES HAS BEEN COMPLETED, AND ALL SYSTEM COMPONENTS HAVE BEEN INSTALLED. ANY COMPONENT WHICH FAILS SHALL BE REPLACED, AND PROGRAMMED IF NECESSARY BY THE ELECTRICAL CONTRACTOR. ALL SUCH REPLACEMENT AND PROGRAMMING COSTS SHALL BE ELECTRICAL CONTRACTOR'S RESPONSIBILITY. ALL COSTS ASSOCIATED WITH THE TESTING OF AFFECTED SYSTEM SUCH AS BUT NOT LIMITED TO FIRE ALARM, PUBLIC ADDRESS, INTERCOM, TELEPHONE, AND SECURITY SYSTEMS SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. ALL EQUIPMENT, DEVICES, WIRING AND THEIR ASSOCIATED MATERIAL SPECIFIED TO REMAIN, WHICH IS NOT STORED AND PROTECTED, SHALL BE PROTECTED DURING THE DEMOLITION ACTIVITIES, AND ALL TRADES SHALL BE INFORMED OF SUCH COMPONENTS. ANY OF SUCH COMPONENTS WHICH BECOME DAMAGED DURING DEMOLITION SHALL BE REPLACED FORM, FIT AND FUNCTION BY THE ELECTRICAL CONTRACTOR AT HIS EXPENSE.

TEMPORARY POWER CONSTRUCTION NOTES

1. THE ELECTRICAL CONTRACTOR SHALL PROVIDE TEMPORARY POWER AND LIGHT IN THE CONSTRUCTION AREAS OF THE PROJECT.
2. ALL TEMPORARY POWER PANELS AND FUSED SWITCHES OUTSIDE SHALL BE NEMA 3R CONSTRUCTION AND LOCKABLE. ALL OUTSIDE RECEPTACLES SHALL BE WATERPROOF AND HAVE A COVER THAT ENCLOSES THE PLUGGED IN CORDS WHILE IN SERVICE AS INTERMATIC WP120C. NON-WATERPROOF GEAR IN A HOUSING IS NOT ACCEPTABLE.
3. ALL RECEPTACLES SHALL BE GFCI PROTECTED AND MOUNTED 3'-0" ABOVE FINISHED FLOOR. PROVIDE WORK BLOCKING AS REQUIRED. ALL RECEPTACLES OUTLETS SHALL BE 2 GANG DOUBLE DUPLEX.
4. TEMPORARY LIGHTING SHALL BE CONSTRUCTED OF SINGLE AND DOUBLE 100 WATT CLEAR INCANDESCENT LAMPS, OR EQUIVALENT, AND WATERPROOF RUBBER SOCKETS, SPLICED WITH WATERPROOF CONNECTORS ON FESTOONED ROMEX-TYPE WIRE. ADEQUACY OF ALL TEMPORARY LIGHTING CONFIGURATIONS SHALL BE AS DETERMINED BY THE CONSTRUCTION MANAGER. PRE ASSEMBLED TEMPORARY LIGHTING IS DISALLOWED. TAPS AND SPLICES SHALL BE MADE WITH SCOTCH LOCK CONNECTORS, RUBBER TAPE, AND THEM PVC COATED. THE CONNECTORS SHALL BE FILLED WITH PENETROX. A PLASTIC SHAPE ON CAGE/GUARD SHALL PROTECT EACH SOCKET AND LAMP. NOMINAL SPACING BETWEEN LAMP CLUSTER IS 16 FEET. MOUNT LIGHTS EIGHT FEET ABOVE FINISHED FLOOR IN TYPICAL LOCATIONS AND 10 FEET ABOVE FINISHED FLOOR IN CORRIDOR. PROVIDE NIGHT LIGHTING CIRCUIT, WHICH SHALL OPERATE CONTINUOUSLY. ALL LAMPS SHALL BE 130 VOLT, ROUGH SERVICE RATED. TEMPORARY LIGHTS SHALL BE TO OSHA STANDARDS. ALTERNATE FIXTURES SHALL BE 400W CONSTRUCTION SITE STYLE
5. WIRING SHALL BE 1#12+1#12(N)+1#12(G) ROMEX STYLE. CIRCUITS SHALL BE OPERATED A MAXIMUM OF 15 AMPS OR 1800 WATTS (18 100 WATT LAMPS), SWITCHING SHALL BE DONE VIA THE SWITCH RATED 20A, 10 CIRCUIT BREAKERS. SEGREGATE THE NIGHT LIGHTS AND RECEPTACLES IN THE LOWER PART OF THE POWER PANELS AND LABEL THESE "DO NOT TURN OFF" . CIRCUIT HOME RUNS CONDUCTORS SHALL INCREASE ONE WIRE SIZE EVERY 100 FEET I.E. #10 CONDUCTORS. WIRING WITHIN THE ROOM AREA SHALL BE MADE WITH #12 CONDUCTORS.
6. THE ELECTRICAL CONTRACTOR SHALL PREPARE EACH PANEL SCHEDULE.
7. A LENGTH OF GREENFIELD FLEX CONDUIT AT PINCH POINTS SHALL PROTECT ALL WIRE, SUCH AS WHERE WIRING PASSED THROUGH A DOORWAY. WIRING SHALL BE SUPPORTED FROM ANCHORS INSTALLED BY THE ELECTRICAL CONTRACTOR FOR THE PURPOSE OF ATTACHMENT TO PROJECT. ALL ELECTRICAL HARDWARE SHALL BE NEW FOR THIS PROJECT.
8. ALL WIRING SHALL BE INSTALLED SO AS NOT TO CAUSE TRIPPING HAZARD OR SIMILAR OBSTRUCTION.
9. POWER PANELS SHALL BE EQUIPPED WITH 42 1P, 20A CIRCUIT BREAKERS AND ALL CIRCUIT BREAKERS NOT IN SERVICE SHALL BE LABELED SPARE. AT THE OWNERS OPTION PANEL AND CIRCUIT BREAKERS SHALL BE TURNED OVER TO OWNERS INVENTORY AT CONCLUSION OF THE PROJECT. ALL ELECTRICAL HARDWARE SHALL BE NEW FOR THIS PROJECT.
10. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF TEMPORARY LIGHTING AND POWER SYSTEMS DURING, AND AFTER INSTALLATION, UP TO THE TIME OF BENEFICIAL OCCUPANCY, AND TIME OF REMOVAL. REPAIRS SHALL BE MADE WITHIN 24 HOURS OF THE REPORTED OUTAGE, OR AS DIRECTED BY THE CONSTRUCTION MANAGER. ELECTRICAL CONTRACTOR SHALL COMMENCE WORK ON THIS PROJECT WITH A GROSS OF SPARE CONSTRUCTION BULBS AT HIS IMMEDIATE DISPOSAL.
11. REMOVAL OF THE TEMPORARY POWER AND LIGHTING SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR WHEN THE PROJECT IS COMPLETE. ALL EQUIPMENT, WIRING SUPPORTS, CONNECTORS, ETC. SHALL BE REMOVED FROM OWNER'S PROPERTY AFTER PROJECT IS COMPLETE. INCLUDE STATEMENT OF REMOVAL WITHIN CLOSE OUT DOCUMENTS, REQUIRED FOR FINAL PAYMENT.

EXISTING FIRE ALARM SYSTEM NOTES

1. ELECTRICAL CONTRACTOR SHALL EXTEND THE EXISTING 'SIEMENS' SYSTEM TO PROVIDE COVERAGE FOR THE NEW AREAS AND/OR DEVICES AND INTEGRATE THEM INTO THE SYSTEM. PROVIDE NEW UPDATED AND LEGIBLE GRAPHIC MAPS AT EACH LOCATION. THE MAPS SHALL BE PROTECTED FROM DAMAGE: FRAMED AND SHIELDED WITH TRANSPARENT SHATTERPROOF COVERS. NEW DEVICES SHALL BE COMPATIBLE WITH THE EXISTING FIRE ALARM PANEL WHICH IS TO REMAIN. ALL NEW DEVICES SHALL BE INSTALLED PER ADA REQUIREMENTS AND FULLY INTEGRATED INTO THE SYSTEM. THE CONTRACTOR SHALL PROVIDE THE ITEMS ON THE DRAWING AND ALL RELATED EXPANSION, ADAPTIVE, AND CONNECTING WIRING, REPROGRAMMING AND DEVICES FOR A FULLY FUNCTIONING SYSTEM.
2. PRIOR TO PERFORMING ANY WORK ON THE SYSTEM, THE ELECTRICAL CONTRACTOR SHALL PERFORM A COMPLETE TEST OF THE SYSTEM IN THE PRESENCE THE OWNER'S REPRESENTATIVE TO ASCERTAIN AND NOTE ANY PRE-EXISTING DEFICIENCIES. ANY CORRECTIVE ACTION WILL BE AS DIRECTED BY THE OWNER WILL BE ON CHANGE ORDER BASIS. ELECTRICIAN WILL MARK-UP THE RESULTS OF THEIR PRE-CONSTRUCTION SURVEY ON FLOOR PLANS AND SUBMIT TO THE CM BEFORE WORK STARTS
3. ALL FIRE ALARM WORK SHALL BE PERFORMED BY MANUFACTURER CERTIFIED TECHNICIANS.
4. ELECTRICAL CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND APPROVALS FOR THIS PROJECT AND PAY RELATED FEES. HE SHALL SUBMIT SHOP DRAWINGS ON ALL HARDWARE. THE SHOP DRAWINGS SHALL CONTAIN A SYSTEM RISER DIAGRAM.
5. ELECTRICAL CONTRACTOR TO PROTECT OR TEMPORARILY DISCONNECT / RECONNECT EXISTING FIRE ALARM DEVICES TO ACCOMMODATE NEW CONSTRUCTION AS REQUIRED. COORDINATE WITH GENERAL CONTRACTOR. WHERE PLANS CALL FOR EXISTING DEVICE TO BE RELOCATED, EXTEND WIRING AS REQUIRED.
6. ALL NEW FIRE ALARM DEVICES SHALL BE OF THE SAME MANUFACTURER AND COMPATIBLE WITH THE FIRE ALARM PANEL.
7. PROVIDE ADAPTIVE HARDWARE TO POWER THE SPEAKER STROBES, STROBES AND MAGNETIC DOOR HOLDERS.
8. ALL WORK SHALL BE IN ACCORDANCE WITH SYSTEM MANUFACTURER SPECIFICATIONS, LATEST EDITION OF NEC, NFPA 72, ANY LOCAL, STATE CODES, AND ENGINEERING SPECIFICATIONS.
9. ALL WIRING SHALL BE AS SPECIFIED BY SYSTEM MANUFACTURER AND PLENUM RATED.
10. ELECTRICAL CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EQUIPMENT, SYSTEM MODULES, POWER SUPPLIES ETC. NEEDED TO HAVE A COMPLETE AND OPERATIONAL SYSTEM. PROVIDE NEW REMOTE ANNUNCIATOR PANEL(S) WHERE INDICATED INCLUDING UPDATED GRAPHIC MAPS. UPDATED MAPS SHALL ALSO INDICATE THE LOCATIONS OF ALL AREA OF RESCUE ASSISTANCE (REFUGE) CALL STATIONS. SUBMIT PROPOSED MAPS FOR APPROVAL.
11. THE ELECTRICAL CONTRACTOR SHALL FIELD SELECT THE PROPER OUTPUT SETTINGS OF FIRE ALARM HORNS AND STROBES TO MEET THE MINIMUM CODE PERFORMANCE REQUIREMENTS TO SUIT THE AREAS BEING SERVED.
12. PROVIDE AS-BUILT DRAWINGS AND COPY OF UPDATED SITE SPECIFIC SYSTEM SOFTWARE INCLUDING PASSWORDS TO THE OWNER AT NO ADDITIONAL CHARGE.
13. ALL NEW MAGNETIC DOOR HOLDERS ARE TO BE WIRED AT 24V. WHEN REPLACING AN EXISTING MAGNETIC DOOR HOLDER, THE CONTRACTOR SHALL MATCH EXISTING VOLTAGE.
14. CONTRACTOR TO ENSURE ALL POINTS ARE PROPERLY ENROLLED IN THE SYSTEM AND OLD POINTS NOT LONGER IN USE ARE REMOVED. PROVIDE CERTIFICATION AS PART OF CLOSEOUT DOCUMENTS.
15. WHERE NOT EXISTING, PROVIDE SYSTEM RECORD DOCUMENT CABINET ADJACENT TO FACP TO HOUSE SYSTEM RECORD DOCUMENTS AND ELECTRONIC MEDIA AS PER NFPA 72 AND PROJECT SPECIFICATIONS. PROVIDE LOCKING CABINET BY SPACE AGE ELECTRONICS #SU00691 W/ LOCK OR EQUAL.
16. THE ELECTRICAL CONTRACTOR SHALL SUBMIT COMPLETED NFPA 72 "SYSTEM RECORD OF COMPLETION" FORMS PLUS ANY APPLICABLE SUPPLEMENT DOCUMENTS WITH REGARD TO SYSTEM MODIFICATIONS AS PART OF PROJECT CLOSEOUT DOCUMENTS PRIOR TO APPLICATION FOR FINAL PAYMENT. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

EXISTING PUBLIC ADDRESS SYSTEM NOTES

1. ELECTRICAL CONTRACTOR SHALL EXTEND THE EXISTING PUBLIC ADDRESS COMMUNICATIONS SYSTEM ('TELECENTER') LOCATED IN MAIN OFFICE TO PROVIDE COVERAGE FOR THE NEW/RENOVATED AREAS AND INTEGRATE THEM INTO THE EXISTING SYSTEM. ALL DEVICES SHALL BE INSTALLED PER ADA AND MANUFACTURER REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE THE ITEMS ON THE DRAWING AND ALL RELATED EXPANSION, ADAPTIVE, AND CONNECTING WIRING AND DEVICES FOR A FULLY FUNCTIONING SYSTEM.
2. PRIOR TO PERFORMING ANY WORK ON THE SYSTEM, THE ELECTRICAL CONTRACTOR SHALL PERFORM A COMPLETE TEST OF THE SYSTEM IN THE PRESENCE THE OWNER'S REPRESENTATIVE TO ASCERTAIN AND NOTE ANY PRE-EXISTING DEFICIENCIES. ANY CORRECTIVE ACTION WILL BE AS DIRECTED BY THE OWNER WILL BE ON CHANGE ORDER BASIS. ELECTRICIAN WILL MARK-UP THE RESULTS OF THEIR PRE-CONSTRUCTION SURVEY ON FLOOR PLANS AND SUBMIT TO THE CM BEFORE WORK STARTS.
3. ALL WORK SHALL BE IN ACCORDANCE EXISTING SYSTEM MANUFACTURER SPECIFICATIONS, LATEST EDITION OF NEC, ANY LOCAL, STATE CODES, AND ENGINEERING MANUFACTURER'S SPECIFICATIONS.
4. ALL WIRES SHALL BE AS SPECIFIED BY SYSTEM MANUFACTURER AND PLENUM RATED.
5. ELECTRICAL CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EQUIPMENT NEEDED TO HAVE A COMPLETE AND OPERATIONAL SYSTEM.
6. CONTRACTOR TO ENSURE ALL NEW POINTS ARE PROPERLY ENROLLED IN THE SYSTEM AND DEMOLISHED POINTS NO LONGER IN USE ARE REMOVED.
7. PROVIDE NEW WIRING FOR ALL NEW AND RENOVATED AREAS. ALL NEW WIRING RUNS SHALL BE CONCEALED IN EITHER SURFACE MOUNTED WIREMOLD (V500 IVORY IN COLOR) OR RECESSED NEW CONDUIT TO RECESSED BACKBOXES OF SPEAKERS, PHONE JACKS, AND MICROPHONE JACKS. WIRING IN DROP CEILINGS SHALL BE SUPPORTED EVERY 5 FEET, AND FROM BUILDING STEEL. ANY WIRING EXPOSED IN UNFINISHED NON-PUBLIC SHALL BE IN EMT. REMOVE AND REPLACE CEILINGS AS REQUIRED TO PERFORM THE WORK. REPLACE ANY DAMAGE TO THE CEILING AS RESULT OF WORK.
8. ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL POWER REQUIREMENT FOR PUBLIC ADDRESS SYSTEM. WIRE ALL NEW PUBLIC ADDRESS SYSTEM RACKS AND AMPLIFIERS TO NEARBY 120/208V AC PANEL 20 AMP, 1 POLE CIRCUIT BREAKERS, PROVIDE NEW AS REQUIRED.
9. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED TESTS AND INSPECTIONS FOR INSTALLATION OF THIS SYSTEM, AND SHALL PAY ANY FEES REQUIRED FOR SAME.
10. ELECTRICAL CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF WALL MOUNT PHONES AND DESK TOP PHONES, AND CONSULT WITH OWNER FOR FINAL LOCATIONS.
11. THE EXISTING PUBLIC ADDRESS SYSTEM SHALL REMAIN IN SERVICE DURING CONSTRUCTION .
12. ELECTRICAL CONTRACTOR TO FIELD ADJUST VOLUME TAPS ON EACH NEW SPEAKER TO SUIT THE SPACE IN WHICH IT IS INSTALLED.

ENERGY REBATES:

1. THE CONTRACTOR SHALL SHALL COORDINATE AND PROVIDE ALL ASSISTANCE TO THE OWNER IN THE APPLICATION PROCESS FOR ENERGY EFFICIENCY REBATES FROM THE LOCAL UTILITY AND/OR APPLICABLE AGENCIES FOR CONTRACTOR FURNISHED EQUIPMENT. THIS SHALL INCLUDE, BUT NOT LIMITED TO: LIGHTING FIXTURES, LIGHTING CONTROLS, PHOTOVOLTAIC SYSTEMS, ELECTRIC VEHICLE CHARGING SYSTEMS, ETC. BEGIN THIS PROCESS EARLY WITH THE OWNER - PRIOR TO START OF CONSTRUCTION AS REQUIRED BY REBATE AGENCY.
2. PROVIDE TO OWNER ALL REQUIRED DOCUMENTATION AS REQUIRED BY THE ISSUING AGENCY TO OBTAIN REBATE.
3. ALTERATIONS AND RENOVATIONS OF EXISTING AREAS MAY REQUIRE PRE-INSPECTION BY THE REBATE ISSUING AGENCY TO VERIFY EXISTING CONDITIONS. OBTAIN AND COORDINATE ANY PRE-INSPECTIONS PRIOR TO START OF DEMOLITION.
4. OBTAIN AND COORDINATE ANY POST INSTALLATION INSPECTIONS AS REQUIRED.
5. ALL REBATE PROCEEDS ARE THE PROPERTY OF THE OWNER.

SITE WORK NOTES

1. THE ELECTRICAL CONTRACTOR SHALL FIELD VERIFY AND TONE OUT THE LOCATION OF ALL UTILITIES IN THE EXCAVATION AREA OF CONSTRUCTION PRIOR TO COMMENCING WORK. CARE SHALL BE TAKEN NOT TO DISTURB EXISTING UTILITIES AND SERVICE CONNECTIONS (OR PORTIONS THEREOF) TO REMAIN. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ABANDONED UTILITY SERVICE CONNECTIONS AND INSTALLATION OF NEW SERVICE CONNECTIONS AND SHALL COORDINATE WORK WITH THE APPROPRIATE UTILITY COMPANY WHERE APPLICABLE. MAINTAIN ALL MARK OUTS FOR THE DURATION AS REQUIRED.
2. ADDITIONAL EXISTING UTILITIES MAY EXIST IN THE WORK AREA. (REFER TO CIVIL / SITE DRAWINGS FOR ADDITIONAL INFORMATION. THESE MAY INCLUDE BUT ARE NOT LIMITED TO ELECTRIC, WATER, GAS, IRRIGATION SYSTEM, IRRIGATION MAIN, AND SANITARY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE THE RESPECTIVE UTILITY COMPANIES AND SURVEYORS MARK ALL LOCATIONS OF UNDERGROUND UTILITIES IN THE FIELD PRIOR TO THE COMMENCEMENT OF WORK. CONTRACTOR SHALL HAND DIG TRENCH WHEN WITHIN 5' OR CROSSING EXISTING THE UTILITIES LINES. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY REPAIR OR REPLACEMENT OF ANY SYSTEM DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST.
3. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO SAWCUT AND TRENCH ALL PAVED AREAS AS REQUIRED TO FACILITATE INSTALLATION OF WIRES AND CONDUITS. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO BACKFILL EXCAVATION AND COMPACT TO 95% DENSITY UP TO GRADE. PATCH PAVEMENT WITH FULL DEPTH ASPHALT AND RCA BASE TO RESTORE AREAS NOT OTHERWISE BEING PAVED BY GENERAL CONTRACTOR. ALL DISTURBED AREAS TO BE TOPSOILED, FINE GRADED AND SEEDED PER SITE PLAN AND SPECS. RESTORE ANY DISTURBED PAVEMENT/ TRAFFIC MARKINGS.
4. WHERE FINISH PAVING IS TO BE PERFORMED BY OTHER TRADES, THE ELECTRICAL CONTRACTOR SHALL COORDINATE WORK SO THAT ALL CONDUITS TO BE RUN UNDER AREAS TO BE PAVED SHALL BE INSTALLED AFTER DEMOLITION OF ANY EXISTING PAVING AND PRIOR TO NEW PAVING.
5. TRANSITION OUTDOOR PVC CONDUITS TO EMT UPON ENTERING BUILDING.
6. ALL UNDERGROUND CONDUITS SHALL BE SCHEDULE 80 PVC UNLESS OTHERWISE NOTED. SIZE AS INDICATED ON PLANS. All 90-DEGREE BENDS SHALL BE ENCASED IN 3" CONCRETE ALL AROUND OR RIGID GALV. STEEL CONDUIT.
7. THE CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITIES 48 HOURS BEFORE EXCAVATING, CUTTING, REMOVING OR TAPPING INTO ANY EXISTING UTILITY SERVICE. OWNER SHALL BE NOTIFIED 48 HOURS BEFORE ANY SITE WORK IS BEGUN.
8. VACANT CONDUIT DUCTBANKS SHALL BE EXTENDED 2' MIN. PAST CURBING/PAVING AND CAPPED OFF. TYPICAL EACH END.
9. PROVIDE PULLSTRINGS IN ALL SPARE CONDUITS INSTALLED AND CAP OFF.
10. ALL UNDERGROUND CONDUITS, EXCLUDING PRIMARY CONDUCTORS (3'), SHALL BE AT 2' BELOW SURFACE. INSTALL DETECTABLE YELLOW FIBERGLASS WARNING MARKER TAPE 6" BELOW GRADE.
11. PRIOR TO THE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY AND PAY ALL FEE'S FOR INSTALLATION OF THE WORK. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC, APPLICABLE LOCAL CODES, UTILITY SPECIFICATIONS, AND THE ENGINEER'S SPECIFICATIONS.

FIRE ALARM SYMBOL LEGEND

SYMBOL	DESCRIPTION
FACP	FIRE ALARM CONTROL PANEL. PROVIDE BUILDING SHATTERPROOF FRAMED SCHOOL GRAPHIC PAPER MAP WITHIN SIGHT OF PANEL.
FAA	REMOTE ANNUNCIATOR PANEL. PROVIDE BUILDING SHATTERPROOF FRAMED SCHOOL GRAPHIC PAPER MAP WITHIN SIGHT OF PANEL.
MIC	REMOTE COMMAND CENTER.
	SMOKE DETECTOR WITH BASE.
F	MANUAL PULL STATION WITH STI STOPPER PROTECTIVE SHIELD WITHOUT ALARM (OR SIMILAR).
	CARBON MONOXIDE DETECTOR WITH SOUNDER BASE. CONNECT TO ASSOCIATED UNIT WITH SOUNDER BASE FOR SIMULTANEOUS LOCAL ALARM.
15cd	WALL MOUNT STROBE NOTIFICATION DEVICE.
15cd	WALL MOUNT HORN / STROBE NOTIFICATION DEVICE.
15cd	CEILING MOUNT STROBE NOTIFICATION DEVICE.
15cd	CEILING MOUNT HORN / STROBE NOTIFICATION DEVICE.
DH	ELECTROMAGNETIC HOLD OPEN DEVICE. VOLTAGE TO MATCH SYSTEM.
R	FIRE ALARM RELAY.
B	BELL

1. THE STROBE CANDELA IS 15 cd UNLESS OTHERWISE INDICATED ON DRAWING.
2. WG = WIRE GUARD
3. WP = WEATHER PROOF
4. WM = WALL MOUNT

CONTRACTOR ABBREVIATIONS

GC = GENERAL CONTRACTOR
PC = PLUMBING CONTRACTOR
MC = MECHANICAL CONTRACTOR
CC = CASEWORK CONTRACTOR
EC = ELECTRICAL CONTRACTOR

BUILDING NOTES

1. THE BUILDING HAS EXISTING GENERATOR.

LIGHTING LEGEND

SYMBOL	DESCRIPTION
	2' X 4' RECESSED LIGHTING FIXTURE.
	2' X 2' RECESSED LIGHTING FIXTURE.
	2' X 2' RECESSED EMERGENCY LIGHTING FIXTURE. WITH 90 MINUTES EMERGENCY BATTERY PACK.
	2' X 2' SURFACE MOUNT LIGHTING FIXTURE.
	1' X 4' SURFACE MOUNT LIGHTING FIXTURE.
	1' X 4' PENDANT LIGHTING FIXTURE.
	RECESSED DOWN LIGHTING FIXTURE.
	EXTERIOR WALL MOUNT LIGHTING FIXTURE.
	EXIT SIGN.
	EMERGENCY WALL PACK LIGHTING FIXTURE.
EXIT	EXIT SIGN/EMERGENCY COMBO WALL PACK LIGHTING FIXTURE.

CLOCK SYMBOL LEGEND

SYMBOL	DESCRIPTION
	WIRELESS ANALOG SERIES CLOCK . 12.5" DIAMETER UNLESS OTHERWISE NOTED.

ELECTRICAL SYMBOL LEGEND

SYMBOL	DESCRIPTION
	SINGLE POLE CIRCUIT 2-#12, 1-#12G, ¾"C UNLESS OTHERWISE NOTED
	TWO POLE CIRCUIT 3-#12,1-#12G, ¾"C UNLESS OTHERWISE NOTED
	THREE POLE CIRCUIT 4-#12, 1-#12G, ¾"C UNLESS OTHERWISE NOTED
	SINGLE RECEPTACLE, NEMA 5-20R W/ STAINLESS STEEL FACEPLATE
	DUPLEX RECEPTACLE, NEMA 5-20R W/ STAINLESS STEEL FACEPLATE
WP	GROUND FAULT CIRCUIT INTERRUPTER DUPLEX RECEPTACLE, 5-20R W/ STAINLESS STEEL FACEPLATE FOR MECHANICAL SPACES, OUTDOORS, ETC. 'WP' ANNOTATION - IN RAINPROOF & IN-USE COVER.
	DUPLEX RECEPTACLE W/ (1) USB TYPE 'A' & (1) TYPE 'C', 20A W/ STAINLESS STEEL FACEPLATE
	DUPLEX CEILING MOUNTED RECEPTACLE , NEMA 5-20R W/ STAINLESS STEEL FACEPLATE.
	QUADRUPLEX RECEPTACLE - (2)-GANG DUPLEX RECEPTACLES PER ABOVE W/ STAINLESS STEEL FACEPLATE
	QUADRUPLEX RECEPTACLE - (2)-GANG DUPLEX RECEPTACLES W/ (1) USB TYPE 'A' & (1) TYPE 'C' PER RECEPTACLE, W/ STAINLESS STEEL FACEPLATE
T 220V	RECEPTACLE, VOLTAGE & PHASE PER LABEL
RWB	POWER/DATA WALL BOX. REFER TO TECHNOLOGY DRAWINGS FOR FINAL CONFIGURATION AND LOCATION.
FB P	POWER/DATA FLOOR BOX. REFER TO TECHNOLOGY DRAWINGS FOR FINAL CONFIGURATION AND LOCATION. SUBSCRIPT 'P' POWER ONLY. CONFIGURATION PER PLAN.
PT P	POWER/DATA FIRE-RATED POKE-THROUGHS. REFER TO TECHNOLOGY DRAWINGS FOR FINAL CONFIGURATION AND LOCATION. SUBSCRIPT 'P' POWER ONLY. CONFIGURATION PER PLAN.
	RETRACTABLE WHITE INDUSTRIAL CORD REEL, 20A, 125V, 25' CORD LENGTH, (2) DUPLEX RECEPTACLE END W/ GFCI.
	UNFUSED DISCONNECT SWITCH, SIZE PER PLAN
$ 1P	MOTOR SWITCH FURNISHED AND INSTALLED BY THE E.C. WIRE SIZE AND POLE PER PLAN.
J	JUNCTION BOX. MOUNT/ INSTALL IN FIELD AS REQUIRED.
HP	MOTOR, NO. INDICATES HORSEPOWER
HD	HAND DRYER, SUPPLIED BY G.C., INSTALLED AND WIRED BY E.C. U.O.N
	PANEL BOARD/LOAD CENTER, MOUNTING AND CHARACTERISTICS PER PLAN
	TRANSFORMER, VOLTAGE, PHASE, KVA PER PLAN
	EMERGENCY SHUT-OFF MUSHROOM TYPE PUSH BUTTON
$ a K	WALL SWITCH: • LOWER CASE LETTER (TOP) INDICATES SWITCHING DESIGNATION • UPPER CASE LETTER(S) OR NUMBER SUBSCRIPTS (BOTTOM): K = KEY SWITCH 3 = THREE WAY SWITCH 4 = FOUR WAY SWITCH M = MOMENTARY CONTACT SWITCH 3RL = 3 BUTTON CONTROLS - MODEL VS = VACANCY PIR SENSOR DIMMER VC = VACANCY PIR SENSOR SWITCH
OS VS DS	CEILING MOUNTED OCCUPANCY/ VACANCY/ DAYLIGHT SENSOR, LOW VOLTAGE, DUAL TECHNOLOGY, COMPLETE W/ POWER PACK(S) AS REQ'D.
RC	ROOM CONTROLLER. MOUNT ABOVE CEILING UNLESS OTHERWISE NOTED.

PUBLIC ADDRESS / SPEAKER SYSTEM LEGEND

SYMBOL	DESCRIPTION
S	SURFACE MOUNTED PUBLIC ADDRESS SPEAKER.
	RECESSED CEILING MOUNTED PUBLIC ADDRESS SPEAKER
	RECESSED LAY-IN 2X2 SPEAKER FOR SUSPENDED CEILINGS PUBLIC ADDRESS SPEAKER.
VC	VOLUME CONTROL FOR PUBLIC ADDRESS SPEAKER(S)
PA RACK	PUBLIC ADDRESS SYSTEM HEAD-END RACK

SECURITY SYSTEM LEGEND

SYMBOL	DESCRIPTION
P	BLUE LIGHT PANIC BUTTON AND STROBE
	VIDEO DOOR STATION
	CARD READER
	INTERIOR SECURITY CAMERA

ABBREVIATIONS

ACT	ABOVE COUNTER TOP
AFF	ABOVE FINISHED FLOOR
ETR	EXISTING DEVICE TO REMAIN. PROTECT DURING CONSTRUCTION.
EX	EXISTING DEVICE.
RR	EXISTING DEVICE TO BE DISCONNECTED, STORED, AND REINSTALLED AFTER RENOVATION. E.C. TO SAFE OFF WIRING FOR RE-USE. SEE PROPOSED PLAN FOR NEW DEVICE LOCATIONS AND TEST FOR PROPER OPERATION. ADDITIONAL WIRING MAY BE REQUIRED, EXTEND WIRING AS NEEDED.
WP	WEATHERPROOF DEVICE

NOTE: SYMBOLS AND ABBREVIATIONS ON THIS DRAWING ARE FOR REFERENCE ONLY, AND MAY NOT BE USED IN THE FOLLOWING DOCUMENTS.

REV.	DATE	ITEM

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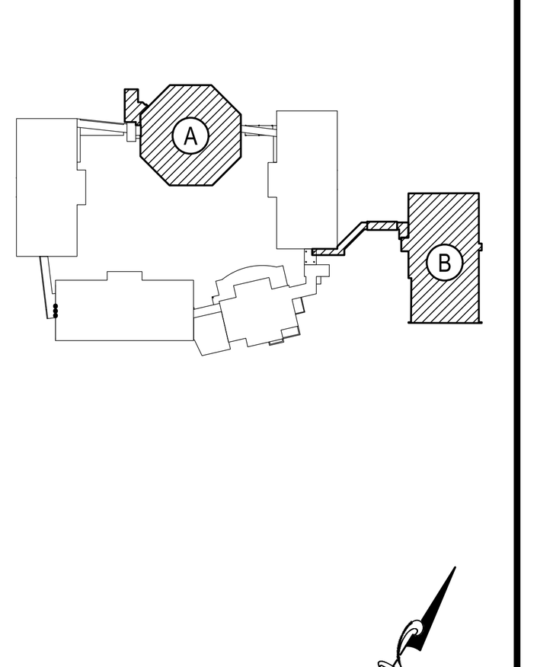

KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

GENERAL NOTES, LEGENDS and ABBREVIATIONS

DRAWING BY: RP
CHECK BY: LW

NOTICE

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SED No. 66-01-02-06-0-007-013
DISTRICT BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT PHASE 2 - BOND IMPROVEMENTS
DWG TITLE GENERAL NOTES, LEGENDS and ABBREVIATIONS

SCALE: AS NOTED
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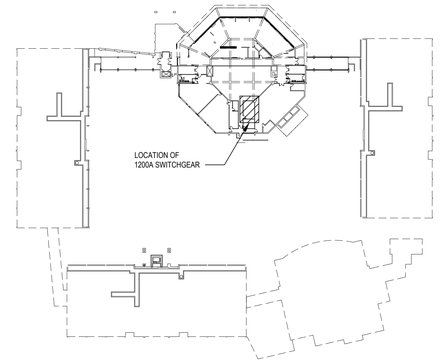
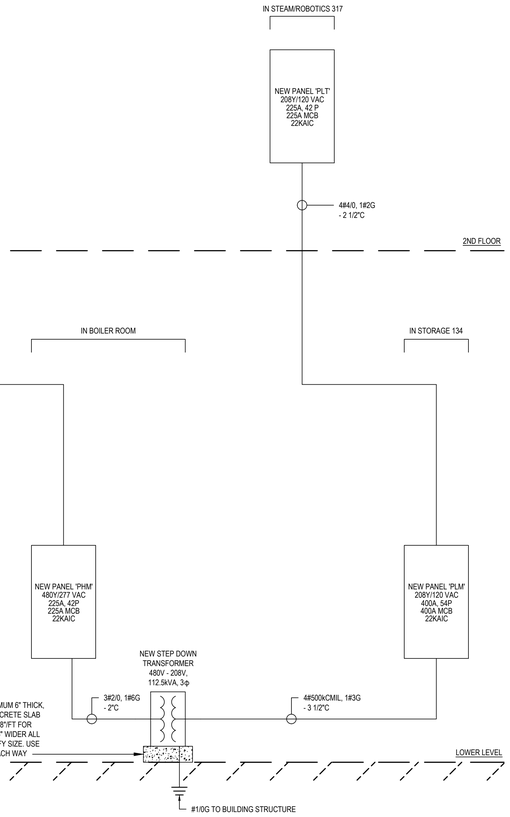


KEY PLAN - SWITCHGEAR ROOM

N.T.S.



RISER DIAGRAM - NEW PANELS

NOTE: PROVIDE AND INSTALL NEW PRINT CIRCUIT BREAKER NAME TAGS. HAND WRITING NOT ALLOWED.

N.T.S.

REV.	DATE	ITEM

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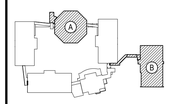

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

PROJECT

SWITCHGEAR, PANELS and RISER DIAGRAMS

DWG TITLE

DRAWING BY:	RP
CHECK BY:	LW

NOTICE

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SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	SWITCHGEAR, PANELS and RISER DIAGRAMS
SCALE:	AS NOTED
DATE:	APRIL 2024
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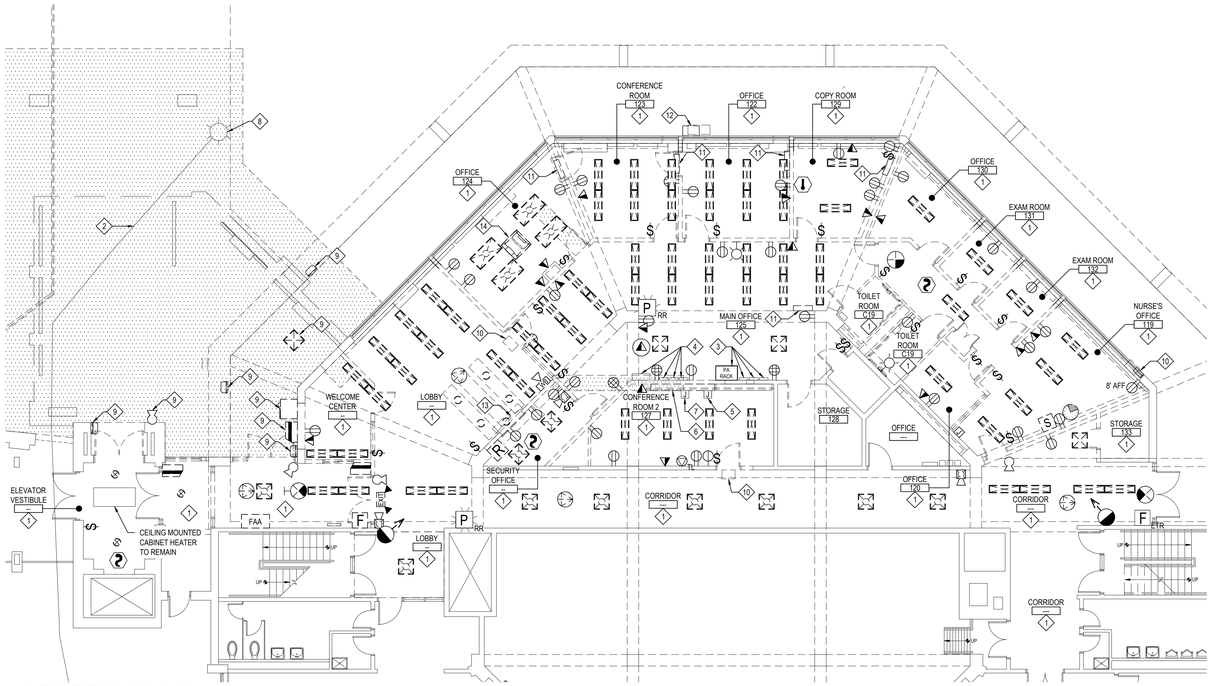
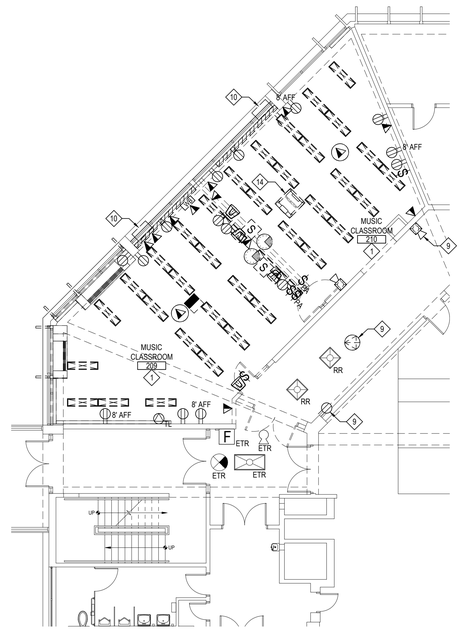


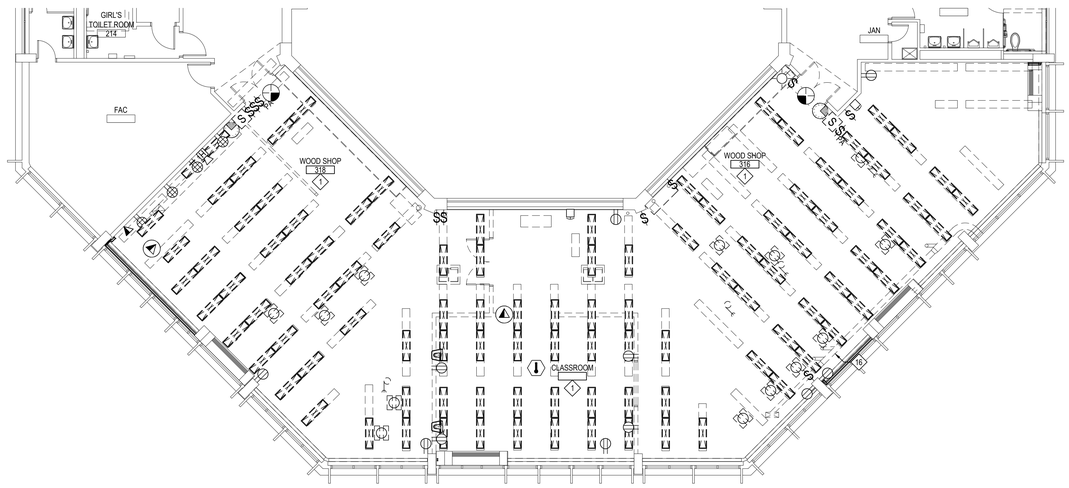
LOWER LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"



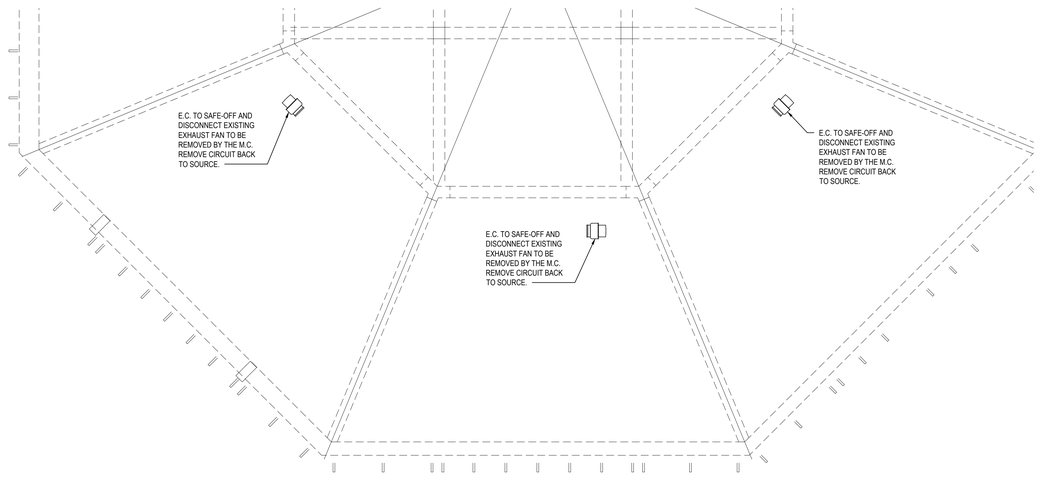
FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



ROOF PLAN

SCALE: 1/8" = 1'-0"

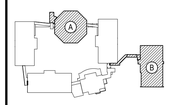
ELECTRICAL DEMOLITION KEY NOTES:

1. ALL EXISTING INTERIOR ELECTRICAL DEVICES INCLUDING BUT NOT LIMITED TO: EXIT SIGNS, EMERGENCY LIGHTS AND REMOTE HEADS, EMERGENCY LIGHTING BATTERY PACKS, WALL MOUNTED AND CEILING MOUNT OCCUPANCY SENSORS, SWITCHES, RECEPTACLES, DATA DROPS, PHONE DROPS, RACEWAY, CLOCKS, PHONES, EMERGENCY CALL BUTTON SYSTEM, FIRE ALARM DEVICES, PUBLIC ADDRESS DEVICES, SECURITY SYSTEM DEVICES TO BE DE-ENERGIZED AND REMOVED BY THE E.C. ALL EXISTING INTERIOR RECESSED, SURFACE, WALL AND PENDANT MOUNTED LIGHTING FIXTURES TO BE DE-ENERGIZED AND REMOVED BY THE E.C. REMOVE ALL CONDUIT AND WIRES BACK TO SOURCE. ALL DEMOLISHED MECHANICAL AND PLUMBING EQUIPMENT SHALL BE DE-ENERGIZED AND HAVE THEIR EXISTING POWER CIRCUITS REMOVED BACK TO THEIR SOURCES. SEE MECHANICAL AND PLUMBING DRAWINGS FOR MORE DETAILS.
2. APPROXIMATE UNDERGROUND ELECTRIC LINE FEEDING OUTDOOR LIGHT POLE. E.C. TO DISCONNECT CIRCUIT TO BE EXTENDED AND REROUTED AROUND NEW VESTIBULE ADDITION.
3. E.C. TO DISCONNECT TIME CARD READER, EMERGENCY GENERATOR ANNUNCIATOR, AND PA/CLOCK SYSTEM CONTROLS TO BE RELOCATED INTO NEW STORAGE CLOSET/KITCHEN AREA.
4. E.C. TO DISCONNECT FIRE ALARM PANEL, FIRE ALARM BOX, DATABASE, AND ALARM PANEL TO BE RELOCATED INTO NEW STORAGE CLOSET.
5. E.C. TO REROUTE EXISTING FA SPLICE BOX CIRCUITS TO A NEW SPLICE BOX IN STORAGE ROOM 128. E.C. TO SAWCUT FLOOR TO STORAGE ROOM 128 TO ALLOW FOR THE REROUTING OF EXISTING CIRCUITS. SEE DETAIL 2 ON A1.01 FOR MORE INFO.
6. E.C. TO REROUTE ALL EXISTING CONDUITS/WIRES ON WALL SECTION THAT IS TO BE REMOVED. REROUTED CIRCUITS SHALL BE RAN INSIDE NEW WALLS/ABOVE NEW CEILINGS. MAINTAIN CONTINUITY FOR ALL CONNECTIONS AND VERIFY FUNCTIONALITY AFTER REROUTING. REMOVE ANY CONDUITS/WIRES THAT ARE OBSOLETE. EXTEND/SHORTEN WIRING AS NEEDED.
7. E.C. TO INVESTIGATE FUNCTIONALITY OF YELLOW WIRES IN FIELD. E.C. TO SAWCUT FLOOR TO STORAGE ROOM 128 FOR THE REROUTING OF THESE WIRES INSIDE NEW WALLS/ABOVE NEW CEILINGS. MAINTAIN CONTINUITY FOR ALL CONNECTIONS AND VERIFY FUNCTIONALITY AFTER REROUTING. EXTEND/SHORTEN WIRING AS NEEDED.
8. E.C. TO DISCONNECT AND REMOVE LIGHT POLE TO BE REINSTALLED IN NEW LOCATION. SEE ALSO E3.01.
9. EXISTING DEVICE TO BE DISCONNECTED AND REMOVED. PULL BACK WIRING/CABLE TO SOURCE.
10. EXISTING WALL-MOUNTED AIR CONDITIONER TO BE DE-ENERGIZED BY THE E.C. AND REMOVED BY THE M.C. E.C. TO REMOVE ALL RELATED ELECTRICAL COMPONENTS AND PULL BACK CIRCUIT TO SOURCE.
11. INDOOR AC UNIT TO BE DE-ENERGIZED BY THE E.C. AND REMOVED BY THE M.C.
12. OUTDOOR CONDENSING UNIT TO BE DE-ENERGIZED BY THE E.C. AND REMOVED BY THE M.C.
13. E.C. TO DE-ENERGIZE AND REMOVE EXISTING MOTORIZED ROLL UP SHUTTER.
14. E.C. TO DISCONNECT AND REMOVE PROJECTOR. HAND OVER TO DISTRICT.
15. TRENCH BY E.C. E.C. TO RUN NEW CIRCUITS FROM INSIDE NEARBY WALL/COLUMN TO NEW FLOOR BOXES IN TRENCH. SEE ALSO PROPOSED PLANS AND E7.01 FOR TRENCH DETAIL.
16. E.C. TO DE-ENERGIZE DUST COLLECTION SYSTEM TO BE REMOVED BY THE M.C. PULL BACK CIRCUIT TO SOURCE.

ELECTRICAL GENERAL DEMOLITION NOTES:

1. NOT ALL DEVICES COULD BE FOUND DURING SURVEY, ADDITIONAL SIMILAR DEVICES MAY EXIST IN THE WORK ZONE AND SHALL BE ACTED UPON AS PER THE DEMO KEY NOTES UNLESS OTHERWISE INDICATED TO REMAIN.
2. LIGHT FIXTURE CIRCUITS PULLED BACK TO PANELS 'LHD' AND 'LHDE' SHALL HAVE THEIR POSITIONS RESERVED TO PROVIDE POWER TO NEW LIGHT FIXTURES IN SIMILAR AREAS. RETAIN CONTINUITY OF LIGHT FIXTURES OUTSIDE THE WORK SCOPE.

REV.	DATE	ITEM
1	03/12/2025	BID ADDENDUM No. 3



KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DEMOLITION PLANS

PROJECT

DWG TITLE

DRAWING BY: RP

CHECK BY: LW

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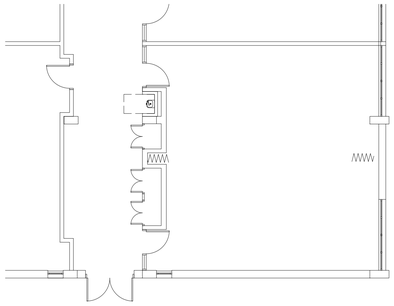
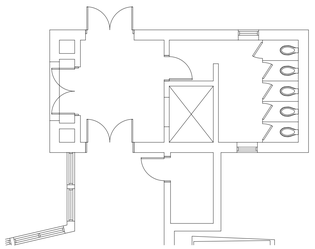
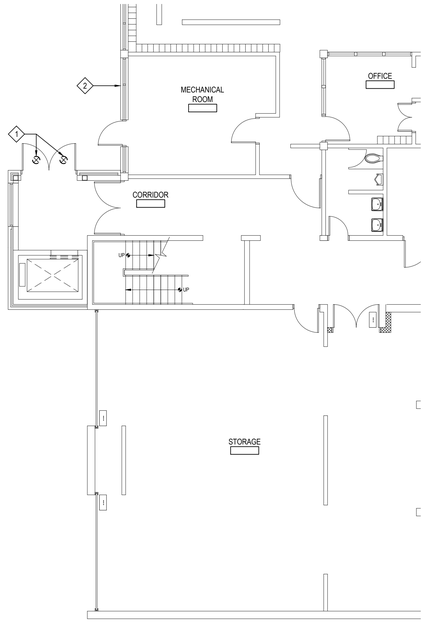
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	DEMOLITION PLANS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

E1.01







THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

ELECTRICAL DEMOLITION KEY NOTES:

1. E.C. TO DISCONNECT AND SAFE OFF EXISTING LIGHT FIXTURE. IF CIRCUIT SERVES ANOTHER DEVICE, MAINTAIN CIRCUIT CONTINUITY. IF CIRCUIT IS UNUSED, PULL BACK WIRING AND LABEL BREAKER AS SPARE.
2. E.C. TO REROUTE ALL ELECTRICAL CONDUITS CLEAR OF NEW COVERED WALKWAY CONSTRUCTION. EXTEND/SHORTED WIRING AS NEEDED.

REV.	DATE	ITEM

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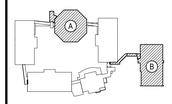

KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

DEMOLITION PLAN - WALKWAY CANOPY

DRAWING BY: RP

CHECK BY: LW

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SED No. 66-01-02-06-0-007-013

DISTRICT: BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT: PHASE 2 - BOND IMPROVEMENTS

DWG TITLE: DEMOLITION PLAN - WALKWAY CANOPY

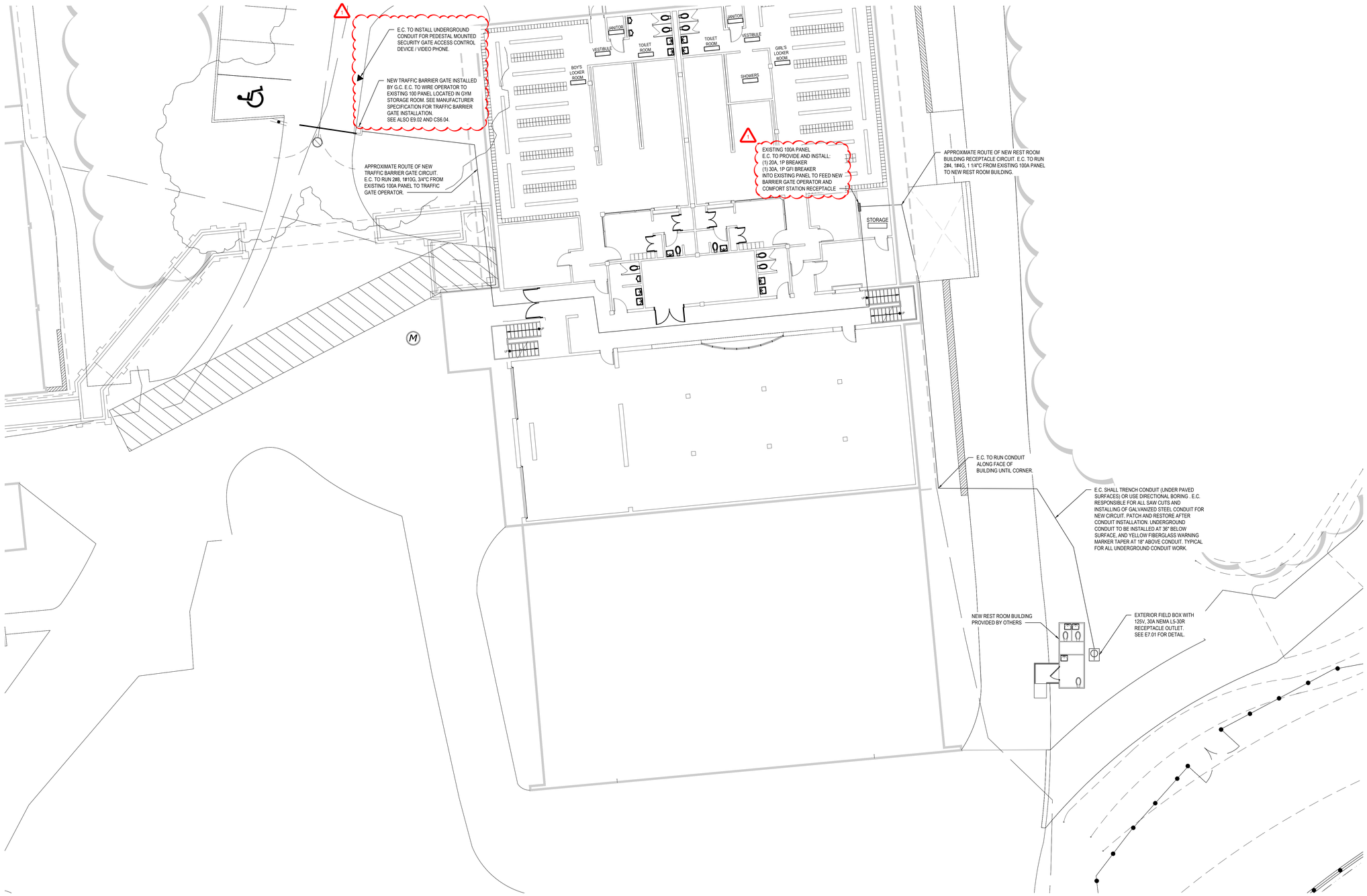
SCALE: AS NOTED

DATE: APRIL 2024

BID PICK-UP: FEBRUARY 24, 2025

FILE No: 23-131b FLMS

E1.02



SITE PLAN - SOFTBALL FIELD REST ROOM BUILDING & TRAFFIC BARRIER GATE

SCALE: 1" = 10'-0"

REV.	DATE	ITEM
1	03/12/2025	BID ADDENDUM No. 3

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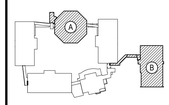

KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

SITE PLAN
SOFTBALL FIELD REST ROOM BUILDING & TRAFFIC BARRIER GATE

DRAWING BY: RP

CHECK BY: LW

NOTICE

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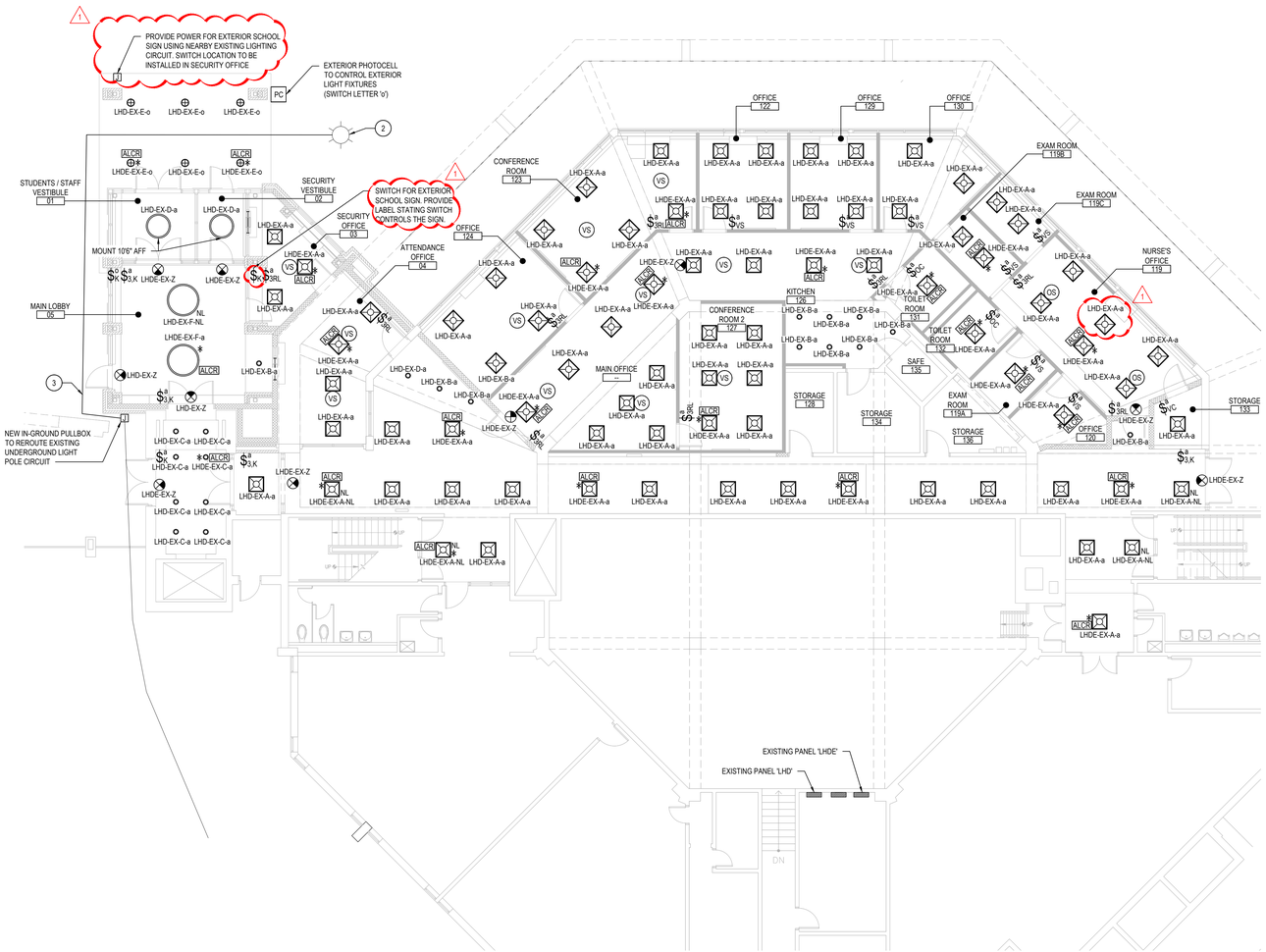
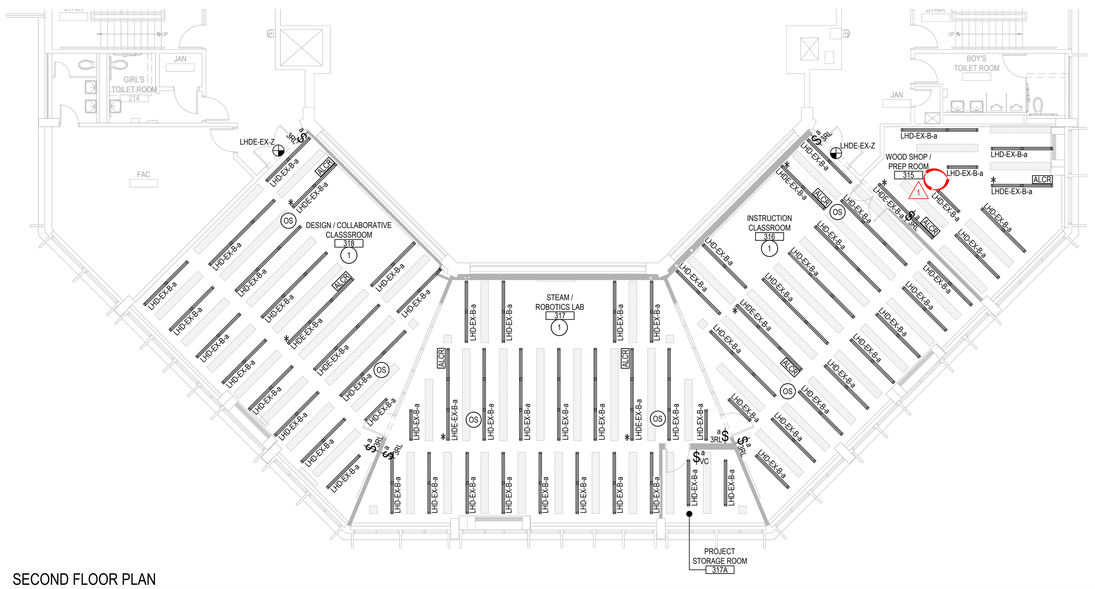
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	SITE PLAN SOFTBALL FIELD RESTROOM BUILDING & TRAFFIC BARRIER GATE
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

E2.01



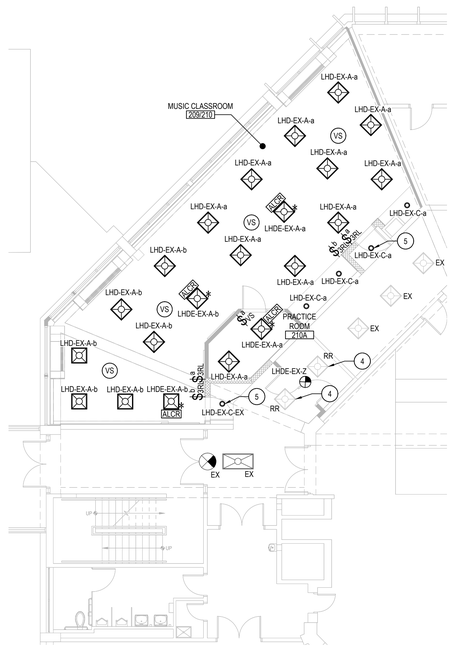
LOWER LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

ELECTRICAL PROPOSED GENERAL NOTES:

1. ALL LIGHT FIXTURES DENOTED WITH AN ASTERISK * SHALL BE WIRED TO EMERGENCY GENERATOR PANEL SHOWN BY LIGHT FIXTURE WIRING FORMAT. THE EXISTING GENERATOR MET NFPA 110 REQUIREMENT (LESS THAN 10 SECONDS TO PROVIDE EMERGENCY LIGHTING).

2. NEW LIGHT FIXTURES BEING POWERED BY EXISTING CIRCUITS SHALL USE ALL NEW WIRING AND CONDUIT. RETAIN CONTINUITY OF LIGHT FIXTURES OUTSIDE THE WORK SCOPE. PROVIDE AND INSTALL NEW BREAKERS INTO EXISTING PANEL POSITIONS.

3. E.C. TO PROVIDE POWER PACKS FOR ALL NEW LIGHTING AS REQUIRED. SEE DRAWING E7.02 FOR LIGHTING CONTROL DETAILS.

4. WHERE NECESSARY, E.C. SHALL RUN ALL EXPOSED CONDUITS AS CLOSE TO EXPOSED BEAMS AS POSSIBLE TO MAINTAIN AESTHETICS OF THE RENOVATED SPACES.

5.CONTRACTOR SHALL CONNECT THE EXIT SIGNS DIRECTLY TO THE ASSOCIATED LIGHTING CIRCUITS AHEAD OF ANY LIGHTING SWITCHES, CONTACTORS, ETC.. THE EXIT SIGNS BATTERY SHOULD LAST MINIMUM 90 MINUTES.

ELECTRICAL DEMOLITION KEY NOTES:

1. THE LINEAR LIGHTS IN THIS ROOM SHALL BE MOUNTED SUCH THAT THE BOTTOM OF THE FIXTURE IS FLUSH WITH THE LOWER CEILING RIBS WITHIN.
2. E.C. TO RELOCATE EXISTING LIGHT POLE CLEAR OF NEW VESTIBULE ADDITION. CONNECT TO REROUTED EXISTING CIRCUIT. COORDINATE WITH NEW SITE WORK. ALL EXCAVATION, BACKFILL, AND COMPACTION BY E.C.
3. E.C. TO REROUTE AND EXTEND EXISTING UNDERGROUND LIGHT POLE CIRCUIT AROUND NEW VESTIBULE FOUNDATION AND INTO RELOCATED LIGHT POLE. MATCH EXISTING CIRCUIT SIZE
4. WHEN REINSTALLING EXISTING FIXTURE, REWIRE TO NEARBY GENERATOR PANEL CIRCUIT AND CONTROLS. EXTEND/SHORTEN WIRING AS NEEDED.
5. WIRE TO EXISTING CORRIDOR LIGHTING CIRCUIT AND CONTROLS.

LIGHTING SCHEDULE

TYPE	SYMBOL	DESCRIPTION
A		2'x2' RECESSED LIGHTING TROFFER BY DAY-BRITE. 28 WATTS, 3500K, 3800 LUMENS. MODEL #2FGXG-38L-835-2'-RS-UNV-DIM
AE		2'x2' RECESSED LIGHTING TROFFER W/90 MIN EMERGENCY BATTERY PACK BY DAY-BRITE. 28 WATTS, 3500K, 3800 LUMENS. MODEL #2FGXG-38L-835-2'-RS-UNV-DIM-BSL6LST
B		LOW PROFILE DIRECT LUMINAIRE BY CORONET LED. 7 WATTS/FT, 0-10 DIMMING DRIVER, 677 LUMENS/FT. LENGTH OF FIXTURE VARIES BY SECTION. MODEL #LS1LP-X-35-MED-UNV-DB-W-AC-FL-NA-NA
C		4-INCH LED DOWNLIGHT BY CSL LIGHTING. 12.3W, 0-10 DIMMING DRIVER, 1485 LUMENS. MODEL #NU4-RD-SW-15LM-35K-80-50D-CL-WH-WH-NC-UNV-DIM10
D		3' RING LIGHTING FIXTURE BY CORONET LED. 130 WATTS, 3500K, 5350 DIRECT/INDIRECT LUMENS. RAL 3001 POWDER COAT MODEL #PRD-UPDN-3-35-MED-MED-UNV-DB-CC-AC.CENT-SD-SD
E		DOWNLIGHT BY WE-EF 28 WATTS, 2542 LUMENS, 4000K, 0-10V DIMMING DRIVER MODEL #DOC120-FT-LED-134-6259
F		4' RING LIGHTING FIXTURE BY CORONET LED. 138 WATTS, 3500K, 13007 LUMENS. RAL 3001 POWDER COAT MODEL #PRD-4-35-MED-UNV-DB-CC-SM-SD
Z		LED EXIT SIGN W/ 90-MINUTE EMERGENCY BATTERY BY ATG LED LIGHTING. MODEL #EES01-R-1-WH

1. LENGTHS OF CONTINUOUS RUNS FOR LINEAR FIXTURES VARY BY SECTION. E.C. SHALL SUBMIT SHOP DRAWINGS OF ALL CONTINUOUS RUNS FOR APPROVAL.

LIGHT FIXTURE WIRING FORMAT

	PANEL NAME/ EXISTING CIRCUIT	CKT BKR/ EXISTING CIRCUIT GROUPING	FIXTURE TYPE	SWITCH LETTER
P1-1-AE-b	"P1"	"1"	"AE"	"b"
	"EX"	"EX"	"AE"	"EX"

NL = NIGHT LIGHT.
FIXTURE TO BE WIRED AHEAD OF ALL SWITCHING TO PROVIDE CONTINUOUS ILLUMINATION

LIGHTING CONTROLS

SYMBOL	DESCRIPTION

$ a b	LOW VOLTAGE WALL SWITCH BY SENSORWORX:
	• LOWER CASE LETTER (TOP) INDICATES SWITCHING DESIGNATION
	• UPPER CASE LETTER(S) OR NUMBER SUBSCRIPTS (BOTTOM):
	3 = THREE WAY SWITCH
	M = MOMENTARY CONTACT SWITCH
	K = KEY SWITCH - #SWX-KS-MOM
	3RL = 3 BUTTON CONTROLS - MODEL #SWX-854-B-WH
	VS = VACANCY PIR SENSOR DIMMER - MODEL #SWX-103-D-WH
	VC = VACANCY PIR SENSOR SWITCH - MODEL #SWX-103-WH
	OC = OCCUPANCY PIR SENSOR SWITCH - MODEL #SWX-101-WH

OS	CEILING MOUNTED OCCUPANCY SENSOR BY SENSORWORX. WIRE AS AUTO ON/AUTO OFF UNLESS OTHERWISE NOTED. PROVIDE POWER PACKS AS REQUIRED. MODEL #SWX-201-B
ALCR	EMERGENCY POWER CONTROL FOR DIMMABLE LOADS MODEL #SWX-EPC-A-2-D
PC	EMERGENCY POWER CONTROL FOR DIMMABLE LOADS MODEL #SWX-LCS624D

REV.	DATE	ITEM
01	03/12/25	BID ADDENDUM No. 03

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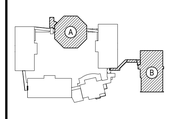

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

PROJECT

PROPOSED LIGHTING PLANS

DWG TITLE

DRAWING BY: RP
CHECK BY: LW

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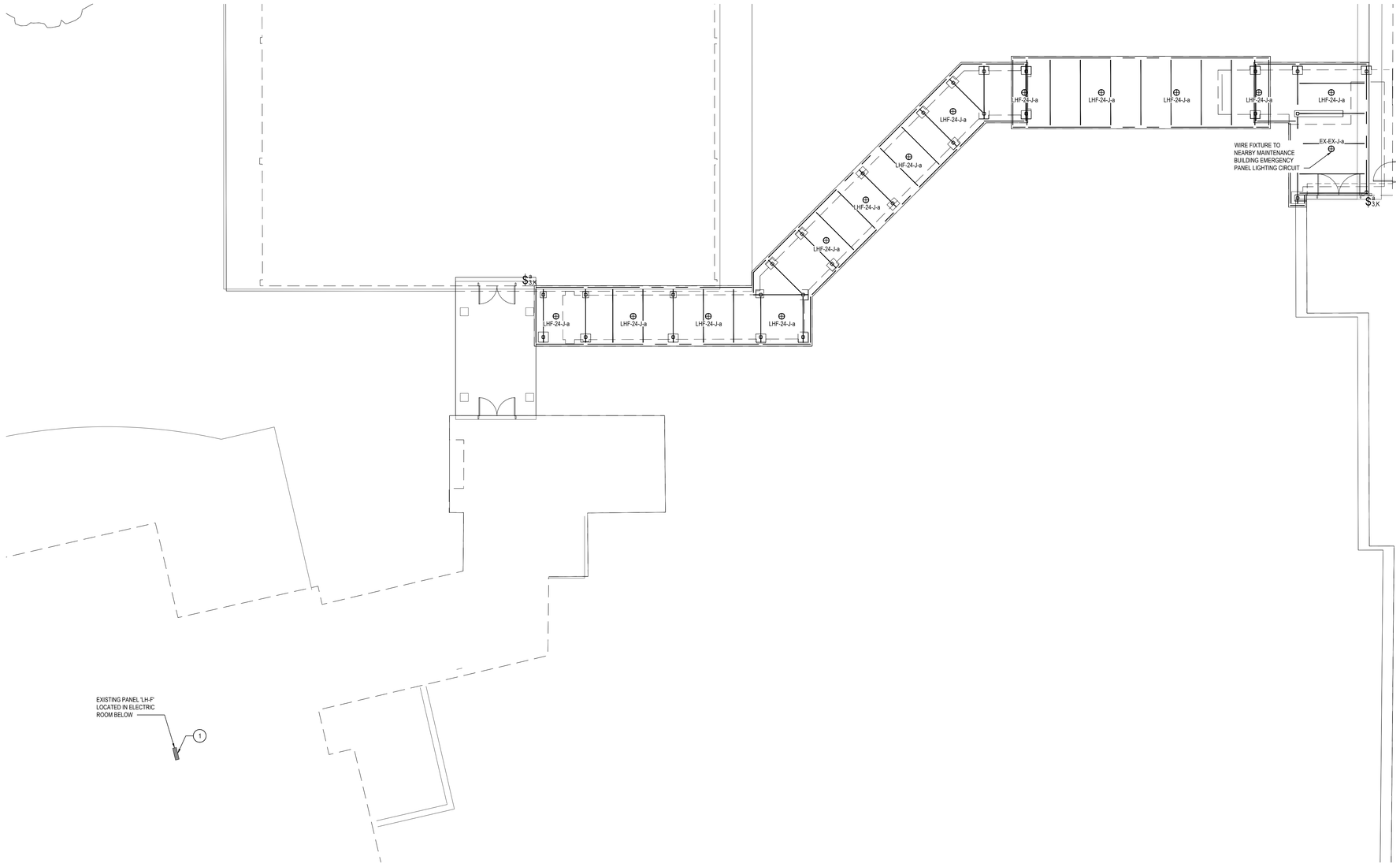
DISTRICT BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT PHASE 2 - BOND IMPROVEMENTS
DWG TITLE PROPOSED LIGHTING PLANS
SCALE: AS NOTED
DATE: APRIL 2024
BID PICK-UP: FEBRUARY 24, 2025
FILE No: 23-131b FLMS

E3.01



THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

ELECTRICAL PROPOSED GENERAL NOTES:

1. SEE DRAWING E7.02 FOR LIGHTING CONTROL DETAILS.
2. REFER TO DRAWING E3.01 FOR FULL LIGHT FIXTURE AND LIGHTING CONTROL SCHEDULE.

ELECTRICAL DEMOLITION KEY NOTES:

(1) E.C. TO PROVIDE AND INSTALL NEW 20A BREAKER INTO EXISTING PANEL 'LH-F' TO FEED NEW CANOPY LIGHTS. BREAKER SHALL BE COMPATIBLE WITH EXISTING PANEL.

LIGHT FIXTURE WIRING FORMAT

	PANEL NAME/ EXISTING CIRCUIT	CKT BKR/ EXISTING CIRCUIT GROUPING	FIXTURE TYPE	SWITCH LETTER
P1-1-AE-b	"P1"	"1"	"AE"	"b"
	"EX"	"1"	"AE"	"b"

REV.	DATE	ITEM

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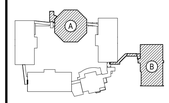

KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

PROPOSED
LIGHTING PLAN - WALKWAY CANOPY

DRAWING BY: RP
CHECK BY: LW

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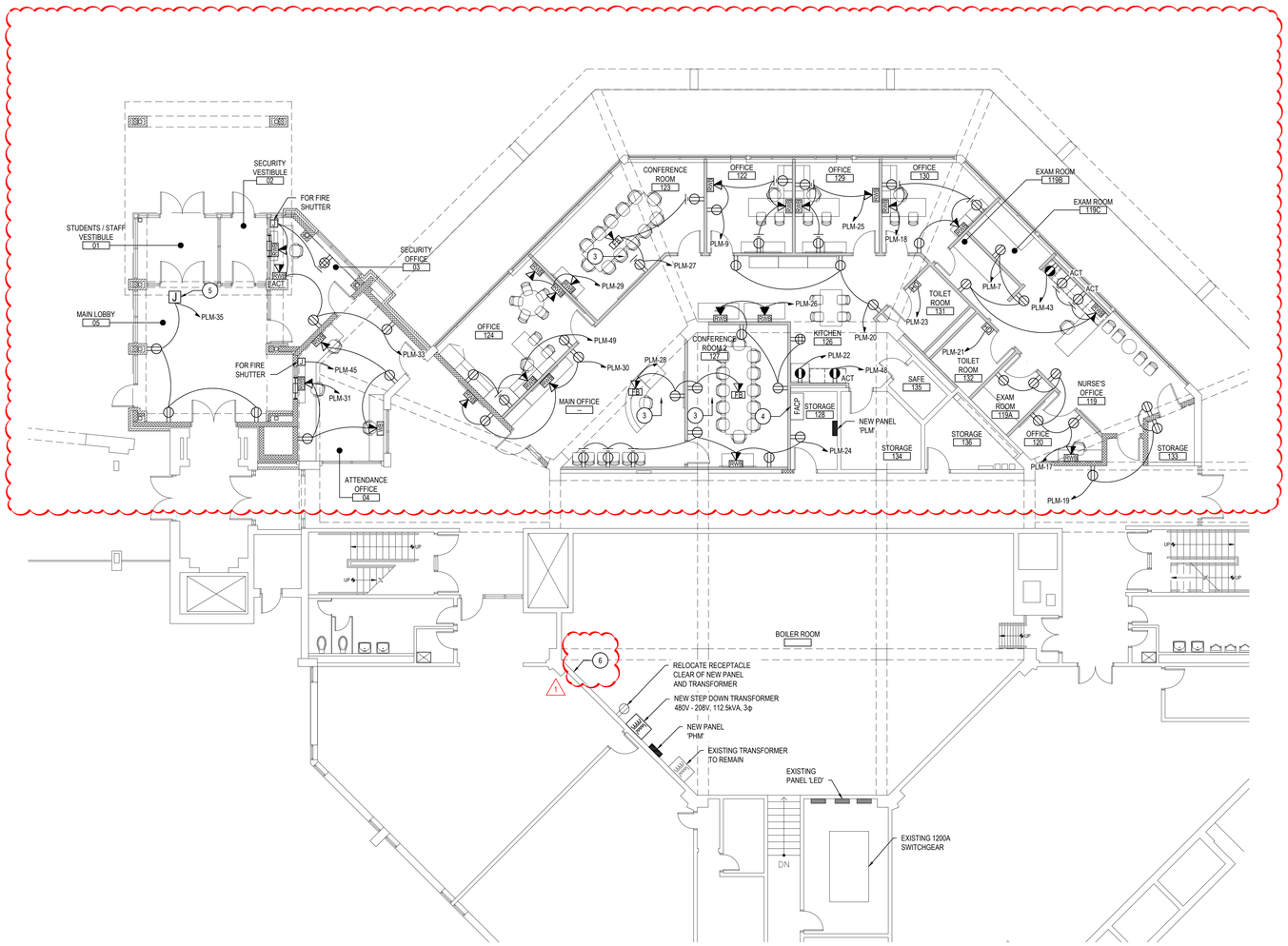
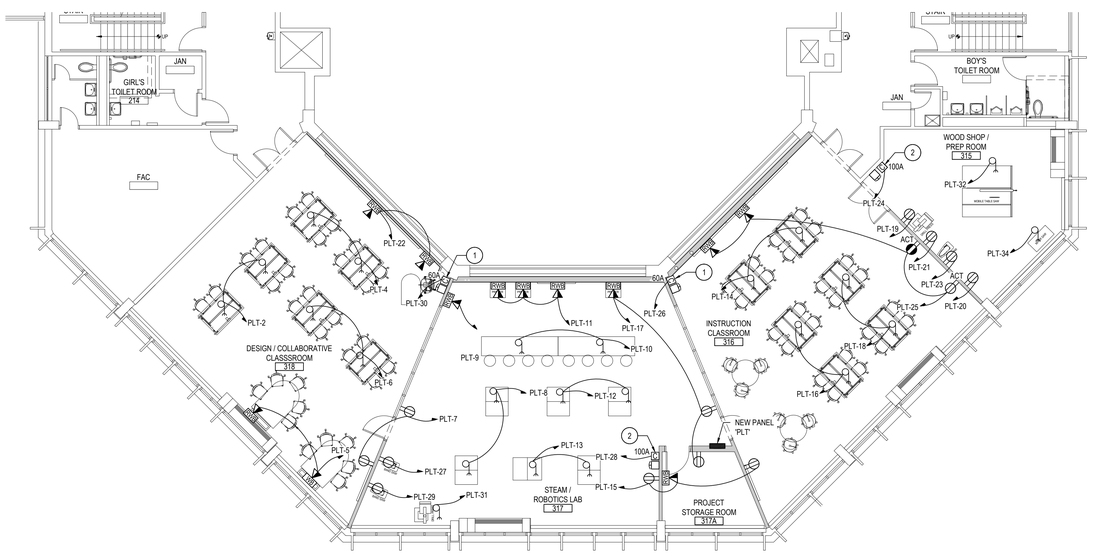
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	PROPOSED LIGHTING PLAN - WALKWAY CANOPY
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

E3.02



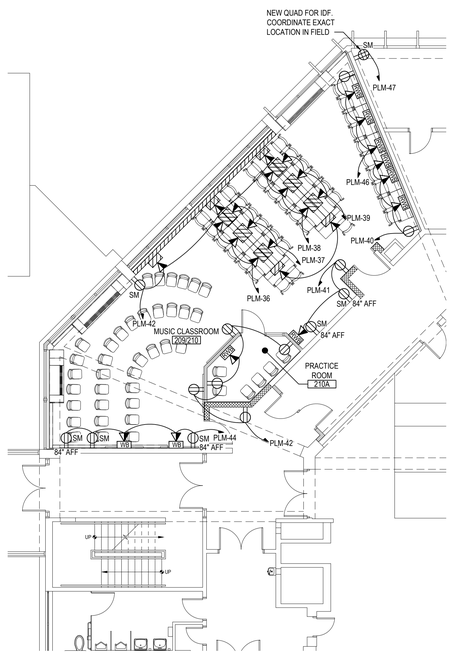
LOWER LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

ELECTRICAL PROPOSED GENERAL NOTES:

1. SEE DETAIL 5 ON E7.01 FOR CONTACTOR WIRING DIAGRAM

2. WHERE NECESSARY, E.C. SHALL RUN ALL EXPOSED CONDUITS AS CLOSE TO EXPOSED BEAMS AS POSSIBLE TO MAINTAIN AESTHETICS OF THE RENOVATED SPACES.

ELECTRICAL PROPOSED GENERAL NOTES:

1. POWER AND DATA SERVICE WILL BE SUPPLIED TO FLOOR EQUIPMENT VIA FLOOR BOXES AND CONDUITS AS DESCRIBED AS FOLLOWS.

2. THE FLOOR BOXES ARE FOUR-COMPARTMENT CAST-IRON COMBINATION FLOOR BOX. THE BOX WILL CONTAIN VARIOUS WIRING SERVICES. SEE TECHNOLOGY DRAWING FOR MORE DETAILS, ALL IN QUANTITIES AS REQUIRED FOR THE SPECIFIC LOCATION/LOAD SUPPLIED.

3. THE EXISTING SITE CONCRETE FLOOR IS TO BE SAW CUT BY ELECTRICAL CONTRACTOR FROM THE WALL TO BOX LOCATION AS REQUIRED. THE FLOOR IS EXPECTED TO BE 4 INCHES THICK, BUT THIS THICKNESS IS NOT CONFIRMED. THE SLOT FOR THE CONDUITS SHALL BE 12 INCHES WIDE. THE FLOOR BOX HOLE SHALL BE 18 INCHES BY 18 INCHES, MINIMUM, OR LARGER AS REQUIRED. PROVIDE A CONCRETE FOUNDATION BLOCK UNDER THE FLOOR BOX TO PROVIDE BEARING STRENGTH. PROVIDE BLOCKS UNDER THE CONDUITS AS REQUIRED TO STABILIZE AND POSITION THEM FOR FLOOR RESTORATION. PLACE CONDUITS IN THE SAND BELOW THE FLOOR POUR WITH 4" SAND OVER THE CONDUITS. USE SCHEDULE 40 PVC CONDUITS. UTILIZE THE FLOOR BOX ADJUSTING LEG SCREWS TO LEVEL THE BOX TO BE FLUSH WITH FLOOR WITH THE COVER INSTALLED, AS PER MANUFACTURER'S INSTRUCTIONS.

4. OBSERVE CAT-6 MINIMUM BENDING RADIUS IN DATA CONDUITS.

ELECTRICAL DEMOLITION KEY NOTES:

1. E.C. TO WIRE CORD REEL CIRCUITS SERVING THE ROOM THROUGH 60A CONTACTOR. WIRE CONTACTOR CIRCUIT THROUGH EMERGENCY PUSH BUTTON SO THAT IN THE EVENT THE BUTTON IS PRESSED, POWER IS CUT FROM ALL CORD REELS IN THE ROOM.
2. E.C. TO WIRE DRILL PRESS, SAW, AND CORD REEL CIRCUITS THROUGH 100A CONTACTOR. WIRE CONTACTOR CIRCUIT THROUGH EMERGENCY PUSH BUTTON SO THAT IN THE EVENT THE BUTTON IS PRESSED, POWER IS CUT FROM ALL MACHINES IN THE ROOM.
3. TRENCH BY E.C. E.C. TO RUN FROM INSIDE NEW WALL TO NEW FLOOR BOX IN TRENCH
   (1) 1 1/2" CONDUIT FOR NEW POWER CIRCUIT
   (1) 1 1/2" CONDUIT FOR NEW DATA WIRING
4. RELOCATED FACP TO NEW LOCATION AND WIRE TO GENERATOR POWERED PANEL.
5. PROVIDE AND INSTALL JUNCTION BOX FOR CARD ACCESS CONTROLLERS AND MOUNT ABOVE CEILING. SEE TECHNOLOGY PLANS FOR MORE INFORMATION.
6. (4) EXISTING SETS OF 4" CONDUITS AND WIRES LOCATED INSIDE PIPE TUNNEL. SECTIONS OF CONDUITS ARE MISSING/RUSTED/DECAYED FROM EXPOSURE TO ENVIRONMENT. E.C. TO USE (4) SETS OF 6" PVC CONDUIT IN 5' SECTIONS TO ENCASE EXISTING EXPOSED WIRES. CUT PVC CONDUIT IN HALF LENGTHWISE TO PLACE WIRES INTO, THEN USE OTHER HALF OF CUT TO ENCASE THE WIRES. INSTALL BONDING JUMPER WIRE TO BRIDGE THE GAP OF PVC CONDUIT, MAINTAINING THE GROUND PATH BETWEEN EXISTING METAL CONDUIT SECTIONS.

FLOOR BOX CONSTRUCTION NOTES:

1. POWER AND DATA SERVICE WILL BE SUPPLIED TO FLOOR EQUIPMENT VIA FLOOR BOXES AND CONDUITS AS DESCRIBED AS FOLLOWS.

2. THE FLOOR BOXES ARE FOUR-COMPARTMENT CAST-IRON COMBINATION FLOOR BOX. THE BOX WILL CONTAIN VARIOUS WIRING SERVICES. SEE TECHNOLOGY DRAWING FOR MORE DETAILS, ALL IN QUANTITIES AS REQUIRED FOR THE SPECIFIC LOCATION/LOAD SUPPLIED.

3. THE EXISTING SITE CONCRETE FLOOR IS TO BE SAW CUT BY GENERAL CONTRACTOR FROM THE WALL TO BOX LOCATION AS REQUIRED. THE FLOOR IS EXPECTED TO BE 4 INCHES THICK, BUT THIS THICKNESS IS NOT CONFIRMED. THE SLOT FOR THE CONDUITS SHALL BE 12 INCHES WIDE. THE FLOOR BOX HOLE SHALL BE 18 INCHES BY 18 INCHES, MINIMUM, OR LARGER AS REQUIRED. PROVIDE A CONCRETE FOUNDATION BLOCK UNDER THE CONDUITS AS REQUIRED TO STABILIZE AND POSITION THEM FOR FLOOR RESTORATION. PLACE CONDUITS IN THE SAND BELOW THE FLOOR POUR WITH 4" SAND OVER THE CONDUITS. USE SCHEDULE 40 PVC CONDUITS. UTILIZE THE FLOOR BOX ADJUSTING LEG SCREWS TO LEVEL THE BOX TO BE FLUSH WITH FLOOR WITH THE COVER INSTALLED, AS PER MANUFACTURER'S INSTRUCTIONS.

4. OBSERVE CAT-6 MINIMUM BENDING RADIUS IN DATA CONDUITS.

REV.	DATE	ITEM
01	03/12/25	BID ADDENDUM No. 03

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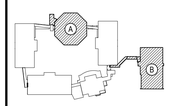

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

PROPOSED POWER PLANS

PROJECT

DWG TITLE

DRAWING BY: RP

CHECK BY: LW

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SED No. 66-01-02-06-0-007-013

DISTRICT BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT PHASE 2 - BOND IMPROVEMENTS

DWG TITLE PROPOSED FLOOR PLANS

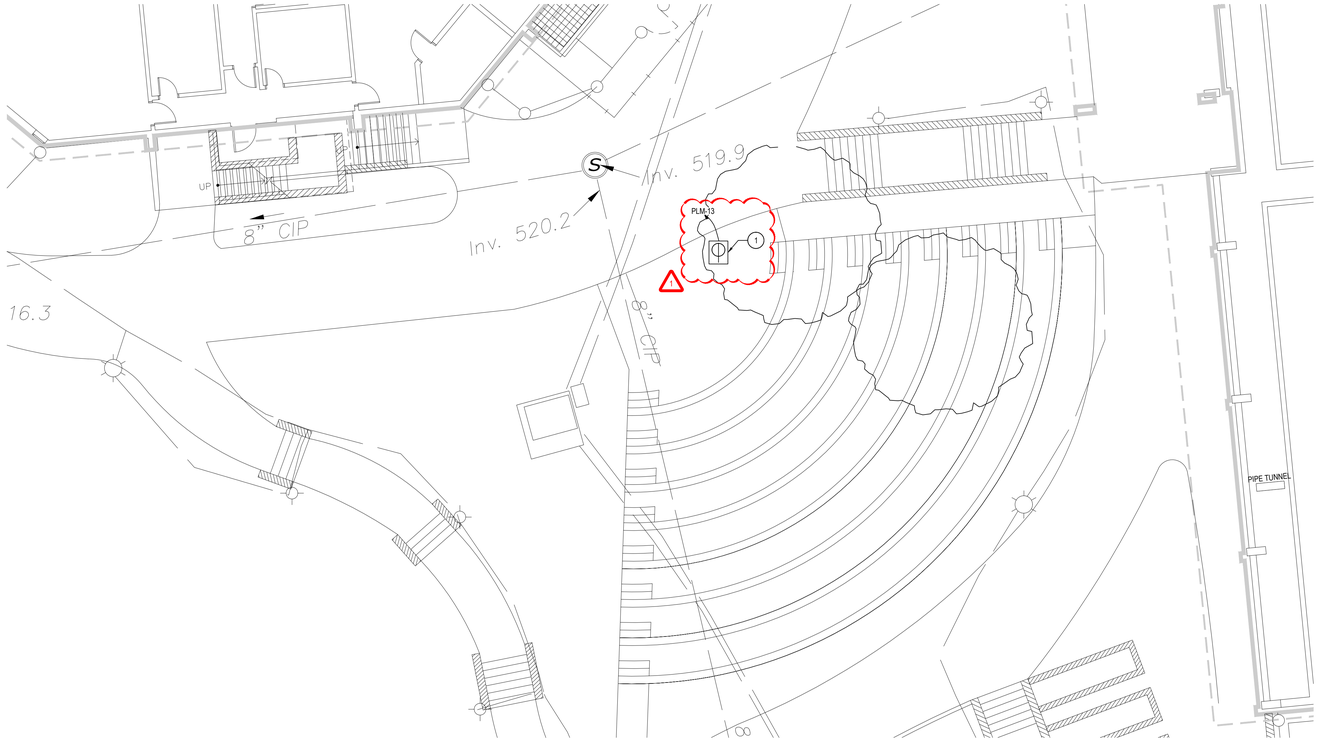
SCALE: AS NOTED

DATE: APRIL 2024

BID PICK-UP: FEBRUARY 24, 2025

FILE No: 23-131b FLMS

E4.01

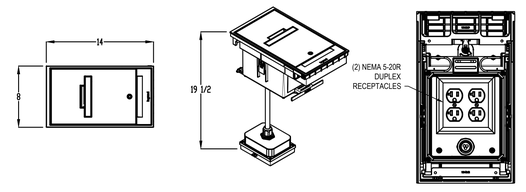


COURTYARD AMIPTHEATER PLAN

SCALE: 1/8" = 1'-0"

ELECTRICAL PROPOSED KEY NOTES:

1. INSTALL EXTERIOR FIELD BOX WITH (2) 125V, 20A NEMA 5-20R DUPLEX RECEPTACLES TO SERVE OUTDOOR AMPHITHEATER AREA. ALL EXCAVATION, BACKFILL, COMPACTION, AND RESTORATION OF IMPACTED SURFACED (ASPHALT, GRASS, SIDEWALKS, ETC) IS BY E.C. COORDINATE FINAL LOCATION WITH OWNER AND G.C. IN FIELD. SEE DETAIL THIS SHEET.



FIELD BOX DETAIL

BASIS OF DESIGN: LEGRAND WIREMOLD GROUND BOX #XB814C520C2BK OR EQUAL

SCALE: N.T.S.

REV.	DATE	ITEM
1	03/12/2025	BID ADDENDUM No. 3

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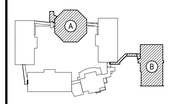

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

1 ADD ALTERNATE EC-2

PROJECT

POWER PLANS - COURTYARD AMPITHEATER

DWG TITLE

DRAWING BY: RP

CHECK BY: LW

NOTICE

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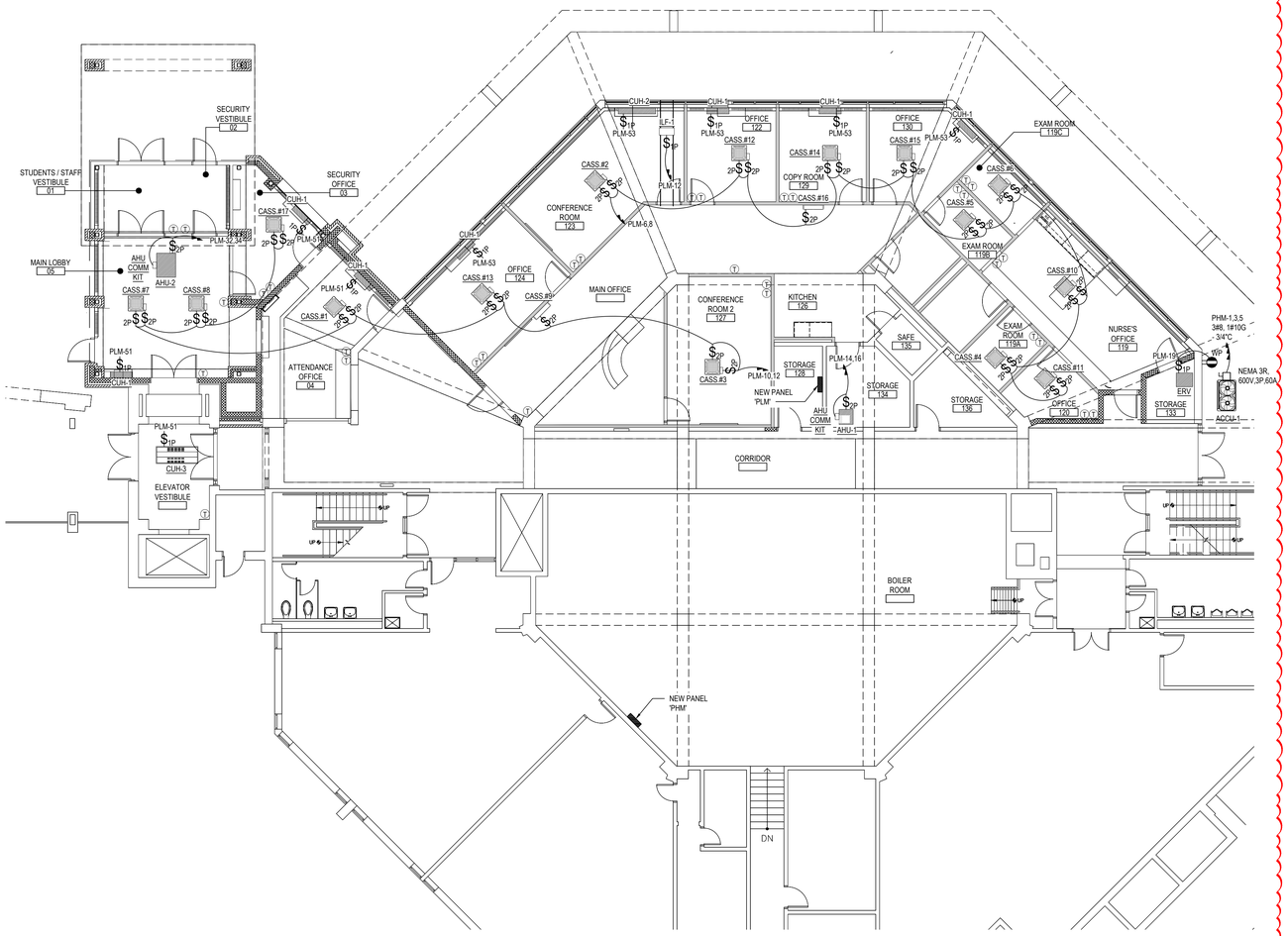
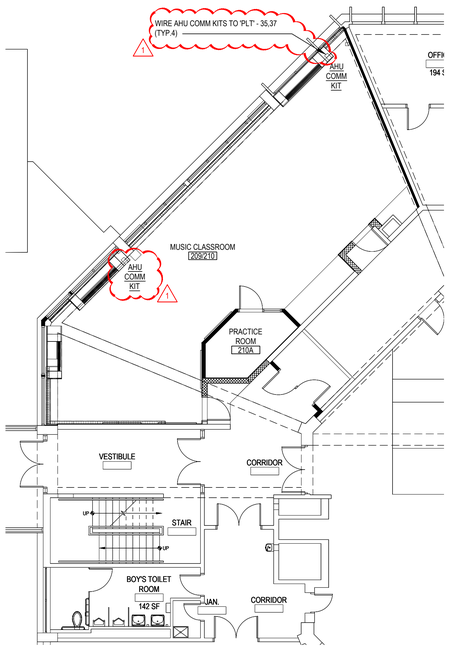
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	PROPOSED POWER PLANS - COURTYARD AMPITHEATER
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

E4.02



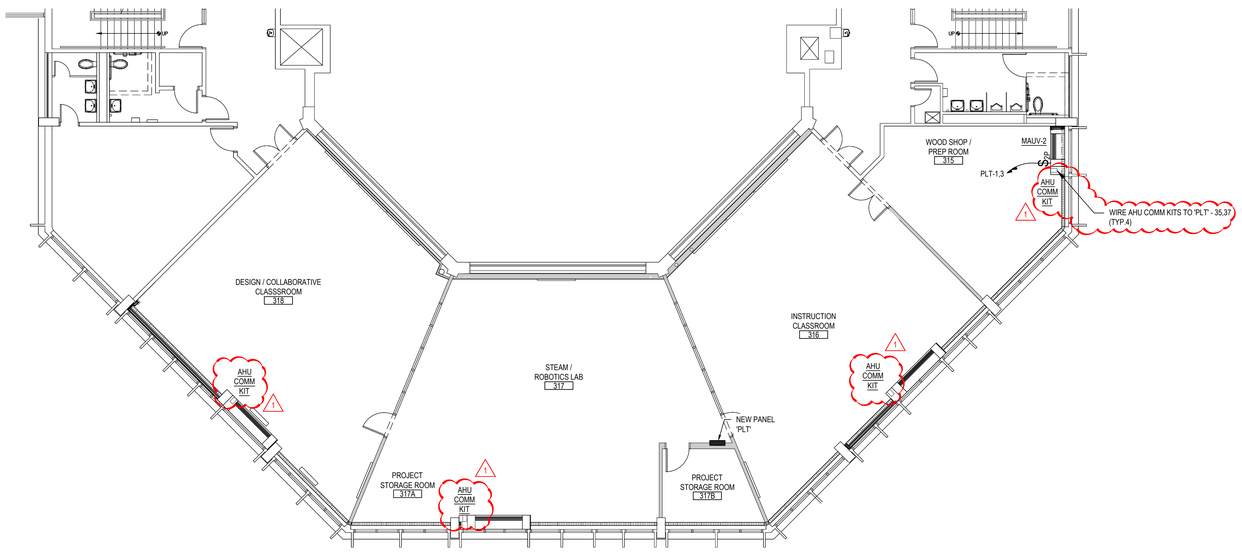
LOWER LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



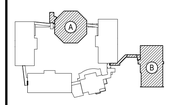
SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

ELECTRICAL PROPOSED GENERAL NOTES:

1. WHERE NECESSARY, E.C. SHALL RUN ALL EXPOSED CONDUITS AS CLOSE TO EXPOSED BEAMS AS POSSIBLE TO MAINTAIN AESTHETICS OF THE RENOVATED SPACES.
2. ALL CEILING CASSETTES HAVE CONDENSATE PUMPS. WIRE TO SAME CIRCUIT AS CASSETTE AS SHOWN ON PLANS.

REV.	DATE	ITEM
01	03/12/25	BID ADDENDUM No. 03



KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

PROJECT

PROPOSED MECHANICAL POWER PLANS

DWG TITLE

DRAWING BY: RP

CHECK BY: LW

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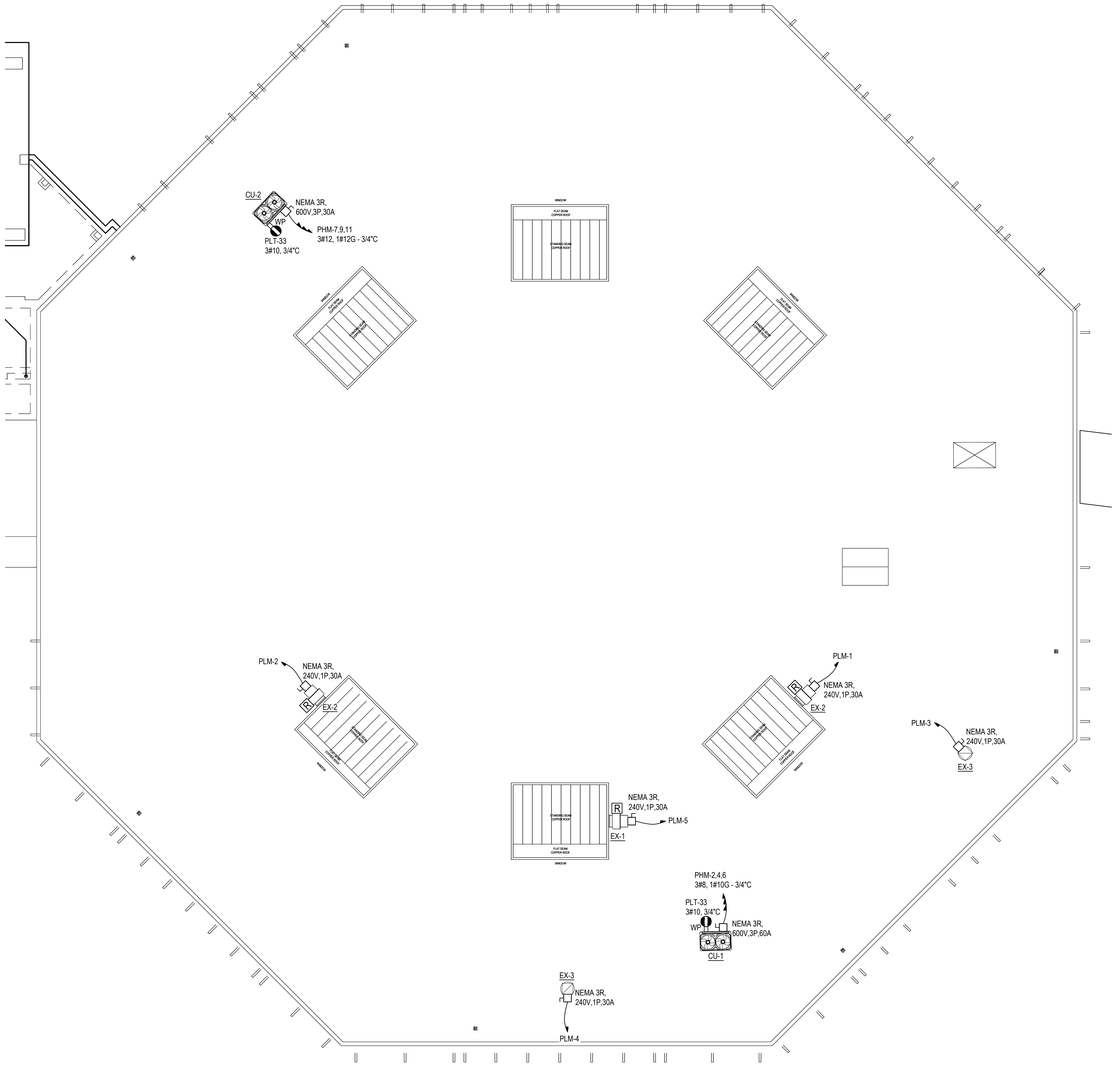
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	PROPOSED MECHANICAL POWER PLANS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

E4.03

ELECTRICAL GENERAL PROPOSED NOTES:

1. WIRE ALL MAINTENANCE RECEPTACLES TO NEAREST 120V CIRCUIT.



ROOF PLAN

SCALE: 1/8" = 1'-0"

REV.	DATE	ITEM

NOTICE

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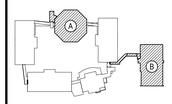

KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

PROPOSED ROOF PLANS

DRAWING BY:	RP
CHECK BY:	LW

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DWG TITLE	PROPOSED ROOF PLANS
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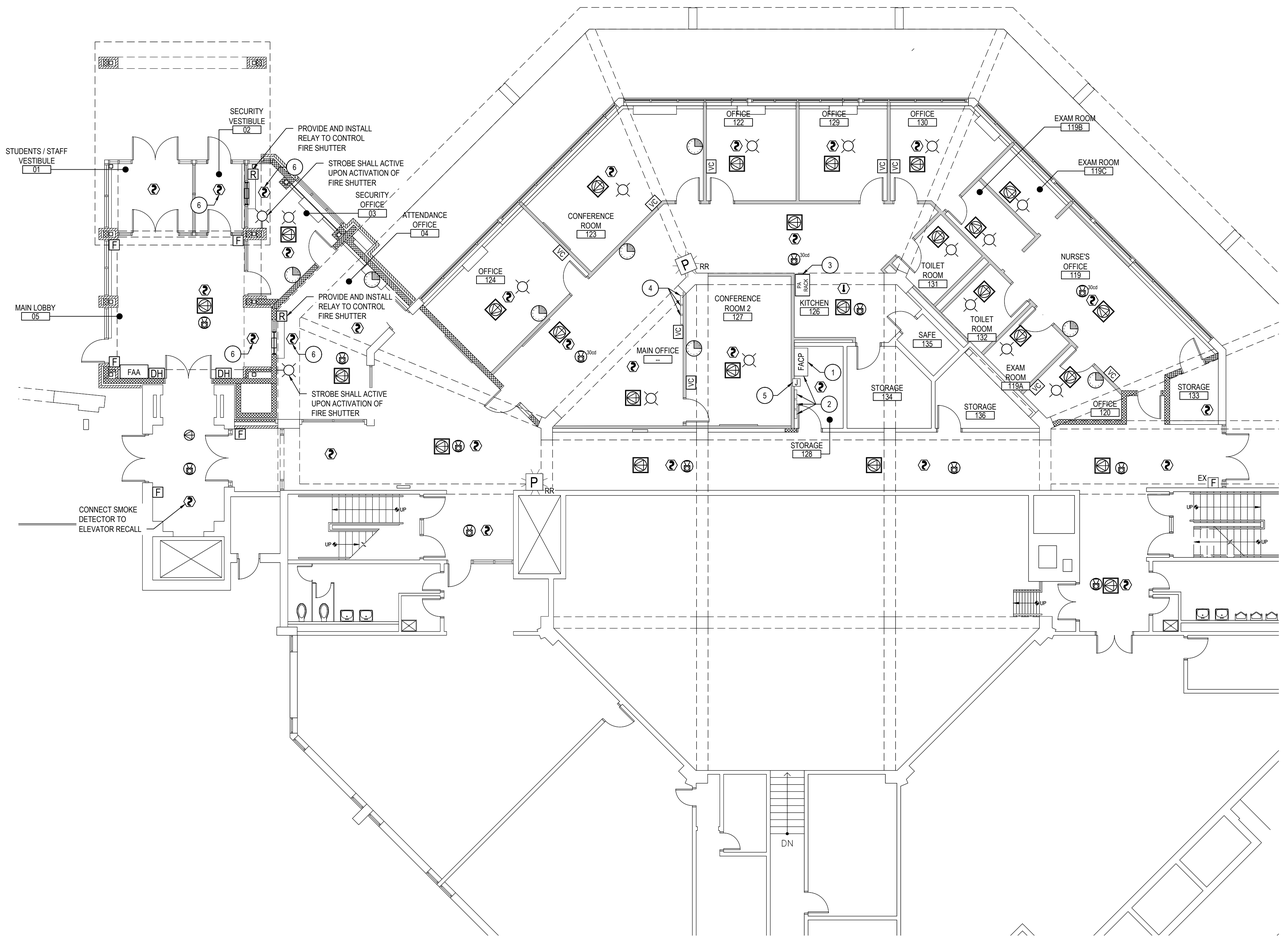
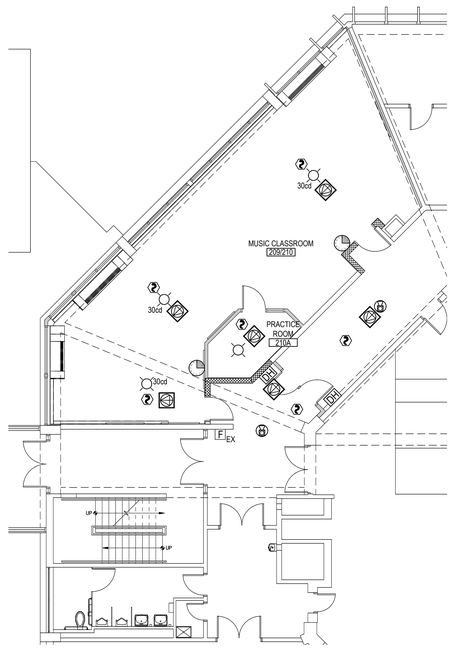
E4.04



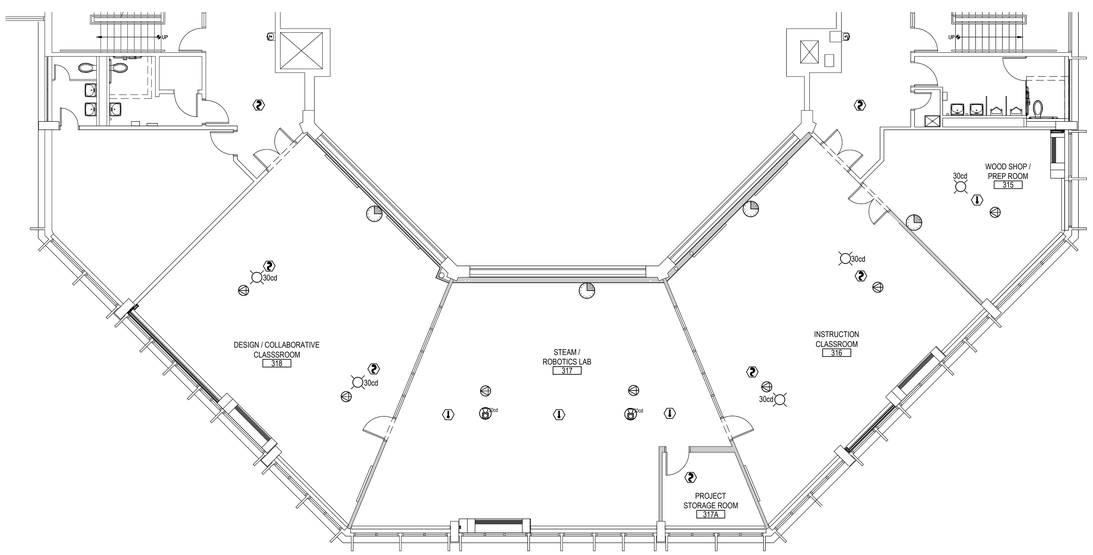
LOWER LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"



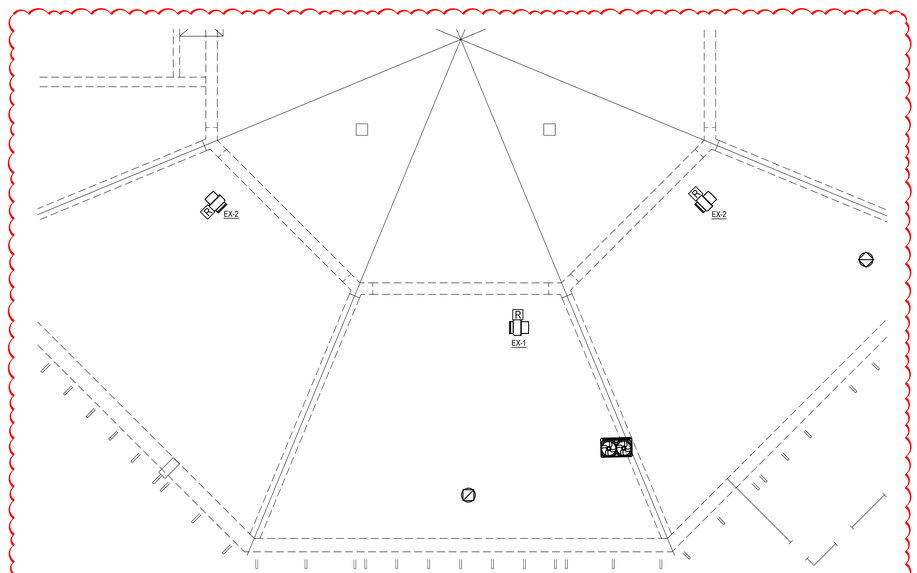
FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



ROOF PLAN

SCALE: 1/8" = 1'-0"

ELECTRICAL PROPOSED GENERAL NOTES:

1. WHERE NECESSARY, E.C. SHALL RUN ALL EXPOSED CONDUITS AS CLOSE TO EXPOSED BEAMS AS POSSIBLE TO MAINTAIN AESTHETICS OF THE RENOVATED SPACES.

2. PROVIDE ADAPTIVE HARDWARE TO POWER OF THE STROBES AND HORNS. THE STROBE CANDELA IS 15 cd UNLESS OTHERWISE INDICATED ON DRAWING.

ELECTRICAL PROPOSED KEY NOTES:

1. E.C. TO PROVIDE AND INSTALL NEW LOOP CONTROLLER INTO EXISTING FIRE ALARM CONTROL PANEL TO SERVE PROPOSED ADDITIONAL DEVICES.
2. E.C. TO REINSTALL FIRE ALARM PANEL, FIRE ALARM BOX, DATABASE, AND ALARM PANEL INTO NEW STORAGE CLOSET. TEST ALL DEVICES TO ENSURE FUNCTIONALITY AFTER REINSTALLATION. EXTEND/SHORTEN WIRING AS NEEDED. PROVIDE FA CERTIFICATION LETTER FROM FIRE ALARM VENDOR.
3. E.C. TO RECONNECT ALL PA CONNECTIONS TO EXISTING RACK IN NEW LOCATION. EXTEND/SHORTEN WIRING AS NEEDED.
4. E.C. TO REINSTALL TIME CARD READER, EMERGENCY GENERATOR ANNUNCIATOR, AND PA/CLOCK SYSTEM CONTROLS ONTO NEW MAIN OFFICE WALL. TEST ALL DEVICES TO ENSURE FUNCTIONALITY AFTER REINSTALLATION. EXTEND/SHORTEN WIRING AS NEEDED.
5. E.C. TO REROUTE ALL FA WIRES FROM OLD SPLICE BOX LOCATION TO NEW SPLICE BOX LOCATION. INSTALL NEW SPLICE BOX RECESSED IN WALL UNDERNEATH THE FACP. EXTEND/SHOTEN WIRES AS NEEDED. VERIFY ALL CONNECTIONS AND ENSURE THAT ALL DEVICES TO REMAIN ARE FUNCTIONAL.
6. CONNECT SMOKE DETECTOR TO FIRE SHUTTER SUCH THAT IN THE ACTIVATION OF THIS DETECTOR THE SHUTTER SHALL CLOSE.

SPECIAL SYSTEMS SCHEDULE

SYMBOL	DESCRIPTION
	SMOKE DETECTOR WITH BASE BY SIMPLEX. MODEL #FDO421
F	MANUAL PULL STATION WITH STI STOPPER PROTECTIVE SHIELD WITHOUT ALARM (OR SIMILAR). MODEL #HMS-S
	CEILING MOUNT STROBE NOTIFICATION DEVICE. MODEL #SLSCW-F
	CEILING MOUNT HORN / STROBE NOTIFICATION DEVICE. MODEL #SLHSCW-F
DH	ELECTROMAGNETIC HOLD OPEN DEVICE. VOLTAGE TO MATCH SYSTEM.
R	FIRE ALARM RELAY. MODEL #TRI-R
	RECESSED CEILING MOUNTED PUBLIC ADDRESS SPEAKER COMPATIBLE WITH EXISTING SYSTEM.
	RECESSED LAY-IN 2X2 PUBLIC ADDRESS DROP-IN CEILING SPEAKER. MODEL #CSD2X2
VC	VOLUME CONTROL ATTENUATOR FOR PUBLIC ADDRESS SPEAKER(S) MODEL #AT10A OR AT35A

REV.	DATE	ITEM
01	03/12/25	BID ADD. NO. 03

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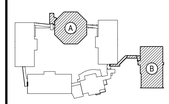

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

PROJECT

PROPOSED SPECIAL SYSTEMS PLANS

DWG TITLE

DRAWING BY: RP

CHECK BY: LW

BBS
ARCHITECTS
LANDSCAPE ARCHITECTS
ENGINEERS

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SED No:	66-01-02-06-0-007-013
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PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	PROPOSED SPECIAL SYSTEMS PLANS
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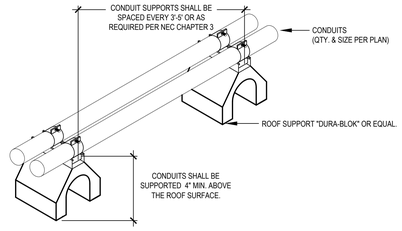
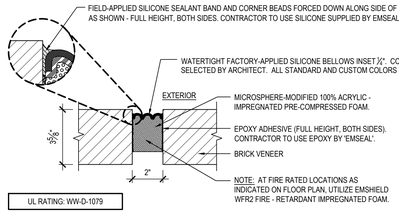
E5.01

1. INSTALL EXPANSION FITTINGS THROUGHOUT ROOFTOP CONDUIT PER NEC.
2. WHERE PVC CONDUIT IS USED ON THE ROOF, IT MUST MEET UL651 FOR UV RESISTANCE & CONTINUOUS OUTDOOR USE.
3. EC SHALL COORDINATE EXACT LOCATIONS FOR ALL CONNECTIONS AND SWITCHES ON MECHANICAL EQUIPMENT WITH MC. DO NOT BLOCK ACCESS PANELS, PIPING PORTS, ETC.
4. ANY PENETRATIONS IN ROOF SURFACE SHALL BE MADE AS PER ROOFING MANUFACTURERS REQUIREMENTS AND SHALL NOT TO VOID THE ROOFING MANUFACTURERS WARRANTY. ELECTRICAL PENETRATIONS TO BE BY ELECTRICAL CONTRACTORS ROOFING SUBCONTRACTOR.



1 ROOFTOP CONDUIT SUPPORT DETAIL

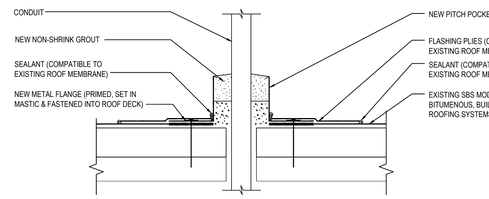
SCALE: N.T.S.



2 EXTERIOR 2" FULL BUILDING EXPANSION JOINT DETAIL

SEISMIC COLORSEAL BY 'EMSEAL' OR ARCHITECT APPROVED EQUAL

SCALE: 3" = 1'-0"

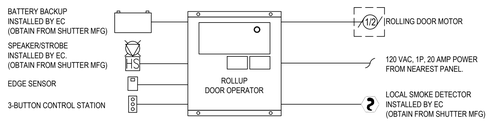


NOTE:
PVC RUN DOWN THROUGH ROOF INTO HUNG CLG. RUN CONDUIT IN PIPE CURB ASSY. CONSISTING OF 12" HIGH GALV. ROOF CURB W/ CAP AND BOOT FOR REFRIGERANT PIPING, ELECTRICAL PIPING, CONTROL WIRING, ETC. MANUFACTURED BY THE "PATE COMPANY" - MOUNT RAIL ON WALKWAY PADS & SECURE PADS TO ROOF W/ ADHESIVE.

3 PIPING PENETRATION THROUGH ROOF DETAIL

ALL E.C. ROOF PENETRATIONS ARE BY ELECTRICAL CONTRACTORS AUTHORIZED ROOFING SUBCONTRACTOR

SCALE: N.T.S.

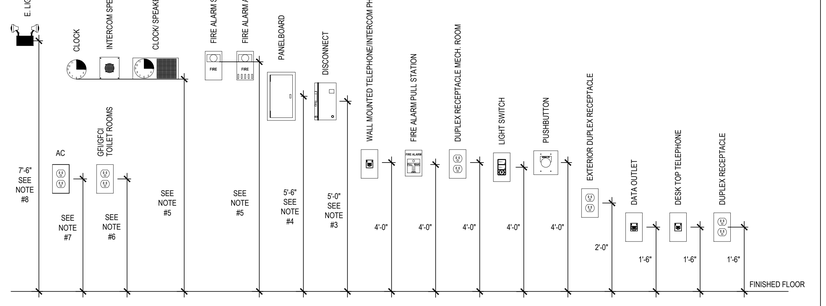


NOTES

1. ELECTRICAL CONTRACTOR SHALL WIRE AND GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ALL EQUIPMENT UNLESS OTHERWISE NOTED. WIRE ROLLING COUNTER FIRE DOOR FAIL-SAFE RELEASE UNIT TO EXISTING NEARBY 120/208V AC ELECTRICAL PANEL NEW 20 AMP, 1 POLE CIRCUIT BREAKER WITH 3-#12 IN 3/4"C.
2. ALL WORK SHALL BE IN ACCORDANCE MANUFACTURER SPECIFICATIONS, LATEST EDITION OF NEC, ANY LOCAL, STATE CODES, AND ENGINEERING SPECIFICATIONS.

4 ROLL UP FIRE DOOR FAIL-SAFE RELEASE DEVICES/CONTROL PANEL WIRING DIAGRAM

SCALE: N.T.S.

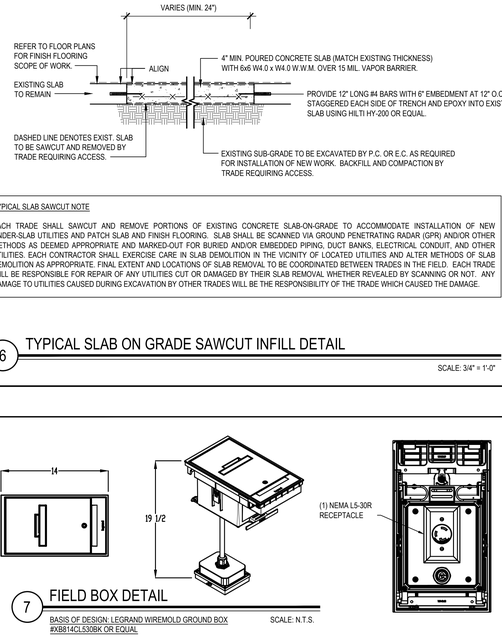


NOTES:

1. IN LOCATIONS WHERE SIMILAR DEVICES ARE MOUNTED AT THE SAME HEIGHT, DEVICES SHALL BE PROPERLY "GANGED" AND SHALL HAVE A SINGLE COVER PLATE.
2. IN LOCATIONS WHERE DIFFERENT DEVICES ARE MOUNTED AT DIFFERENT HEIGHTS WITHIN FOUR FEET OF ONE ANOTHER, DEVICES SHALL BE MOUNTED SUCH THAT THEY HAVE A COMMON CENTERLINE. IF THERE ARE THREE OR MORE DEVICES, THE CONTRACTOR SHALL REQUEST A DETAIL FROM THE ARCHITECT.
3. DISCONNECTS FOR MECHANICAL EQUIPMENT SHALL BE MOUNTED PER MANUFACTURERS INSTRUCTIONS.
4. THE HEIGHT OF THE HIGHEST BREAKER OR FUSE SHALL NOT EXCEED 6'-7" A.F.F PER NEC.
5. 80" TO BOTTOM, OR AT SHALLOW CEILING INSTALLATIONS, WITHIN 6" OF FINISHED CEILING. VERIFY WITH ENGINEER.
6. IN TOILET ROOMS WITH BACK SPLASH AT VANITY, MOUNT CENTER AT 4" ABOVE BACK SPLASH. IF NO BACK SPLASH, MOUNT 4" ABOVE COUNTER. IF NO COUNTER, MOUNT AT 48" AFF.COORDINATE WITH ARCHITECTURAL PLANS. REFER TO ELEVATIONS AND FURNITURE PLANS.
7. RECEPTACLE IN PLAN WITH THE NOTATION 'AC' INDICATES MOUNTING HEIGHT OF 4" ABOVE COUNTER OR 4" ABOVE BACK SPLASH. COORDINATE WITH ARCHITECTURAL PLANS. REFER TO ELEVATIONS AND FURNITURE PLANS.
8. MOUNT AT 7'-6" ABOVE CLOSEST FLOOR LEVEL (LANDINGS, STEPPED FLOORS, ETC.) UNLESS OTHERWISE NOTED.
9. ALL HEIGHTS SHOWN ARE STANDARD UNLESS OTHERWISE NOTED ON THE PLANS.

5 DEVICE MOUNTING HEIGHT DETAIL

SCALE: N.T.S.



TYPICAL SLAB SAWCUT NOTE

EACH TRADE SHALL SAWCUT AND REMOVE PORTIONS OF EXISTING CONCRETE SLAB-ON-GRADE TO ACCOMMODATE INSTALLATION OF NEW UNDER-SLAB UTILITIES AND PATCH SLAB AND FINISH FLOORING. SLAB SHALL BE SCANNED VIA GROUND PENETRATING RADAR (GPR) AND/OR OTHER METHODS AS DEEMED APPROPRIATE AND MARKED-OUT FOR BURIED AND/OR EMBEDDED PIPING, DUCT BANKS, ELECTRICAL CONDUIT, AND OTHER UTILITIES. EACH CONTRACTOR SHALL EXERCISE CARE IN SLAB DEMOLITION IN THE VICINITY OF LOCATED UTILITIES AND ALTER METHODS OF SLAB DEMOLITION AS APPROPRIATE. FINAL EXTENT AND LOCATIONS OF SLAB REMOVAL TO BE COORDINATED BETWEEN TRADES IN THE FIELD. EACH TRADE WILL BE RESPONSIBLE FOR REPAIR OF ANY UTILITIES CUT OR DAMAGED BY THEIR SLAB REMOVAL WHETHER REVEALED BY SCANNING OR NOT. ANY DAMAGE TO UTILITIES CAUSED DURING EXCAVATION BY OTHER TRADES WILL BE THE RESPONSIBILITY OF THE TRADE WHICH CAUSED THE DAMAGE.

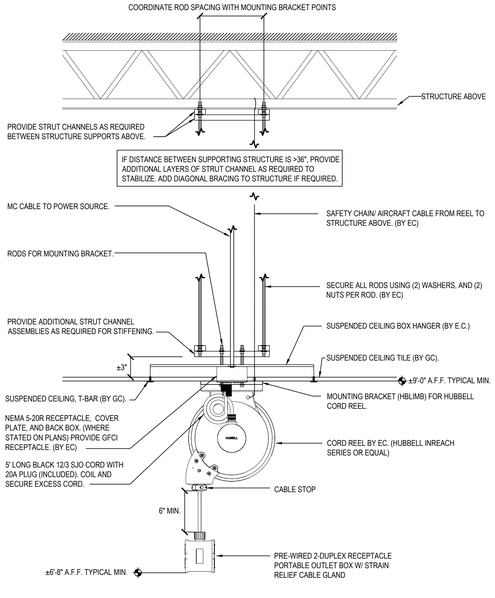
6 TYPICAL SLAB ON GRADE SAWCUT INFILL DETAIL

SCALE: 3/4" = 1'-0"

7 FIELD BOX DETAIL

BASIS OF DESIGN: LEGRAND WIREMOLD GROUND BOX #XB814CL530BK OR EQUAL

SCALE: N.T.S.

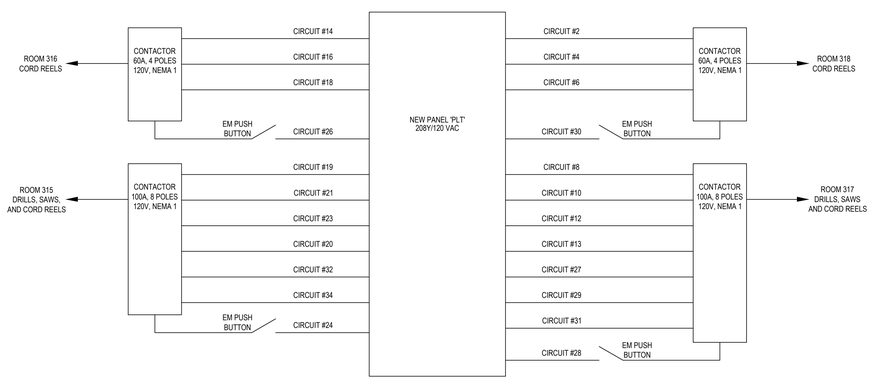


1. CORD REEL IS TO SIT FLUSH BELOW THE CEILING ASSEMBLY BUT THE ENTIRE ±26LB LOAD OF THE CORD REEL IS TO BE CARRIED BY THE STRUCTURE ABOVE VIA ROD & STRUT CHANNEL ASSEMBLY. (BY E.C.)

8 CORD REEL DETAIL WITH GFCI PROTECTION

FULL ASSEMBLY TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS. CORD REEL TO BE WHITE UNLESS OTHERWISE NOTED ON PLANS

SCALE: N.T.S.



9 ROOM 315, 316, 317, AND 318 CONTROL WIRING DIAGRAM

N.T.S.

REV.	DATE	ITEM

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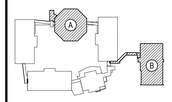

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DETAILS

PROJECT

DWG TITLE

DRAWING BY: RP

CHECK BY: LW

NOTICE

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DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	DETAILS
SCALE:	AS NOTED
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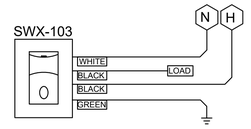
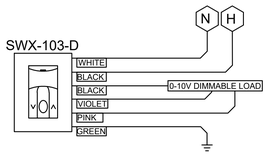
FILE No:	23-131b FLMS

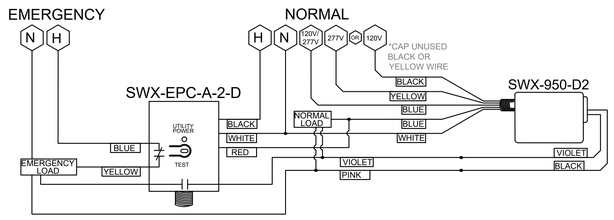
E7.01



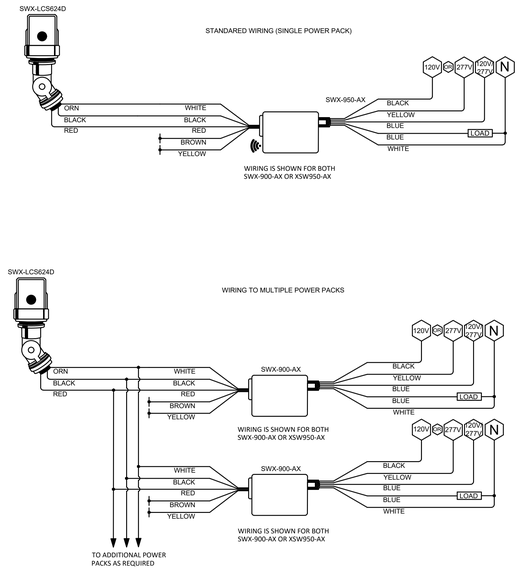
1 WALL SWITCH SENSOR (ON/OFF)
TYPICAL STORAGE, VAULT, CLOSET, TOILET



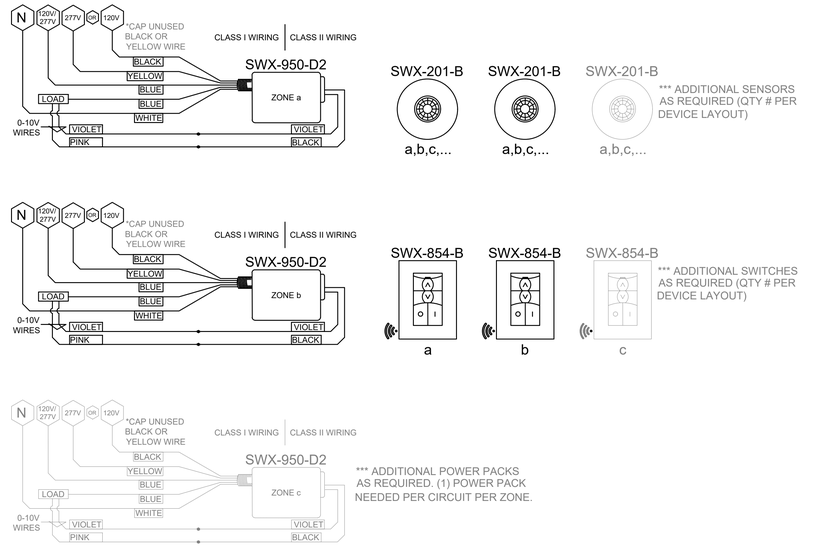
2 WALL SWITCH SENSOR W/ 0-10V DIMMING
TYPICAL OFFICE, COPY, QUIET STUDY ROOM



3 TYPICAL UL927 DIMMING RELAY WIRING TO POWER PACK
-

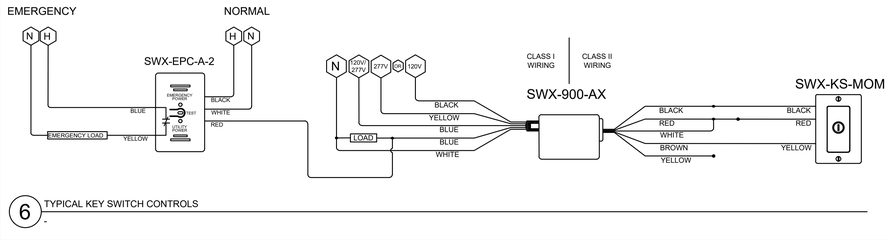


4 TYPICAL EXTERIOR PHOTOCELL TO POWER PACK
-

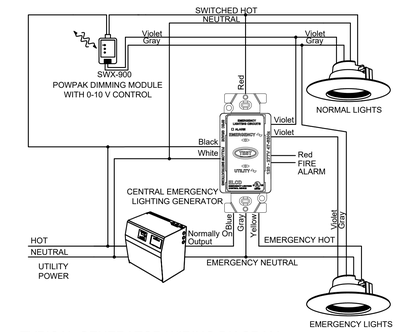


*** MAX DISTANCE FROM POWERPACK TO ALL WIRELESS DEVICES = 80FT WITH UNOBSTRUCTED VIEW OR = 40FT WITH OBSTRUCTIONS

5 TYPICAL WIRELESS CONTROLS WITH CEILING SENSORS & DIMMER SWITCHES
-



6 TYPICAL KEY SWITCH CONTROLS
-



TYPICAL GENERATOR WIRING DIAGRAM

N.T.S.

REV.	DATE	ITEM

NOTICE

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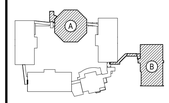

KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

DETAILS

DRAWING BY: RP

CHECK BY: LW

NOTICE

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SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	DETAILS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

E7.02

PANEL BOARD

NAME: PHM | LOCATION: BOILER ROOM

TYPE: | BRANCH BREAKER TYPE: BOLT ON | NO. OF POLES: 18 | BUS SIZE (A): 250A

MIN AIC RATING (KA): 22K | NEUTRAL: 250A | MAIN CIRCUIT BREAKER: 250A, 3P

MAIN LUGS: 4/0 | VOLTS: 277/480V | PHASE: 3 | # WIRES: 4

MOUNTING: SURFACE MOUNTED | ENCL. TYPE: 1 | DOOR REQ'D: DOOR-IN-DOOR

ACCESSORIES: SURGE PROTECTIVE DEVICE (SPD): ☐ | SPD RATING(KA): N/A | SUB-FEED LUGS: ☐ | FEED-THRU LUGS: ☐
SHUNT TRIP MAIN: ☐ | ASCO SWITCH: ☐ | ISOLATED GROUND: ☐

CKT. #	DESIGNATION	WIRE SIZE	CKT. BRKR.	LOAD A	LOAD B	LOAD C	CKT. BRKR.	WIRE SIZE	DESIGNATION	CKT. #
1	ACCU-1	8	50A				50A	8	CU-1	2
3										4
5										6
7	CU-2	12	25A				175A	2/0	NEW 112.5kVA TRANSFORMER	8
9										10
11										12
13										14
15										16
17										18

PANEL BOARD

NAME: PLM | LOCATION: STORAGE 14

TYPE: | BRANCH BREAKER TYPE: BOLT ON | NO. OF POLES: 60 | BUS SIZE (A): 400A

MIN AIC RATING (KA): 22K | NEUTRAL: 400A | MAIN CIRCUIT BREAKER: 400, 3P

MAIN LUGS: 500kCMIL | VOLTS: 120/208V | PHASE: 3 | # WIRES: 4

MOUNTING: SURFACE | ENCL. TYPE: 1 | DOOR REQ'D: DOOR-IN-DOOR

ACCESSORIES: SURGE PROTECTIVE DEVICE (SPD): ☐ | SPD RATING(KA): N/A | SUB-FEED LUGS: ☐ | FEED-THRU LUGS: ☐
SHUNT TRIP MAIN: ☐ | ASCO SWITCH: ☐ | ISOLATED GROUND: ☐

	CKT. #	DESIGNATION	WIRE SIZE	CKT. BRKR.	LOAD A	LOAD B	LOAD C	CKT. BRKR.	WIRE SIZE	DESIGNATION	CKT. #
	1	EX-2	10	25A				25A	10	EX-2	2
	3	EX-3	10	25A				25A	10	EX-3	4
	5	EX-1	12	15A				20A	12	IDUs	6
	7	119, 119B, 119C RECEPTACLES AND WALLBOX	12	20A							8
	9	122 RECEPTACLES AND WALLBOXES	12	20A				20A	12	IDUs	10
	11	ILF-1	12	20A							12
(G)	13	AMPITHEATER FIELD BOX	12	20A				15A	12	AHU-1	14
	15	SPARE		20A							16
	17	119A, 120 RECEPTACLES	12	20A				20A	12	130 RECEPTACLES AND WALLBOXES	18
	19	ERV, OUTSIDE GFI, 133 RECEPTACLES	12	20A				20A	12	MAIN OFFICE RECEPTACLES	20
	21	HAND DRYER	12	20A				20A	12	KITCHEN REFRIGERATOR RECEPTACLE	22
	23	HAND DRYER	12	20A				20A	12	CONFERENCE & RECEPTION RECEPTACLES	24
	25	129 RECEPTACLES AND WALLBOXES	12	20A				20A	12	CONFERENCE, PRINT, COPY, RECEPTACLES	26
	27	OFFICE, CONFERENCE ROOM RECEPTACLES	12	20A				20A	12	RECEPTION, CONFERENCE RECEPTACLES	28
	29	OFFICE, CONFERENCE ROOM RECEPTACLES	12	20A				20A	12	MAIN OFFICE AND LOBBY RECEPTACLES	30
	31	SECURITY RECEPTACLES	12	20A				15A	12	AHU-2	32
	33	SECURITY RECEPTACLES	12	20A							34
	35	VESTIBULE RECEPTACLES	12	20A				20A	12	209/210 RECEPTACLES	36
	37	209/210 RECEPTACLES	12	20A				20A	12	209/210 RECEPTACLES	38
	39	209/210 RECEPTACLES	12	20A				20A	12	209/210 RECEPTACLES	40
	41	209/210 RECEPTACLES	12	20A				20A	12	209/210 RECEPTACLES	42
	43	NURSE'S OFFICE FRIDGE RECEPTACLE	12	20A				20A	12	209/210 RECEPTACLES	44
	45	FIRE SHUTTER	12	20A				20A	12	209/210 RECEPTACLES	46
	47	IDF QUAD	12	20A				20A	12	KITCHEN COUNTER RECEPTACLE	48
	49	124 RECEPTACLES AND WALLBOX	12	20A				225A	4/0	PANEL 'PLT'	50
	51	CABINET HEATERS	12	20A							52
	53	CABINET HEATERS	12	20A							54
	55	SPARE		20A				20A		SPARE	56
	57	SPARE		20A				20A		SPARE	58
	59	SPARE		20A				20A		SPARE	60

(G) = GFI RECEPTACLE

PANEL BOARD

NAME: PLT | LOCATION: STEAM/ROBOTICS 317

TYPE: | BRANCH BREAKER TYPE: BOLT ON | NO. OF POLES: 42 | BUS SIZE (A): 225A

MIN AIC RATING (KA): 22K | NEUTRAL: 225A | MAIN CIRCUIT BREAKER: 225A, 3P

MAIN LUGS: 4/0 | VOLTS: 120/208V | PHASE: 3 | # WIRES: 4

MOUNTING: RECESSED | ENCL. TYPE: 1 | DOOR REQ'D: DOOR-IN-DOOR

ACCESSORIES: SURGE PROTECTIVE DEVICE (SPD): ☐ | SPD RATING(KA): N/A | SUB-FEED LUGS: ☐ | FEED-THRU LUGS: ☐
SHUNT TRIP MAIN: ☐ | ASCO SWITCH: ☐ | ISOLATED GROUND: ☐

CKT. #	DESIGNATION	WIRE SIZE	CKT. BRKR.	LOAD A	LOAD B	LOAD C	CKT. BRKR.	WIRE SIZE	DESIGNATION	CKT. #
1	MAUV-2	12	15A				20A	12	318 CORD REELS	2
3							20A	12	318 CORD REELS	4
5	318 WINDOW WALLBOXES	12	20A				20A	12	318 CORD REELS	6
7	317A, 317, 318 RECEPTACLES	12	20A				20A	12	317 CORD REELS	8
9	317 LASER PRINTER WALLBOX	12	20A				20A	12	317 CORD REELS	10
11	317 WALLBOXES	12	20A				20A	12	317 CORD REELS	12
13	317 CORD REEL	12	20A				20A	12	316 CORD REELS	14
15	316, 317, 317B RECEPTACLES	12	20A				20A	12	316 CORD REELS	16
17	317 WALLBOXES	12	20A				20A	12	316 CORD REELS	18
19	315 RECEPTACLE	12	20A				20A	12	315 RECEPTACLE	20
21	315 RECEPTACLE	12	20A				20A	12	316, 318 SMARTBOARD WALLBOXES	22
23	315 RECEPTACLE	12	20A				20A	12	315 CONTACTOR POWER	24
25	316 RECEPTACLE AND WALLBOX	12	20A				20A	12	316 CONTACTOR POWER	26
27	317 RECEPTACLE	12	20A				20A	12	317 CONTACTOR POWER	28
29	317 RECEPTACLE	12	20A				20A	12	318 CONTACTOR POWER	30
31	317 RECEPTACLE	12	20A				20A	12	316 CORD REEL	32
33	MAINTENANCE RECEPTACLES	10	20A				20A	12	316 CORD REEL	34
35	AHU COMM KITS									36
37										38
39										40
41										42

REV.	DATE	ITEM
01	03/12/25	BID ADDENDUM No. 03

NOTICE

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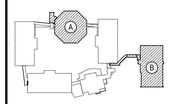

KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

PANEL SCHEDULES

DRAWING BY: RP

CHECK BY: LW

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SED No. 66-01-02-06-0-007-013

DISTRICT: BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT: PHASE 2 - BOND IMPROVEMENTS

DWG TITLE: PANEL SCHEDULES

SCALE: AS NOTED

DATE: APRIL 2024

BID PICK-UP: FEBRUARY 24, 2025

FILE No: 23-131b FLMS

E8.01

GENERAL NOTES

1. IT IS STRONGLY RECOMMENDED BY THE ARCHITECT / ENGINEER THAT THE CONTRACTOR VISIT THE SITE AND VERIFY IN THE FIELD ALL EXISTING CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS REQUIRED FOR ESTIMATING.
2. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR NO MATTER WHAT TRADE, TO REVIEW THE ENTIRE BID PACKAGE CONSISTING OF (ALL CONSTRUCTION DRAWINGS AND THE PROJECT MANUAL) PRIOR TO SUBMITTING THEIR BID. THE CONTRACTOR(S) WILL BE HELD ACCOUNTABLE FOR ALL MATERIALS IN THE BID PACKAGE NO MATTER WHERE IT IS LOCATED IN THE DOCUMENTATION.
3. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL EXISTING CONDITIONS, COMPONENTS, MEASUREMENTS, DISCREPANCIES AND ANY OTHER ITEMS THAT WILL IMPEDE THE PROGRESS OF OR INCREASE THE COSTS TO THE CURRENT WORK SCOPE. IF ANY OF THESE ITEMS EXIST THE CONTRACTOR SHALL REFER TO GENERAL NOTE No. 4.
4. ALL QUESTIONS, DISCREPANCIES AND REQUESTS FOR INFORMATION MUST BE SUBMITTED IN WRITTEN FORM TO THE ATTENTION OF THE ARCHITECT OR ENGINEER. THE CONTRACTOR SHALL FOLLOW THE FORMAT OUTLINED IN THE PROJECT MANUAL, DIVISION 1, GENERAL REQUIREMENTS, SPECIFICATION SECTION - 012600, CONSTRUCTION PHASE CLARIFICATIONS, REQUESTS FOR INFORMATION FROM ARCHITECT'S OFFICE.
5. IF NO QUESTIONS ARE RAISED ON A PARTICULAR ITEM IN QUESTION DURING THE BIDDING PROCESS, IT WILL BE THE UNDERSTANDING OF THE OWNER, CONSTRUCTION MANAGER, ARCHITECT, ENGINEER AND CONTRACTOR(S), THAT THE CONTRACTOR HAS VISITED THE SITE IN CONJUNCTION WITH REVIEWING THE CONTRACT DOCUMENTS (ALL CONSTRUCTION DRAWINGS AND THE PROJECT MANUAL) AND UNDERSTANDS THE ARCHITECTS/ENGINEERS INTENTIONS. IF A QUESTION IS RAISED AFTER THE BIDDING PHASE, THE CONTRACTOR WILL BE HELD TO THE ARCHITECT OR ENGINEERS INTERPRETATION OF ANY AND ALL COSTS ASSOCIATED WILL BARE SOLELY ON THE RESPONSIBILITY OF THE CONTRACTOR. NO ADDITIONAL COSTS WILL BE ACCEPTED OR PASSED ONTO THE OWNER.
6. THE CONTRACTOR SHALL PROTECT THE AREA OF WORK FROM ANY INCLEMENT WEATHER THAT MAY OCCUR DURING THE WORK DAY AND AFTER DAILY OPERATIONS. THIS PROTECTION SHALL BE IN PLACE THROUGHOUT THE DURATION OF THE PROJECT, AS OUTLINED IN SPECIFICATION SECTION 013000.
7. ALL WORK SHALL BE IN ACCORDANCE WITH STATE AND LOCAL CODES, THE REQUIRED EXITS IN THE EXISTING BUILDING MUST BE KEPT CLEAR, MAINTAINED, AND PROTECTED, AS OUTLINED IN SPECIFICATION SECTION 013500 - UNIFORMED SAFETY STANDARDS FOR SCHOOL CONSTRUCTION AND MAINTENANCE PROJECTS: COMMISSIONERS REGULATIONS, SECTION 155.5.
8. ALL CONTRACTORS SHALL SUBMIT SAMPLES TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK. ALL SUBMITTALS SHALL BE IN ACCORDANCE WITH THE PROJECT MANUAL - DIVISION 1 - GENERAL REQUIREMENTS - SPECIFICATION SECTION 013300 - SUBMISSIONS.
9. ALL DEMOLITION AND CONSTRUCTION WORK TO BE PERFORMED WITHOUT INTERRUPTION TO THE DISTRICT ADMINISTRATION OPERATIONS AND SHALL COMPLY WITH THE PROCEDURES OUTLINED IN THE PROJECT MANUAL - DIVISION 1 - GENERAL REQUIREMENTS - SECTION 013300 - SPECIAL PROCEDURES AND PROVISIONS, AND SECTION 013500 - COMMISSIONERS REGULATIONS, (PART 155.5) AND SAFETY STANDARDS.
10. ALL EXISTING VENTILATION DIFFUSERS AND GRILLS SHALL BE COVERED AND PROTECTED AGAINST ANY FOREIGN MATTER ENTERING THE SYSTEMS DURING CONSTRUCTION. THE CONTRACTOR MUST ALSO MAINTAIN ADEQUATE VENTILATION THROUGH OUT THE PROJECT AS STATED IN THE, 'REGULATIONS OF THE COMMISSIONER OF EDUCATION PART 155 (8NYCRR 155).' AS OUTLINED IN SPECIFICATION SECTION - 013500.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF CHEMICAL FUMES, GASES, AND OTHER CONTAMINATES TO ENSURE THEY DO NOT ENTER OCCUPIED PORTIONS OF THE BUILDING OR AIR INTAKES, AS OUTLINED IN SPECIFICATION SECTION 013500 - UNIFORMED SAFETY STANDARDS FOR SCHOOL CONSTRUCTION AND MAINTENANCE PROJECTS: COMMISSIONERS REGULATIONS, SECTION 155.5.
12. ALL WORK AND MATERIALS OF THIS PROJECT AND ADJACENT SURFACES SHALL BE PROTECTED FROM DAMAGE. IN THE EVENT OF DAMAGE, THE CONTRACTOR SHALL IMMEDIATELY MAKE REPAIRS AND REPLACEMENTS NECESSARY TO THE APPROVAL OF THE ARCHITECT/ENGINEER AND AT NO ADDITIONAL COST TO THE OWNER.
13. THE CONTRACTOR SHALL ENFORCE UPON STRICT DISCIPLINE AND GOOD ORDER AMONG THE CONTRACTORS EMPLOYEES AND OTHER PERSONS CARRYING OUT THE CONTRACT. THE CONTRACTORS SHALL NOT PERMIT EMPLOYMENT OF UNFIT PERSONS OR PERSONS NOT SKILLED IN THE TASK ASSIGNED TO THEM. ALL IN ACCORDANCE WITH PROJECT MANUAL SECTION - CONDITIONS OF THE CONTRACT.
14. ALL WORKERS WILL BE REQUIRED TO WEAR A PHOTO-IDENTIFICATION BADGE FOR WORKERS IDENTIFICATION AND SECURITY PURPOSES WHILE WORKING AT OCCUPIED SITES. ALL IN ACCORDANCE WITH PROJECT MANUAL SECTION - CONDITIONS OF THE CONTRACT.
15. ALL PROJECT WASTE MATERIAL AND RUBBISH SHALL BE DISPOSED IN CONTAINERS PROVIDED BY THE CONTRACTOR FOR SUBSEQUENT LEGAL OFF-SITE DISPOSAL. CONTAINER LOCATIONS ARE TO BE COORDINATED WITH SCHOOL DISTRICT OFFICIALS. OFF-SITE DISPOSAL SHALL BE PERFORMED ON A REGULAR BASIS. CONTRACTORS SHALL RESTORE ALL CONDITIONS TO THE STATE OF CLEANLINESS THAT EXISTED PRIOR TO COMMENCEMENT OF WORK.
16. ALL INTERIOR SURFACES DISTURBED DURING CONSTRUCTION SHOULD BE REPAIRED AND/OR REPLACED TO MATCH EXISTING CONDITIONS TO THE APPROVAL OF THE ARCHITECT/ENGINEER AND OWNER.

GENERAL RACEWAY NOTES

1. QUANTITIES OF MATERIAL AS REQUIRED.
2. ELECTRICAL CONTRACTOR SHALL ROUTE ALL SURFACE RACEWAY AROUND ALL OBSTRUCTIONS.
3. ELECTRICAL CONTRACTOR WILL PROVIDE AND INSTALL ANY OTHER FITTINGS THAT WERE NOT MENTIONED IN ORDER TO PROVIDE A COMPLETE SYSTEM.
4. ELECTRICAL CONTRACTOR MUST MECHANICALLY ANCHOR ALL SURFACE MOUNT RACEWAY WITH ADEQUATE ANCHORS.
5. ELECTRICAL CONTRACTOR MUST SECURE INCOMING MC CABLE TO END FITTING OF SURFACE RACEWAY WITH APPROPRIATE CONNECTORS.
6. WHEREVER SPECIFIED SURFACE RACEWAY IS UNABLE TO BE INSTALLED DUE TO SIZE LIMITATION THE ELECTRICAL CONTRACTOR WILL BE RESPONSIBLE FOR SUPPLYING AND INSTALLING ARCHITECT/ENGINEER SPECIFIED ALTERNATE SURFACE RACEWAY.
7. FINAL COLOR FOR ALL MATERIALS SHALL BE DETERMINED BY ARCHITECT/ENGINEER.
8. ELECTRICAL CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL CAT-6 CABLE WITHIN SURFACE RACEWAY.
9. ELECTRICAL CONTRACTOR SHALL REFER TO "E" AND "E9.X" SERIES DRAWINGS FOR COORDINATION OF INSTALLATION.
10. ELECTRICAL CONTRACTOR SHALL INSTALL DIVIDER WALL (WHERE APPLICABLE) CONTINUOUSLY THROUGHOUT SURFACE RACEWAY AND ACCORDING TO MANUFACTURERS SPECIFICATIONS FOR A POWER AND DATA INSTALLATION.
11. THE ELECTRICAL CONTRACTOR SHALL CONFIRM RACEWAY HEIGHT BEFORE INSTALLATION. THE FINAL HEIGHT SHALL BE DETERMINED BY CASEWORK, DESK, WORK SURFACE HEIGHT AND OWNER. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE INSTALLATION OF SURFACE RACEWAY.
12. MAINTAIN APPROPRIATE SEPARATION OF LINE VOLTAGE AND LOW VOLTAGE CABLE.
13. QUANTITY OF DROPS AS PER FLOOR PLANS.
14. CABLES BACK FED OR RACEWAY FED AS REQUIRED.

CAT 6 / CAT 6A NOTES

1. ALL 4-PAIR UTP HORIZONTAL STATION PLENUM RATED CABLES FOR VOICE / DATA SERVICES SHALL BE HOMERUN TO THE NEAREST COMMUNICATIONS ROOM, AS ILLUSTRATED ON THE TECHNOLOGY FLOOR PLANS.
2. REFERENCING THE CABLE PATHS ILLUSTRATED ON THE TECHNOLOGY FLOOR PLANS, FOR WORKSTATIONS, ROUTE THE COMMUNICATIONS CABLES THROUGH THE GYPSUM WALLS, CONCRETE BLOCK AND RACEWAY UP TO THE CEILING CAVITY. COMMUNICATIONS CABLES MAIN PATHWAY WILL BE THE HALLWAYS TO THE NEAREST COMMUNICATIONS ROOM.
3. REFER TO THE REFLECTED CEILING PLANS AND MECHANICAL PLANS TO COORDINATE PATHWAYS IN THE CEILINGS WITH LIGHT FIXTURES AND MECHANICAL DUCT WORK.
4. ALL 4-PAIR UTP HORIZONTAL STATION NETWORK DATA CABLES SHALL LAND SEQUENTIALLY, BY THEIR OUTLET ID, ON THE 48-PORT PATCH PANELS, IN THE RACKS AND CABINETS LOCATED IN THE COMMUNICATIONS ROOMS AS INDICATED ON THE TECHNOLOGY FLOOR PLANS.
5. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE ROUTING OF CABLES ABOVE THE HUNG CEILING WITH THE ELECTRICAL, MECHANICAL AND GENERAL CONTRACTORS PRIOR TO INSTALLATION.
6. ELECTRICAL CONTRACTOR TO VERIFY CEILING HEIGHTS FOR ALL AREAS PRIOR TO INSTALLING ANY CABLE. ELECTRICAL CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ANY COMPONENTS IN THE CEILING WITH ALL OTHER TRADES, EQUIPMENT AND FIELD CONDITIONS. ANY CABLE TRANSITIONS ROUTED OVER HVAC DUCTS MUST NOT LAY ON TOP OF THE DUCTS AND MUST BE SUPPORTED OVER THE DUCTS.
7. DO NOT LAY CABLES OVER LIGHTING FIXTURES OR ELECTRICAL MACHINERY IN THE HUNG CEILING. CABLES SHALL BE PLACED AT A MINIMUM OF 12 INCHES AWAY FROM MAGNETIC INDUCING EQUIPMENT AND ELECTRICAL WIRING.
8. FURNISH AND INSTALL ADDITIONAL SLEEVES (WITH GROMMETED ENDS) AS REQUIRED FOR THE ENTRANCES INTO THE COMMUNICATIONS ROOMS AND ANY OTHER APPLICABLE AREAS. ALL SLEEVES SHALL BE FIRESTOPPED WHEN THE INSTALLATION IS COMPLETED.
9. PROVIDE ALL PENETRATIONS AND RATED PARTITION FIRESTOPPING EVERY TIME A PARTITION IS TRAVERSED ABOVE THE HUNG CEILING. EXISTING FIREPROOFING MATERIAL WHICH IS DISTURBED OR DAMAGED BY THE WORK UNDER THIS CONTRACT SHALL BE REPLACED AND RESTORED TO THE SATISFACTION OF THE OWNER.
10. FURNISH AND INSTALL TRAPEZE, BRIDAL RINGS, CADDY HANGERS, J-HOOKS AND OTHER INDUSTRY ACCEPTED METHODS REQUIRED TO SUPPORT ALL INSTALLED CABLES. DO NOT SUPPORT CABLES ON CEILING BLACK IRON, DROP CEILING GRID OR ON ANY OTHER DEVICES THAT ARE NOT INTENDED FOR THE SUPPORTING OF CABLES. EXCEPT FOR GROUPS OF 10 OR FEWER CABLES, CABLE SUPPORTS SHALL BE ANCHORED TO THE UNDERSIDE OF THE SLAB AND CLAMPED TO BUILDING STEEL.
11. CABLES MUST BE SUPPORTED AT A MINIMUM EVERY FIVE (5) FEET OF CENTER AND BUNDLES MUST BE HOOK AND LOOPED TOGETHER AT A MINIMUM OF EVERY THREE (3) FEET.
12. ALL CABLES SHALL BE INSPECTED AS THEY ARE PULLED OFF THE REEL FOR ANY OBVIOUS DEFECTS. REPORT ANY DEFECTS IMMEDIATELY TO THE ENGINEER AND HALT FURTHER USE OF THE CABLE FROM THAT REEL, PENDING A DETERMINATION OF THE QUALITY OF THE REEL BY THE MANUFACTURER.
13. ALL CABLES SHALL BE PULLED BY HAND AND CONTINUOUSLY MONITORED BY A TENSION METER SO AS NOT TO EXCEED THE PRESCRIBED MAXIMUM PULLING TENSION RECOMMENDED BY THE MANUFACTURER.
14. ELECTRICAL CONTRACTOR SHALL NOT EXCEED THE CABLE PULLING FORCE AND MINIMUM CABLE BENDING RADIUS. CABLE TERMINATIONS AT DISTRIBUTION RACKS/CABINETS FOR VOICE AND DATA SHALL BE DRESSED NEATLY AND DONE IN A WORKMANLIKE MANNER. HOOK & LOOP CABLES AND CUT TO LENGTH AT TERMINATION POINTS.
15. WHEN INSTALLING ENHANCED CATEGORY-6 UTP CABLE, MAKE SURE THE CABLE IS NEVER BENT BEYOND A 90 DEGREE ANGLE. A CABLE BEND RADIUS OF 4 TIMES THE DIAMETER OF THE CABLE IS RECOMMENDED. (ON A 4-PAIR CABLE, THIS IS APPROXIMATELY ONE INCH.)
16. ALL CABLES SHALL BE PULLED BY THE ELECTRICAL CONTRACTOR IN CONTINUOUS SPLICE-FREE RUNS, WITH NO FACTORY OR FIELD SPLICES, UNLESS OTHERWISE SHOWN ON THE DRAWINGS AND/OR SPECIFICATIONS.
17. PULLING AND LAYING CABLE ON SHARP EDGES IS NOT PERMITTED.
18. THE CABLE PATHS SHOWN ON DRAWINGS REPRESENT DESIGN INTENT AND APPROXIMATE ROUTING OF CABLES IN HUNG CEILING TO DROP OFF POINTS. ADJUST ACCORDINGLY TO EXISTING FIELD CONDITIONS.
19. QUANTITY OF CABLE IS NOT REPRESENTED. CONTRACTOR SHALL TABULATE QUANTITY BASED UPON COMMUNICATION OUTLET SYMBOLS SHOWN (TYPICAL). CONTRACTOR TO VERIFY IN FIELD AND MAKE ADJUSTMENTS AS REQUIRED.
20. PROVIDE A MINIMUM OF SIX (6) FEET OF SLACK WITH A 12 INCH DIAMETER COIL AT THE STATION END FOR WORKSTATION LOCATIONS. NEATLY COIL AND CONCEAL SLACK ABOVE THE HUNG CEILING AND PROTECT FROM DAMAGE BY WORKMEN PRIOR TO EXTENDING CABLE AND INSTALLING TO VOICE/DATA WORKSTATION OUTLET.
21. ALL VOICE / DATA UTP STATION CABLES SHALL BE HOMERUN BACK TO THE MAIN -OR- IDF COMMUNICATIONS ROOM AS ILLUSTRATED ON THE TECHNOLOGY FLOOR PLANS. REFER TO DETAILS AND ELEVATIONS FOR THE DEMARCATION LOCATIONS OF ALL CABLES.
22. ALL ABANDONED / NON USED CABLES TO BE REMOVED FROM PLENUM SPACES BACK TO THEIR POINT OF ORIGIN.
23. ALL NEW NETWORK EQUIPMENT SHALL BE GROUNDED AND BONDED AS PER CODE.
24. E.C. SHALL ROUTE CABLES IN THE BEST, SHORTEST ROUTE POSSIBLE TO THE NEAREST WIRE CLOSET.
25. E.C. SHALL REMOVE AND REINSTALL CEILING TILES AS REQUIRED TO ACCOMMODATE CABLE INSTALLATIONS.
26. E.C. SHALL FURNISH AND INSTALL ALL NECESSARY COMPONENTS TO FORM A COMPLETE SYSTEM EVEN IF THE COMPONENTS ARE NOT LISTED. REFER TO SPEC SECTION 271501 FOR ADDITIONAL INFORMATION.

PROPOSED KEY NOTES

1. LOCATION OF EXISTING NETWORK CLOSET. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
2. EXISTING WIRELESS ACCESS POINT TO REMAIN. E.C. SHALL PROTECT ALL EQUIPMENT AND CABLING DURING CONSTRUCTION.
3. E.C. SHALL REMOVE AND REINSTALL EXISTING WIRELESS ACCESS POINT. E.C. SHALL INSTALL NEW CAT 6A CABLING. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
4. E.C. SHALL FURNISH AND INSTALL NEW CARD READER AT 44" A.F.F. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
5. E.C. SHALL FURNISH AND INSTALL NEW CEILING MOUNTED SECURITY CAMERA. FINAL LOCATION AND FIELD OF VIEW TO BE COORDINATED WITH OWNER. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
6. E.C SHALL FURNISH AND INSTALL EXTERIOR SECURITY CAMERA AT 10 FEET ABOVE GRADE. FINAL LOCATION AND FIELD OF VIEW TO BE COORDINATED WITH OWNER. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
7. E.C. SHALL FURNISH AND INSTALL VIDEO INTERCOM AT 44" A.F.F. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
8. E.C. SHALL FURNISH AND INSTALL WALL MOUNT TELEPHONE BRACKET AT 44" A.F.F. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
9. E.C. SHALL FURNISH AND INSTALL DATA WALL BOX AT 18" A.F.F. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
10. E.C. SHALL FURNISH AND INSTALL DATA RACEWAY AT 18" A.F.F. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
11. E.C. SHALL FURNISH AND INSTALL DATA WALL BOX AT COUNTER HEIGHT. REFER TO DETAILS AND CASEWORK DRAWINGS FOR ADDITIONAL INFORMATION.
12. E.C. SHALL FURNISH AND INSTALL DATA RACEWAY AT COUNTER HEIGHT. REFER TO DETAILS AND CASEWORK DRAWINGS FOR ADDITIONAL INFORMATION.

FIBER OPTIC CABLE NOTES

1. ALL LASER OPTIMIZED .50 MICRON OM3 MULTIMODE FIBER PLENUM RATED CABLES FOR CLOSET BACKBONE CONNECTIONS SHALL BE A HOMERUN TO THE NETWORK OPERATIONS CENTER (N.O.C.) ROOM OR MDF, AS ILLUSTRATED ON THE TECHNOLOGY FLOOR PLANS.
2. REFERENCING THE CABLE PATHS ILLUSTRATED ON THE TECHNOLOGY FLOOR PLANS, FOR FIBER BACKBONES ON THIS FLOOR, ROUTE THE COMMUNICATIONS CABLES THROUGH THE GYPSUM WALLS, CONCRETE BLOCK AND RACEWAY UP TO THE CEILING CAVITY. FIBER CABLES MAIN PATHWAY WILL BE THE HALLWAYS TO THE N.O.C. ROOM OR MDF.
3. ALL FIBER BACKBONE CABLES SHALL LAND SEQUENTIALLY, BY STRAND, ON THE FIBER BULK HEADS WITHIN THE FIBER PANELS, IN THE RACKS / CABINETS LOCATED IN THE COMMUNICATIONS ROOMS AS INDICATED ON THE TECHNOLOGY FLOOR PLANS.
4. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE ROUTING OF CABLES ABOVE THE HUNG CEILING WITH THE ELECTRICAL, MECHANICAL AND GENERAL CONTRACTORS PRIOR TO INSTALLATION.
5. ELECTRICAL CONTRACTOR TO VERIFY CEILING HEIGHTS FOR ALL AREAS PRIOR TO INSTALLING ANY CABLE. ELECTRICAL CONTRACTOR TO COORDINATE THE INSTALLATION OF ANY COMPONENTS IN THE CEILING WITH ALL OTHER TRADES, EQUIPMENT AND FIELD CONDITIONS. ANY CABLE TRANSITIONS ROUTED OVER HVAC DUCTS MUST NOT LAY ON TOP OF THE DUCTS AND MUST BE SUPPORTED OVER THE DUCTS.
6. DO NOT LAY CABLES OVER LIGHTING FIXTURES OR ELECTRICAL MACHINERY IN THE HUNG CEILING. CABLES SHALL BE PLACED AT A MINIMUM OF 12 INCHES AWAY FROM MAGNETIC INDUCING EQUIPMENT.
7. FURNISH AND INSTALL ADDITIONAL SLEEVES (WITH GROMMETED ENDS) AS REQUIRED FOR THE ENTRANCES INTO THE COMMUNICATIONS ROOMS AND ANY OTHER APPLICABLE AREAS. ALL SLEEVES SHALL BE FIRESTOPPED WHEN THE INSTALLATION IS COMPLETED.
8. PROVIDE ALL PENETRATIONS AND RATED PARTITION FIRESTOPPING EVERY TIME A PARTITION IS TRAVERSED ABOVE THE HUNG CEILING. EXISTING FIREPROOFING MATERIAL WHICH IS DISTURBED OR DAMAGED BY THE WORK UNDER THIS CONTRACT SHALL BE REPLACED AND RESTORED TO THE SATISFACTION OF THE OWNER.
9. FURNISH AND INSTALL TRAPEZE, BRIDAL RINGS, CADDY HANGERS, J-HOOKS AND OTHER INDUSTRY ACCEPTED METHODS REQUIRED TO SUPPORT ALL INSTALLED CABLES. DO NOT SUPPORT CABLES ON CEILING BLACK IRON, DROP CEILING GRID OR ON ANY OTHER DEVICES THAT ARE NOT INTENDED FOR THE SUPPORTING OF CABLES. EXCEPT FOR GROUPS OF 10 OR FEWER CABLES, CABLE SUPPORTS SHALL BE ANCHORED TO THE UNDERSIDE OF THE SLAB AND CLAMPED TO BUILDING STEEL.
10. CABLES MUST BE SUPPORTED AT A MINIMUM EVERY SIX (6) FEET AND BUNDLES MUST BE HOOK & LOOPED TOGETHER AT A MINIMUM OF EVERY THREE (3) FEET.
11. ALL CABLES SHALL BE INSPECTED AS THEY ARE PULLED OFF THE REEL FOR ANY OBVIOUS DEFECTS. REPORT ANY DEFECTS IMMEDIATELY TO THE ENGINEER AND HALT FURTHER USE OF THE CABLE FROM THAT REEL, PENDING A DETERMINATION OF THE QUALITY OF THE REEL BY THE MANUFACTURER.
12. ALL CABLES SHALL BE PULLED BY HAND AND CONTINUOUSLY MONITORED BY A TENSION METER SO AS NOT TO EXCEED THE PRESCRIBED MAXIMUM PULLING TENSION RECOMMENDED BY THE MANUFACTURER.
13. ELECTRICAL CONTRACTOR SHALL NOT EXCEED THE CABLE PULLING FORCE AND MINIMUM CABLE BENDING RADIUS. CABLE TERMINATIONS AT DISTRIBUTION RACKS/CABINETS FOR FIBER CABLES SHALL BE DRESSED NEATLY AND DONE IN A WORKMANLIKE MANNER. ALL FIBER CABLES TO BE INSTALLED WITHIN THE FAN TRAY OF THE FIBER PANEL UTILIZING THE APPROPRIATE BEND RADIUS AT TERMINATION POINTS.
14. WHEN INSTALLING FIBER CABLE, MAKE SURE THE CABLE IS NEVER BENT BEYOND A 90 DEGREE ANGLE. A CABLE BEND RADIUS OF 10 TIMES THE DIAMETER OF THE CABLE IS RECOMMENDED. (ON A 12-STRAND CABLE, THIS IS APPROXIMATELY TWO INCHES.)
15. ALL CABLES SHALL BE PULLED BY THE ELECTRICAL CONTRACTOR IN CONTINUOUS SPLICE-FREE RUNS, WITH NO FACTORY OR FIELD SPLICES, UNLESS OTHERWISE SHOWN ON DRAWINGS AND/OR SPECIFICATIONS.
16. PULLING AND LAYING CABLE ON SHARP EDGES IS NOT PERMITTED.
17. THE CABLE PATHS SHOWN ON DRAWINGS REPRESENT DESIGN INTENT AND APPROXIMATE ROUTING OF CABLES IN HUNG CEILING TO DROP OFF POINTS. ADJUST ACCORDINGLY TO EXISTING FIELD CONDITIONS.
18. QUANTITY OF CABLE IS NOT REPRESENTED. CONTRACTOR SHALL TABULATE QUANTITY BASED UPON COMMUNICATION OUTLET SYMBOLS SHOWN (TYPICAL). CONTRACTOR TO VERIFY IN FIELD AND MAKE ADJUSTMENTS AS REQUIRED.
19. PROVIDE A MINIMUM OF SEVEN (7) FEET OF SLACK AT BOTH THE COMMUNICATIONS ROOM END AND THE N.O.C. ROOM OR MDF. NEATLY COIL SLACK AND ATTACH TO THE RACK/CABINET USING HOOK AND LOOP.
20. ALL FIBER OPTIC CABLE TO BE HOMERUN BACK TO THE N.O.C. ROOM OR MDF AS INDICATED. REFER TO DETAIL PLANS AND ELEVATIONS FOR THE DEMARCATION LOCATIONS OF ALL CABLES.
21. ALL ABANDONED/NON USED CABLES TO BE REMOVED FROM THE PLENUM SPACES BACK TO THE POINT OF ORIGIN.
22. ALL NEW NETWORK EQUIPMENT SHALL BE GROUNDED AND BONDED AS PER CODE.
23. E.C. SHALL FURNISH AND INSTALL ALL NECESSARY COMPONENTS TO FORM A COMPLETE SYSTEM EVEN IF THE COMPONENTS ARE NOT LISTED. REFER TO SPEC SECTION 271501 FOR ADDITIONAL INFORMATION.

TECHNOLOGY SYMBOL LEGEND

SYMBOL	DESCRIPTION
X	KEYED NOTE
NAME XXX XXX SF	ROOM TAG
# AX.XX	DETAIL TAG DETAIL NUMBER DRAWING NUMBER
	LOCATION OF NEW LOCAL WIRE CLOSET. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
E	LOCATION OF EXISTING LOCAL WIRE CLOSET. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
	LOCATION OF NEW SINGLE DATA DROP. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
	LOCATION OF NEW MULTI DATA DROP. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
	LOCATION OF NEW PHONE LOCATION. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
E	LOCATION OF EXISTING SINGLE DATA DROP. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
E	LOCATION OF EXISTING MULTI DATA DROP. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
E	LOCATION OF EXISTING PHONE LOCATION. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
W.A.P. 001	LOCATION OF NEW WIRELESS ACCESS POINT. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
W.A.P. E	LOCATION OF EXISTING WIRELESS ACCESS POINT. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
PROJ	LOCATION OF NEW PROJECTOR. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
PROJ E	LOCATION OF EXISTING PROJECTOR. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
	LOCATION OF NEW DROP DOWN PROJECTION SCREEN. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
PT	LOCATION OF NEW DATA/POWER POKE THROUGH. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
	LOCATION OF DATA/POWER RACEWAY. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
C	LOCATION OF NEW CATV STATION. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
RWB	LOCATION OF NEW RECESSED DATA/POWER WALL BOX. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
WB	LOCATION OF NEW DATA/POWER WALL BOX. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
FLBX	LOCATION OF NEW DATA/POWER FLOOR BOX. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
D001	INDICATES DATA DROP ID NUMBER. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
V001	INDICATES VOICE DROP ID NUMBER. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
	LOCATION OF NEW DATA/POWER POLE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
1	REVISION CLOUD AND KEYED DESIGNATION.

SECURITY SYMBOL LEGEND

SYMBOL	DESCRIPTION
X	KEYED NOTE
NAME XXX XXX SF	ROOM TAG
# AX.XX	DETAIL TAG DETAIL NUMBER DRAWING NUMBER
	LOCATION OF EXISTING INTERIOR SECURITY CAMERA. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
	LOCATION OF EXISTING EXTERIOR CAMERA. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
	LOCATION OF NEW INTERIOR SECURITY CAMERA. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
	LOCATION OF NEW EXTERIOR SECURITY CAMERA. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
P	LOCATION OF NEW SECURITY PANIC BUTTON. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
	LOCATION OF NEW ACCESS CONTROL CARD READER. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
	LOCATION OF EXISTING ACCESS CONTROL CARD READER. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
R	LOCATION OF NEW REQUEST FOR EXIT SENSOR. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
	LOCATION OF NEW VIDEO INTERCOM CALL BOX. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
DC	LOCATION OF NEW ACCESS CONTROL DOOR CONTACT. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
ES	LOCATION OF NEW ELECTRONIC DOOR STRIKE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
	LOCATION OF NEW MOTION DETECTOR. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
	LOCATION OF NEW VIDEO INTERCOM STATION PHONE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
H	LOCATION OF NEW SECURITY HORN. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
S	LOCATION OF NEW SECURITY STROBE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
HS	LOCATION OF NEW SECURITY HORN STROBE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
	LOCATION OF EXISTING/NEW LOCAL WIRE CLOSET. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
1	REVISION CLOUD AND KEYED DESIGNATION.

REV.	DATE	ITEM

NOTICE

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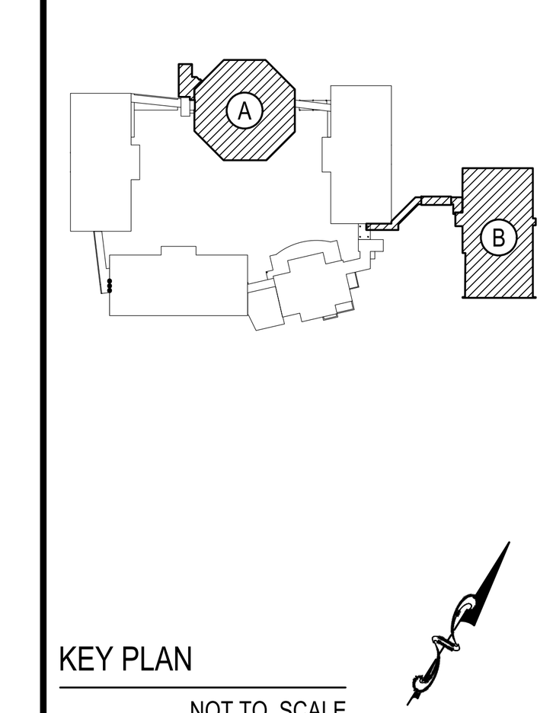

KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

GENERAL NOTES, LEGENDS and ABBREVIATIONS

DRAWING BY: - - -

CHECK BY: - - -

NOTICE

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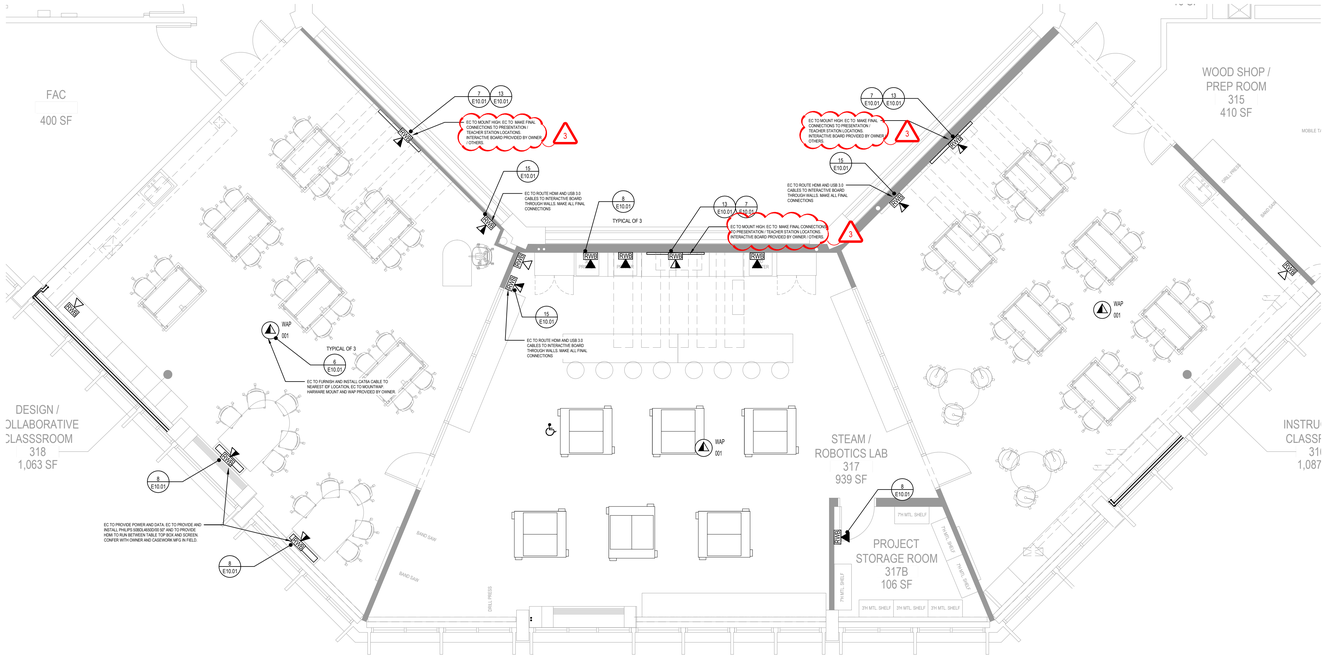
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	GENERAL NOTES, LEGENDS and ABBREVIATIONS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

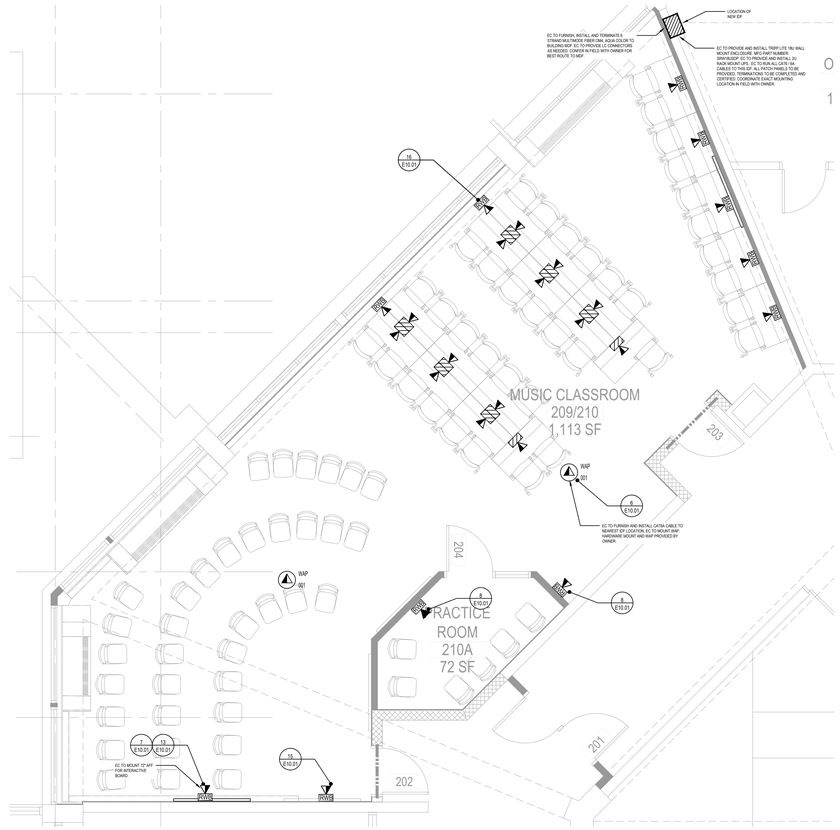
E9.00



THIRD FLOOR TECHNOLOGY PLAN - STEAM / ROBOTICS LAB

NOTE:

SCALE: 3/16" = 1'-0"



SECOND FLOOR TECHNOLOGY PLAN - MUSIC ROOM

NOTE:

SCALE: 1/4" = 1'-0"

DRAWING NOTES

1. **BASIS OF SECURITY SYSTEM DESIGN:**

   DIGITAL PROVISIONS
   3385-E VETERANS MEMORIAL HWY.
   RONKONKOMA, NY 11779
   CONTACT: MR. BRIAN MCCABE
   PHONE: 631-209-2600 EXT 14
   EMAIL: BMCCABE@DIGITALPROVISIONS.COM

2. **BASIS OF VIDEO SYSTEM DESIGN:**

   ADVANCE SOUND COMPANY
   157 ROME STREET
   FARMINGDALE, NY 11735
   CONTACT: MR. THOMAS DEPACE
   PHONE NUMBER:631-667-0973
   EMAIL: TDEPACE@ADVANCESOUND.COM

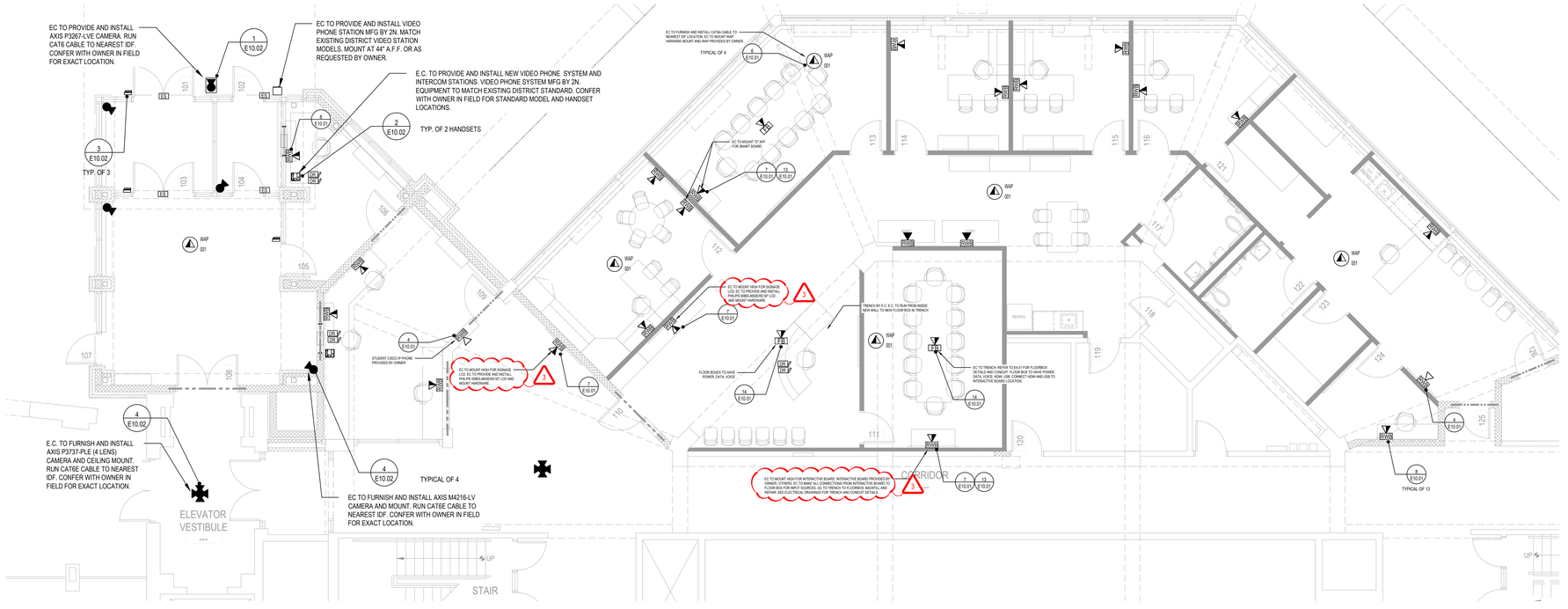
CAT6 NOTES

1. MOHAWK COPPER CABLE DETAIL DISTRICT COLOR STANDARD TO BE USED:

   M57414 CAT 6E CABLE BLUE FOR DATA / VOICE LOCATIONS

   DATA DROP LABELING AS FOLLOWS:

   EX: RMI# - 01



FIRST FLOOR TECHNOLOGY PLAN - MAIN OFFICE & ADDITION

NOTE:

SCALE: 3/16" = 1'-0"

REV.	DATE	ITEM
03	03/12/25	ADD. NO. 03

NOTICE

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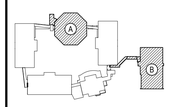

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

PROJECT

TECHNOLOGY
DATA & SECURITY PLAN

DWG TITLE

DRAWING BY: GJL
CHECK BY: - - -

NOTICE

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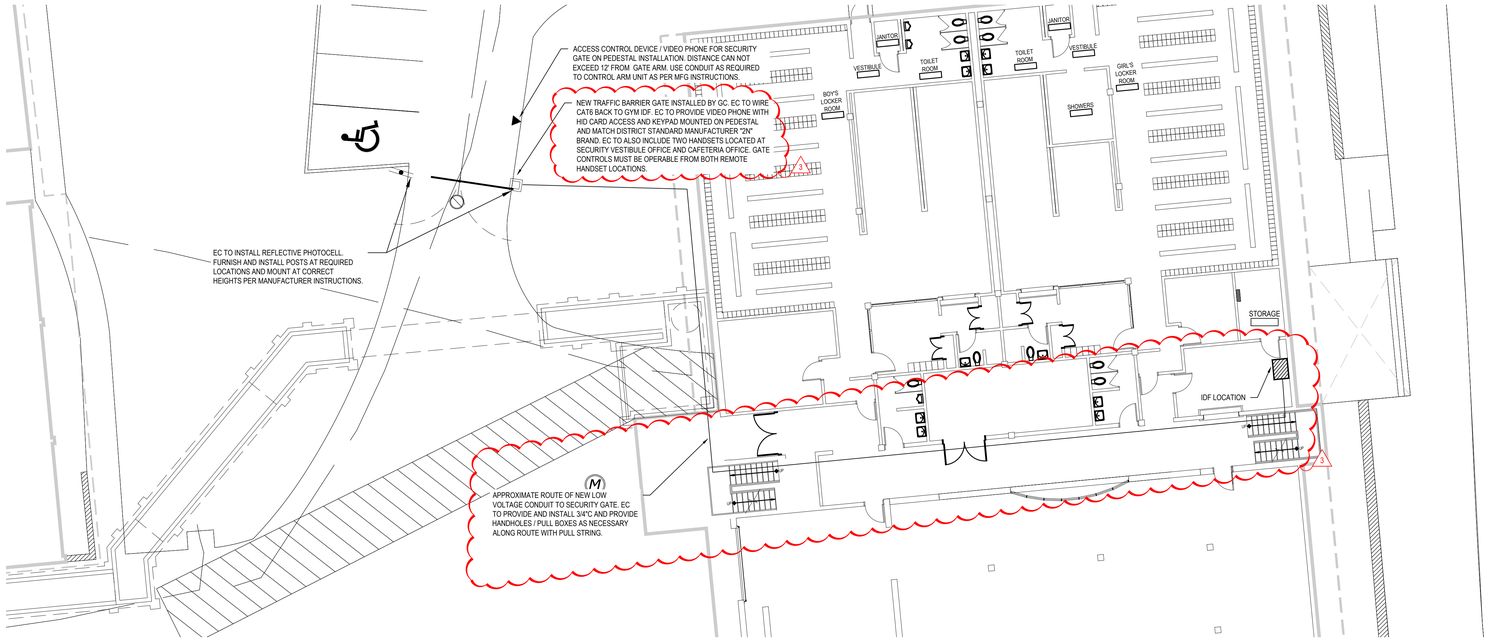
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	TECHNOLOGY DATA & SECURITY PLAN
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

E9.01



TECHNOLOGY PLAN - SECURITY GATE

SCALE: 1"=10'-0"

DRAWING NOTES

1. **BASIS OF SECURITY SYSTEM DESIGN:**
   DIGITAL PROVISIONS
   3385-E VETERANS MEMORIAL HWY.
   RONKONKOMA, NY 11779
   CONTACT: MR. BRIAN MCCABE
   PHONE: 631-209-2600 EXT 14
   EMAIL: BMCCABE@DIGITALPROVISIONS.COM

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1. MOHAWK COPPER CABLE DETAIL DISTRICT COLOR STANDARD TO BE USED:

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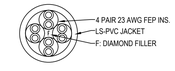

DATA DROP LABELING AS FOLLOWS:

EX: RM# - 01

REV.	DATE	ITEM
03	03/12/25	ADD. NO. 03

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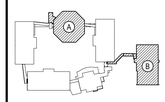

KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

TECHNOLOGY PLAN
SECURITY GATE

DRAWING BY: GL
CHECK BY: --

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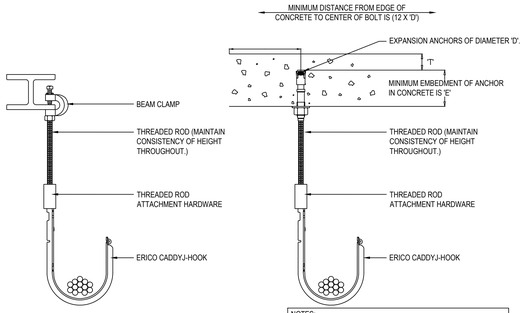
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	TECHNOLOGY PLAN SECURITY GATE
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

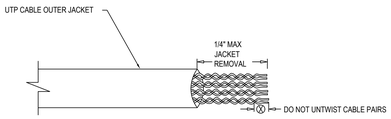
E9.02



NOTES:
1. SIZE J-HOOK AND CLAMP TO ADEQUATELY SUPPORT LOAD.
2. FOR SECURE ATTACHMENT, USE RETAINING STRAP.
3. COLOR OF J-HOOK TO MATCH CEILING WHEN INSTALLED IN AN OPEN CEILING DESIGN.

1 J-HOOK INSTALLATION DETAIL

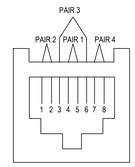
SCALE: N.T.S.



NOTES:
1. THE ELECTRICAL CONTRACTOR SHALL REMOVE NO MORE THAN ½" OF THE OUTER JACKET OF THE CABLE DURING TERMINATION..
2. THE ELECTRICAL CONTRACTOR SHALL NOT UNTWIST THE INDIVIDUAL PAIRS.
3. THE ELECTRICAL CONTRACTOR SHALL USE AN INDUSTRY/MANUFACTURER ACCEPTED PUNCHDOWN/TERMINATION IMPACT TOOL FOR ALL CABLE TERMINATIONS. STUFFER CAPS SHALL NOT BE USED IN LIEU OF PUNCHDOWN/TERMINATION IMPACT TOOL.
4. THE ELECTRICAL CONTRACTOR SHALL NOT LEAVE "TAILS" HANGING OFF AT TERMINATION POINTS.

2 TYPICAL CABLE INSTALLATION DETAIL

SCALE: N.T.S.



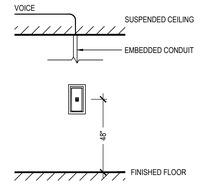
PAIR 1	WHITE/BLUE BLUE/WHITE	PAIR 3	WHITE/GREEN GREEN/WHITE
PAIR 2	WHITE/ORANGE ORANGE/WHITE	PAIR 4	WHITE/BROWN BROWN/WHITE

NOTES:
1. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL RJ-45 TYPE MODULAR JACKS T568B WIRED (TYPICAL).
2. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL TERMINATE 4 PAIR UTP CABLE PAIRS AS ILLUSTRATED ABOVE (TYPICAL).

3 TYPICAL T568B CABLE PAIR ASSIGNMENTS

SCALE: N.T.S.

QTY.	PART NUMBER	DESCRIPTION	MANUFACTURER
1	---	RECESSED STANDARD WALL BOX 1 GANG DRY WALL	---
1	SP6R	STAINLESS STEEL PHONE PLATE	HUBBELL
1	HXJ6Y	CAT6 RJ45 CONNECTOR - YELLOW	HUBBELL



4 TYPICAL RECESSED MOUNTED PHONE WALL BOX

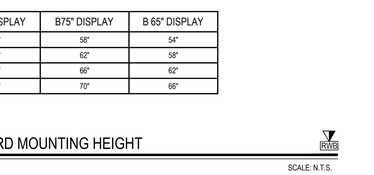
RWB

NOTE:
1. REFER TO DRAWINGS FOR QUANTITY.
2. INSTALL CONDUIT AS NEEDED.

SCALE: N.T.S.

QTY.	PART NUMBER	DESCRIPTION	MANUFACTURER
AS REQD	PB2C10	DUAL CHANNEL RACEWAY COVER	HUBBELL
AS REQD	PB2B10	DUAL CHANNEL RACEWAY BASE	HUBBELL
AS REQD	PB21ND2G	INLINE BOX 2 GANG	HUBBELL
1	PB3ECA	END CAP	HUBBELL
AS REQD	KP8	DUPLEX RECEPTACLE	HUBBELL
AS REQD	REFER TO E4.XX	DUPLEX RECEPTACLE	HUBBELL
1	KPIMBZOW	KP MODULE BEZEL	HUBBELL
AS REQD	HXJ6B	CAT6 RJ45 CONNECTOR	HUBBELL
AS REQD	ISF2OW	2 PORT COMMUNICATION PLATE	HUBBELL
AS REQD	KP14	BLANK PLATE	HUBBELL

NOTES:
1. REFER TO DRAWINGS FOR QUANTITY
2. COORDINATE HEIGHT WITH DESK LOCATION
3. ALLOW 3' ON CENTER BETWEEN EACH DROP

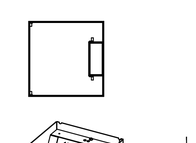


5 TYPICAL DATA/POWER SURFACE RACEWAY

SCALE: N.T.S.

QTY.	PART NUMBER	DESCRIPTION	MANUFACTURER
1	ISB2BK	2 PORT BISCUIT BOX	HUBBELL
2	HC6B10	10' PATCH CORD	HUBBELL
2	HXJ6B	RJ45 DATA CONNECTOR - BLUE	HUBBELL

NOTES:
1. SECURE BISCUIT BOX TO BUILDING STRUCTURE
2. REFER TO DRAWINGS FOR QUANTITIES

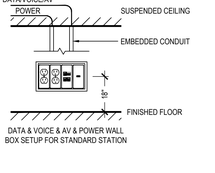


6 TYPICAL CAT 6 WIRELESS ACCESS POINT

SCALE: N.T.S.

QTY.	PART NUMBER	DESCRIPTION	MANUFACTURER
1	HBL986	RECESSED WALL BOX 3 GANG DRY WALL	HUBBELL
1	HBLTRIM3WI	WALL BOX TRIM RING	HUBBELL
1	NS612LA	2 PORT MODULE DECORATOR FRAME	HUBBELL
1	DR20ALTR	TAMPER RESISTANT DUPLEX OUTLET	HUBBELL
1	HBLST301SWA	DUPLEX DECORATOR FACEPLATE	HUBBELL
1	NP263LA	3 GANG DECORATOR STYLE FACE PLATE	HUBBELL
2	HXJ6B	CAT6 RJ45 CONNECTOR - BLUE	HUBBELL
1	WP-1014-WH	SINGLE GANG PASS THROUGH W/ BRUSH	LEGRAND
1	P568-035	HDMI MALE TO MALE CABLE	TRIPP LITE

NOTES:
1. REFER TO DRAWINGS FOR QUANTITY
2. INSTALL CONDUIT AS NEEDED
3. CONTRACTOR TO PROVIDE HDMI AND USB 3.0 CABLES AND MAKE ALL FINAL CONNECTIONS



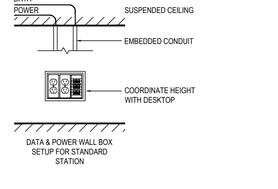
7 TYPICAL SMART DISPLAY WALL BOX

RWB

SCALE: N.T.S.

QTY.	PART NUMBER	DESCRIPTION	MANUFACTURER
1	HBL986	RECESSED WALL BOX 3 GANG DRY WALL	HUBBELL
1	HBL989	LOW VOLTAGE PARTITION	HUBBELL
1	NP263W	3 GANG WALL PLATE - WHITE	HUBBELL
2	DR20WHTR	TAMPER RESISTANT DECORATOR DUPLEX OUTLET - WHITE	HUBBELL
AS REQD	ISF3W	3 PORT DECORATOR RJ45 FRAME - WHITE	HUBBELL
AS REQD	ISF2W	2 PORT DECORATOR RJ45 FRAME - WHITE	HUBBELL
AS REQD	HXJ6B	CAT6 RJ45 CONNECTOR - BLUE	HUBBELL

NOTES:
1. REFER TO DRAWINGS FOR QUANTITY
2. INSTALL CONDUIT AS NEEDED



8 TYPICAL RECESSED WALL BOX

SCALE: N.T.S.

QTY.	PART NUMBER	DESCRIPTION	MANUFACTURER
1	S1R6PTALU	6" POKE THROUGH WITH COVER	HUBBELL
1	ISF4W	4 PORT DECORATOR INSERT	HUBBELL
2	S1R6SPH	20 AMP PRE-WIRED DUPLEX RECEPTACLE OUTER RING	HUBBELL
1	S1R6SPE	DECORATOR STYLE OPENING PLATES	HUBBELL
6	HUJ6B	CAT 6 RJ45 CONNECTORS - BLUE	HUBBELL

NOTES:
1. PROVIDE DIVIDED POKE THRU WITH DATA CABLES AND ELECTRICAL OUTLETS.
2. REFER TO DRAWINGS FOR QUANTITIES.
3. COORDINATE LOCATION WITH FURNITURE PLANS.
4. INSTALL CONDUIT AS NEEDED.

9 TYPICAL LARGE POKE THROUGH

PT

SCALE: N.T.S.

QTY.	PART NUMBER	DESCRIPTION	MANUFACTURER
1	PB2CACF	CEILING FITTING	HUBBELL
AS REQ.	PB2C10	DUAL CHANNEL RACEWAY COVER	HUBBELL
AS REQ.	PB2B10	DUAL CHANNEL RACEWAY BASE	HUBBELL
2	PB2IND2G	INLINE BOX 2 GANG	HUBBELL
1	PB3ECA	END CAP	HUBBELL
3	KP26	DECORA DUPLEX FACEPLATE	HUBBELL
1	DR20WHTR	DUPLEX TAMPER RESISTANT 20AMP OUTLET	HUBBELL
1	KP14	BLANK PLATE	HUBBELL
2	HXJ6B	RJ45 CAT 6 CONNECTOR BLUE	HUBBELL
2	KPIMBZOW	KP MODULE BEZEL	HUBBELL
1	ISF2OW	2 PORT RJ45 FRAME	HUBBELL
1	WP-1014-WH	SINGLE GANG PASS THROUGH WITH BRUSH	LEGRAND
1	CAT5-XT-1100	CAT 5 USB EXTENDERS FOR SMART BOARD TO PC	SMART

NOTES:
1. REFER TO DRAWINGS FOR QUANTITY

10 TYPICAL SMART BOARD RACEWAY

SCALE: N.T.S.

QTY.	PART NUMBER	DESCRIPTION	MANUFACTURER
1	PB2CACF	CEILING FITTING	HUBBELL
AS REQ.	PB2C10	DUAL CHANNEL RACEWAY COVER	HUBBELL
AS REQ.	PB2B10	DUAL CHANNEL RACEWAY BASE	HUBBELL
2	PB2IND2G	INLINE BOX 2 GANG	HUBBELL
1	PB3ECA	END CAP	HUBBELL
3	KP26	DECORA DUPLEX FACEPLATE	HUBBELL
2	DR20WHTR	DUPLEX TAMPER RESISTANT 20AMP OUTLET	HUBBELL
4	HXJ6B	RJ45 CAT 6 CONNECTOR BLUE	HUBBELL
2	KPIMBZOW	KP MODULE BEZEL	HUBBELL
1	ISF4OW	4 PORT RJ45 FRAME	HUBBELL
1	KP-14	BLANK COVER	HUBBELL

11 TYPICAL 4 PORT WORK STATION COMPONENTS

SCALE: N.T.S.

QTY.	PART NUMBER	DESCRIPTION	MANUFACTURER
1	PB2CACF	CEILING FITTING	HUBBELL
AS REQ.	PB2C10	DUAL CHANNEL RACEWAY COVER	HUBBELL
AS REQ.	PB2B10	DUAL CHANNEL RACEWAY BASE	HUBBELL
2	PB2IND2G	INLINE BOX 2 GANG	HUBBELL
1	PB3ECA	END CAP	HUBBELL
3	KP26	DECORA DUPLEX FACEPLATE	HUBBELL
2	DR20WHTR	DUPLEX TAMPER RESISTANT 20AMP OUTLET	HUBBELL
1	KP14	BLANK PLATE	HUBBELL
2	HXJ6B	RJ45 CAT 6 CONNECTOR BLUE	HUBBELL
2	KPIMBZOW	KP MODULE BEZEL	HUBBELL
1	ISF2OW	2 PORT RJ45 FRAME	HUBBELL
1	WP-1014-WH	SINGLE GANG PASS THROUGH WITH BRUSH	LEGRAND

NOTES:
1. REFER TO DRAWINGS FOR QUANTITY
2. CONTRACTOR TO PROVIDE HDMI AND USB 3.0 AS REQUIRED TO MAKE ALL FINAL CONNECTIONS

12 TYPICAL WALL MOUNT MONITOR RACEWAY

SCALE: N.T.S.

GRADE	A	B 86" DISPLAY	B75" DISPLAY	B 65" DISPLAY
PRE-K-2ND	24"	60"	58"	54"
3RD-5TH	28"	64"	62"	58"
6TH-8TH	32"	68"	66"	62"
9TH-12TH	36"	72"	70"	66"

13 TYPICAL SMARTBOARD MOUNTING HEIGHT

RWB

SCALE: N.T.S.

QTY.	PART NUMBER	DESCRIPTION	MANUFACTURER
1	CFB4G25	4 GANG FLOOR BOX	HUBBELL
1	24GTCVRALU	FLOOR BOX COVER (ALUMINUM)	HUBBELL
1	FBMPREC	DECORATOR OPENING	HUBBELL
3	PWFBMPDR20GRYTR	TAMPER RESISTANT 20 AMP DUPLEX (DECORATOR STYLE)	HUBBELL
1	ISF4GY	4 PORT DECORATOR RJ45 PLATE	HUBBELL
4	HXJ6B	CAT 6 RJ45 CONNECTOR - BLUE	HUBBELL

NOTES:
1. REFER TO DRAWINGS FOR QUANTITY
2. TRENCHING REQUIRED AS NECESSARY
3. INSTALL CONDUIT AS NEEDED

14 TYPICAL STANDARD FLOOR BOX

FB

SCALE: N.T.S.

QTY.	PART NUMBER	DESCRIPTION	MANUFACTURER
1	HBL987	RECESSED WALL BOX 4 GANG DRY WALL	HUBBELL
1	HBL989	LINE AND LOW VOLTAGE PARTITION	HUBBELL
1	P264W	4 GANG WALL PLATE - WHITE	HUBBELL
2	DR20WHITR	TAMPER RESISTANT DUPLEX OUTLET	HUBBELL
1	NS614W	4 PORT DECORATOR RJ45 FRAME	HUBBELL
2	HXJ6B	CAT6 RJ45 CONNECTOR - BLUE	HUBBELL
1	HXJ6Y	CAT6 RJ45 CONNECTOR - YELLOW	HUBBELL
1	SFUSBAAW	USB A TO A COUPLER	HUBBELL
1	NS801W	DECORATOR HDMI FRAME	HUBBELL

NOTES:
1. REFER TO DRAWINGS FOR QUANTITY
2. INSTALL CONDUIT AS NEEDED
3. CONTRACTOR TO PROVIDE HDMI AND USB 3.0 CABLES AND MAKE ALL FINAL CONNECTIONS TO BOARD

15 TYPICAL TEACHER HDMI RECESSED WALL BOX

RWB

SCALE: N.T.S.

QTY.	PART NUMBER	DESCRIPTION	MANUFACTURER
1	HBL986	RECESSED WALL BOX 3 GANG DRY WALL	HUBBELL
1	HBL989	LOW VOLTAGE PARTITION	HUBBELL
1	NP263W	3 GANG WALL PLATE - WHITE	HUBBELL
2	DR20WHITR	TAMPER RESISTANT DECORATOR DUPLEX OUTLET - WHITE	HUBBELL
1	ISF6W	6 PORT DECORATOR RJ45 FRAME	HUBBELL
6	HXJ6B	CAT6 RJ45 CONNECTOR - BLUE	HUBBELL

NOTES:
1. REFER TO DRAWINGS FOR QUANTITY
2. INSTALL CONDUIT AS NEEDED

16 TYPICAL 6 PORT RECESSED WALL BOX

SCALE: N.T.S.

REV.	DATE	ITEM

NOTICE

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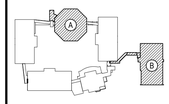

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

TECHNOLOGY DETAILS

PROJECT

DWG TITLE

DRAWING BY: GJL
CHECK BY: ---

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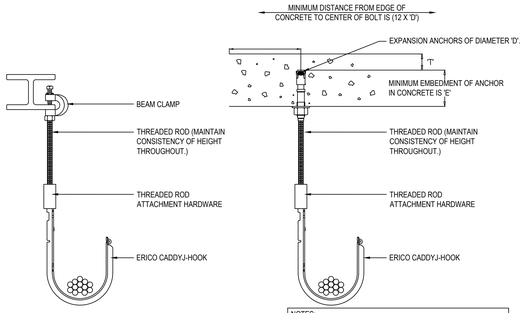
SED No.	66-01-02-06-0-007-013
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	TECHNOLOGY DETAILS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131b FLMS

E10.01

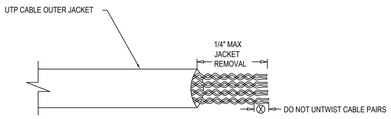


NOTES:

1. SIZE J-HOOK AND CLAMP TO ADEQUATELY SUPPORT LOAD.
2. FOR SECURE ATTACHMENT, USE RETAINING STRAP.
3. COLOR OF J-HOOK TO MATCH CEILING WHEN INSTALLED IN AN OPEN CEILING DESIGN.

1 J-HOOK INSTALLATION DETAIL

SCALE: N.T.S.

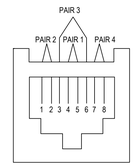


NOTES:

1. THE ELECTRICAL CONTRACTOR SHALL REMOVE NO MORE THAN ½" OF THE OUTER JACKET OF THE CABLE DURING TERMINATION..
2. THE ELECTRICAL CONTRACTOR SHALL NOT UNTWIST THE INDIVIDUAL PAIRS.
3. THE ELECTRICAL CONTRACTOR SHALL USE AN INDUSTRY/MANUFACTURER ACCEPTED PUNCHDOWN/TERMINATION IMPACT TOOL FOR ALL CABLE TERMINATIONS. STUFFER CAPS SHALL NOT BE USED IN LIEU OF PUNCHDOWN/TERMINATION IMPACT TOOL.
4. THE ELECTRICAL CONTRACTOR SHALL NOT LEAVE "TAILS" HANGING OFF AT TERMINATION POINTS.

2 TYPICAL CABLE INSTALLATION DETAIL

SCALE: N.T.S.



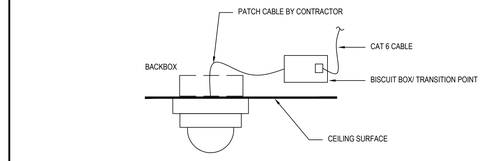
PAIR 1	WHITE/BLUE BLUE/WHITE	PAIR 3	WHITE/GREEN GREEN/WHITE
PAIR 2	WHITE/ORANGE ORANGE/WHITE	PAIR 4	WHITE/BROWN BROWN/WHITE

NOTES:

1. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL RJ-45 TYPE MODULAR JACKS T568B WIRED (TYPICAL).
2. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL TERMINATE 4 PAIR UTP CABLE PAIRS AS ILLUSTRATED ABOVE (TYPICAL).

3 TYPICAL T568B CABLE PAIR ASSIGNMENTS

SCALE: N.T.S.

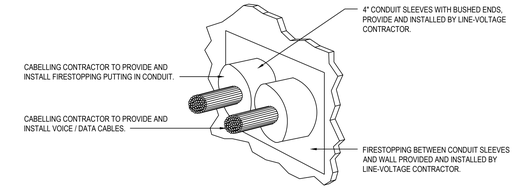


QTY.	PART NUMBER	DESCRIPTION	MANUFACTURER
1	1SB19K	1 PORT BISCUIT BOX	HUBBELL
2	HC6B10	10' PATCH CORD	HUBBELL
1	HXJ6B	RJ45 DATA CONNECTOR - BLUE	HUBBELL

4 SECURITY CAMERA

SCALE: N.T.S.

NOTES:
1. SECURE BISCUIT BOX TO BUILDING STRUCTURE
2. REFER TO DRAWINGS FOR QUANTITIES



NOTES:

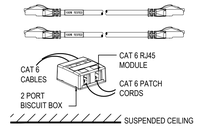
1. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL FIRE STOPPING PUTTY INSIDE ALL CONDUIT AND CONDUIT SLEEVE ENDS AFTER ALL OF THE RELATED COMMUNICATIONS CABLES HAVE BEEN INSTALLED INSIDE OF THE PATHWAY. (TYPICAL)
2. THIS DETAIL IS NOT APPLICABLE TO EZ PATH FIRE BARRIER RACEWAYS.
3. THE ELECTRICAL CONTRACTOR SHALL PROVIDE MATERIAL SAFETY DATA SHEETS (MSDS) PRIOR TO THEIR COMMENCEMENT OF WORK.

5 TYPICAL FIRE STOPPING SLEEVE DETAIL

SCALE: N.T.S.

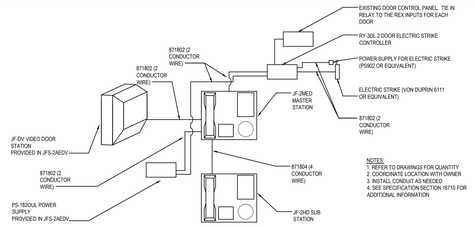
QTY.	PART NUMBER	DESCRIPTION	MANUFACTURER
1	ISB2BK	2 PORT BISCUIT BOX	HUBBELL
2	HC6B10	10' PATCH CORD	HUBBELL
2	HXJ6B	RJ45 DATA CONNECTOR - BLUE	HUBBELL

NOTES:
1. SECURE BISCUIT BOX TO BUILDING STRUCTURE
2. REFER TO DRAWINGS FOR QUANTITIES



6 TYPICAL CAT 6 WIRELESS ACCESS POINT

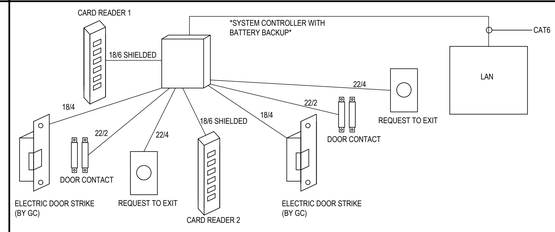
SCALE: N.T.S.



QTY.	PART NUMBER	DESCRIPTION	MANUFACTURER
1	JFS-2AEDV	VIDEO DOOR/MASTER STATION	AIPHONE
1	JF-2HD	MASTER SUB STATION	AIPHONE
AS REQ.	871804	4 CONDUCTOR WIRE FOR MASTER STATIONS AND SUB STATION	AIPHONE
AS REQ.	871802	2 CONDUCTOR WIRE BETWEEN 1ST MASTER STATION AND DOOR STATION	AIPHONE
AS REQ.	MCW-S/A	MASTER STATION DESK STAND	AIPHONE
AS REQ.	RY-3DL	2 DOOR ELECTRIC STRIKE CONTROLLER	AIPHONE

7 VIDEO DOOR STATION

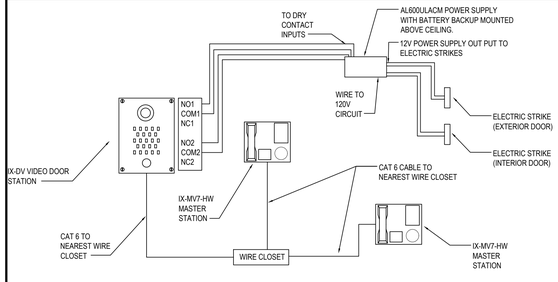
SCALE: N.T.S.



ITEM NO.	PART NUMBER	DESCRIPTION	MANUFACTURER
1	*	CARD READER	*
2	*	DOOR/READER INTERFACE	*
3	BK-1-A	DTC-4000 SINGLE SIDED PRINTER, CAMERA AND CARTRIDGE	FARGO
4	ONE YEAR WARRANTY	ONE YEAR WARRANTY PER STATE CONTRACT	-
5	PROGRAMMING	PROGRAMMING OF SYSTEM	-
6	TRAINING	TRAIN PERSONNEL ON SYSTEM USE	-

8 2 DOOR ACESS CONTROL DIAGRAM

SCALE: N.T.S.



QTY.	PART NUMBER	DESCRIPTION	MANUFACTURER
2	IX-MV7-HW	MASTER VIDEO STATION	AIPHONE
1	IX-DV	SURFACE MOUNTED IP VIDEO DOOR STATION	AIPHONE
1	AL600ULACM	DOOR POWER SUPPLY	ALTRONIX
1	871802	2 CON. WIRE BETWEEN MASTER STATION AND DOOR RELEASE	AIPHONE

9 TYPICAL SECURITY VIDEO DOOR STATION DETAIL

SCALE: N.T.S.

REV.	DATE	ITEM

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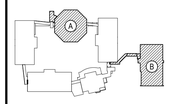

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
FOX LANE MIDDLE SCHOOL
TOWN of BEDFORD / WESTCHESTER COUNTY

PROJECT

SECURITY DETAILS

DWG TITLE

DRAWING BY: ---

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SED No. 66-01-02-06-0-007-013

DISTRICT: BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT: PHASE 2 - BOND IMPROVEMENTS

DWG TITLE: SECURITY DETAILS

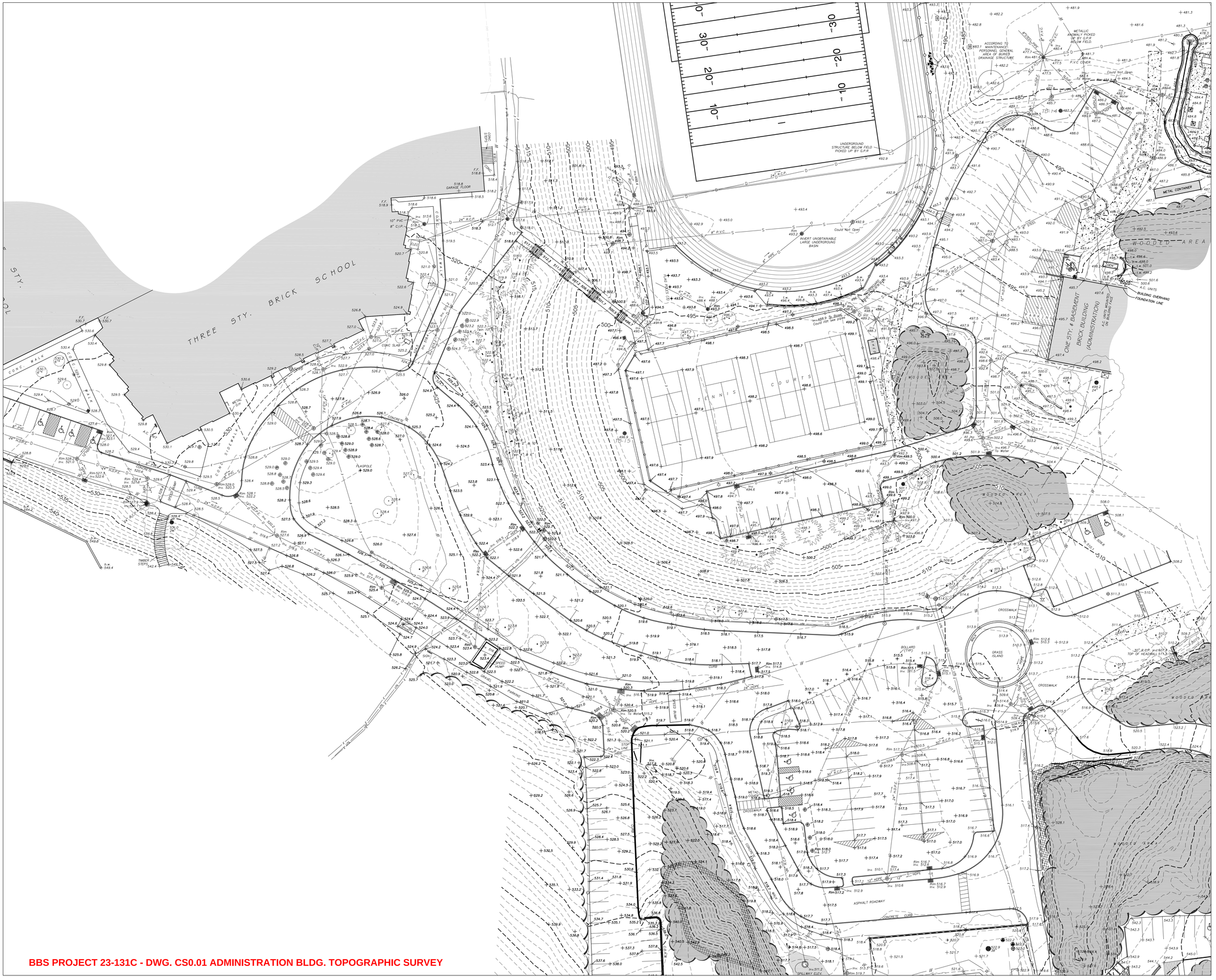
SCALE: AS NOTED

DATE: APRIL 2024

BID PICK-UP: FEBRUARY 24, 2025

FILE No: 23-131b FLMS

E10.02



BBS PROJECT 23-131C - DWG. CS0.01 ADMINISTRATION BLDG. TOPOGRAPHIC SURVEY

- + ... INDICATES SPOT ELEVATION
- t.c. ..... TOP CURB
- b.c. ..... BOTTOM CURB
- t.w. ..... TOP WALL
- b.w. ..... BOTTOM WALL
- b.o.b. ..... BOTTOM OF BANK
- t.o.b. ..... TOP OF BANK
- F.F. ..... FINISHED FLOOR
- S.M.R.W. ..... STONE MASONRY RETAINING WALL
- S.R.W. ..... STONE RETAINING WALL
- C.B.R.W. ..... CONC. BLOCK RETAINING WALL
- C.R.W. ..... CONC. RETAINING WALL
- LEADER DRAIN
- 2'x 4' STORM DRAIN
- CATCH BASIN (TYP.)
- 4'x 4' STORM DRAIN
- 2'x 2' DRAIN INLET
- 1'x 1' DRAIN INLET
- DROP CURB
- I.C.B ..... IRRIGATION CONTROL BOX
- I.C.V. ..... IRRIGATION CONTROL VALVE
- FIRE HYDRANT
- WATER SHUT OFF VALVE
- MANHOLE (COMMUNICATIONS)
- CABLE BOX
- STORM DRAIN
- MANHOLE (DRAINAGE)
- MANHOLE (ELEC. CON ED)
- MANHOLE (TYPE UNKNOWN)
- MANHOLE (SEWER)
- SEWER CLEANOUT
- MANHOLE (WATER)
- PARKING BOLLARDS
- MONITORING WELL
- UTILITY POLE
- UTILITY POLE W/ GUY WIRE
- LIGHT POLE
- LIGHT FIXTURE
- GAS VALVE
- ELECTRICAL OUTLET
- CHAIN LINK FENCE
- TRAFFIC SIGNS
- PORTABLE TOILET (RESTROOM)
- TRASH DUMPSTER
- DECIDUOUS TREE
- EVERGREEN TREE
- EDGE OF WOODED AREA / BRUSH
- HANDICAP SPACE

Abbreviations & Symbols

No.	Revision/Issue	Date
1		

North Direction

Firm Name and Address

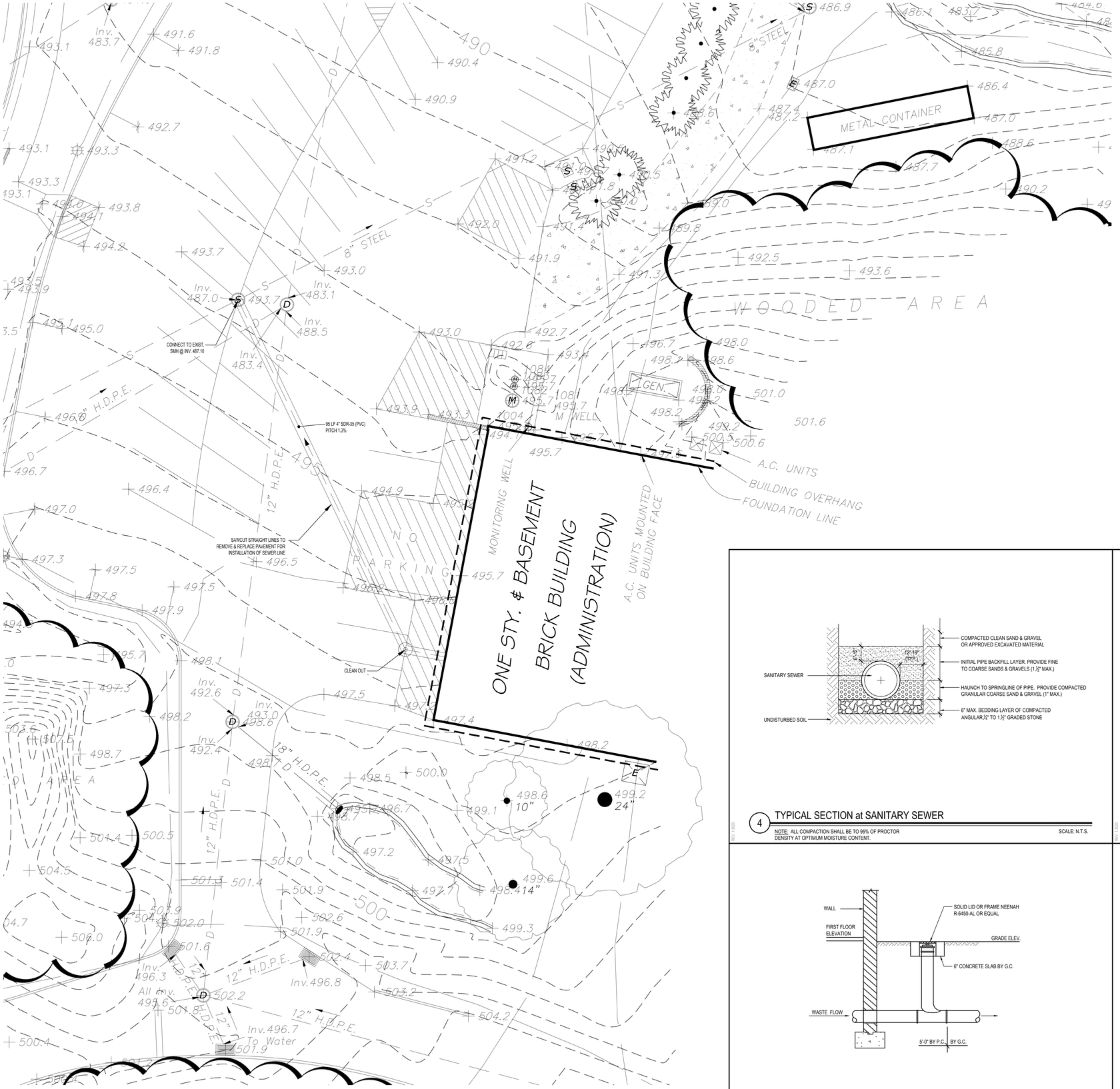
Link Land Surveyors P.C.
21 Clerk Place, Suite 1-B
Millerton, N.Y. 12546
Phone 845-626-5857
Fax 845-621-0013

ERIK J. LINK
NEW YORK STATE LICENSED
LAND SURVEYOR NO. 050542

UNDERGROUND UTILITIES MARK-OUT BY
ENVIROPROBE SERVICES, INC.
81 Marter Avenue, Laurel, N.J.
(856) 858-8584 (800) 596-7472

FOX LANE HIGH SCHOOL
&
FOX LANE MIDDLE SCHOOL
632 South Bedford Rd, Bedford, NY 10506

Project	RKL JOB # 9241
Date	JUNE 21, 2023
Scale	1inch = 80 feet
Sheet	4



SITE SEWER PLAN

SCALE: 1" = 10'-0"

GENERAL NOTES

1. ALL PAVED SURFACES SHALL PITCH 1% MIN. IN THE DIRECTION OF THE NEAREST DRAIN INLET OR THE DIRECTION AS SHOWN ON THE PLANS.
2. ALL PAVED SURFACES ON AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM CROSS PITCH OF 2% UNLESS OTHERWISE NOTED. OUTSIDE OF ACCESSIBLE ROUTES THE PITCH SHALL NOT EXCEED 5%.
3. INDICATED SPOT GRADES REPRESENT FINISHED GRADES UNLESS OTHERWISE NOTED.
4. LANDSCAPED AREAS SHALL BE GRADED FLUSH WITH THE TOP OF CURBS AND PAVEMENTS TO MEET EXISTING GRADE EXCEPT WHERE OTHERWISE NOTED.
5. CAUTION SHALL BE EXERCISED DURING GRADING OPERATIONS SO AS NOT TO RAISE OR LOWER GRADE IN THE VICINITY OF EXISTING TREES TO THE EXTENT THAT ROOTS ARE EXPOSED OR BURIED.
6. ALL NEW PAVEMENT AREAS TO BE INSTALLED TO SMOOTH, EVEN GRADE. CORRECT LOW SPOTS AND GRADE DISCREPANCIES BY FILLING AND CUTTING AS REQUIRED.
7. MEET EXISTING GRADES AT PROPERTY LINES AND LIMIT OF WORK LINES WHERE INDICATED.
8. ALL EXISTING UTILITIES MAY NOT BE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES, CLEARLY MARK AND PROTECT DURING EXCAVATION.
9. SEE DRAWING CS600 SERIES DRAWINGS FOR PAVING AND DRAINAGE DETAILS.
10. DRAINAGE AND SANITARY PIPE LAYING LENGTHS ARE MEASURED TO THE CENTERLINE OF MANHOLES AND TO THE INSIDE FACE OF CATCH BASINS AND DRAIN INLETS.
11. CONTRACTOR SHALL CLEAN EXISTING DRAINAGE STRUCTURES AND PIPES TO REMAIN OF ALL SILT AND DEBRIS AS SHOWN.

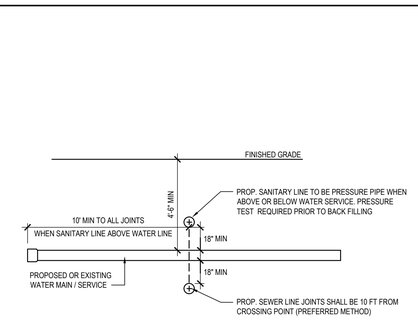
SYMBOL LEGEND

SYMBOL	DESCRIPTION
29	PROPOSED TOPOGRAPHIC CONTOUR
→	PAVEMENT PITCH DIRECTION
— · —	GRADING LIMIT LINE (G.L.L.)
+ (100.00)	PROPOSED SPOT ELEVATION
500	EXISTING TOPOGRAPHIC CONTOUR
+ 531.2	EXISTING SPOT ELEVATION
C04.17	NEW ITEM DETAIL TAG - SEE CS600 SERIES
	EXISTING DRAINAGE STRUCTURE

4 TYPICAL SECTION at SANITARY SEWER

NOTE: ALL COMPACTION SHALL BE TO 95% OF PROCTOR DENSITY AT OPTIMUM MOISTURE CONTENT.

SCALE: N.T.S.



3 SANITARY / WATER CROSSING DETAIL

SCALE: N.T.S.

2 CLEANOUT DETAIL

SCALE: N.T.S.

REV.	DATE	ITEM

NOTICE

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KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
ADMINISTRATION BUILDING
TOWN of BEDFORD / WESTCHESTER COUNTY

PROJECT

SITE SEWER PLAN

DWG TITLE

DRAWING BY: CTC

CHECK BY: JP

BBS
ARCHITECTS
LANDSCAPE ARCHITECTS
ENGINEERS

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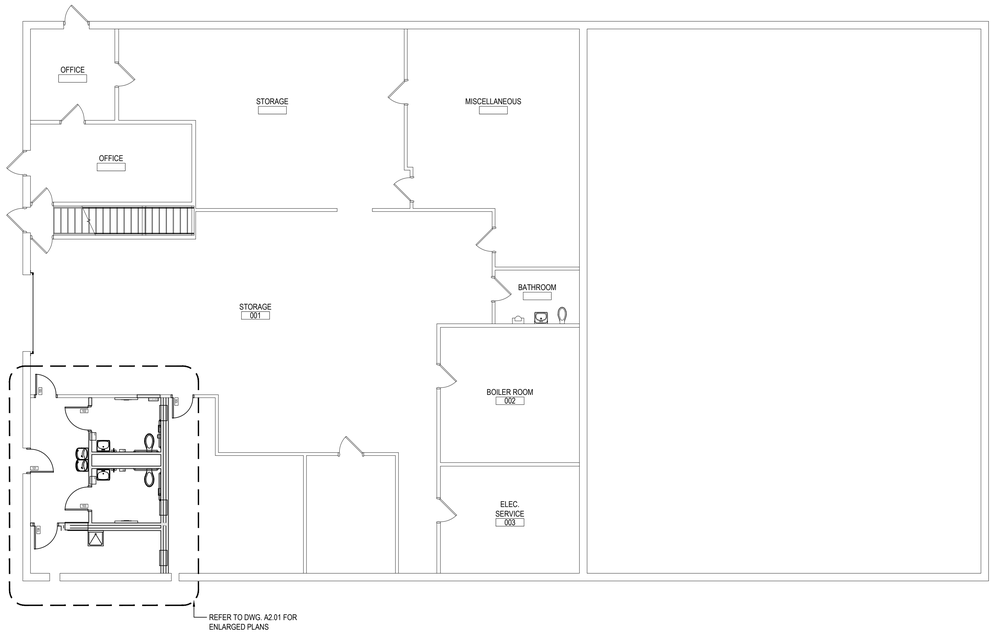
www.BBSARCHITECTURE.com

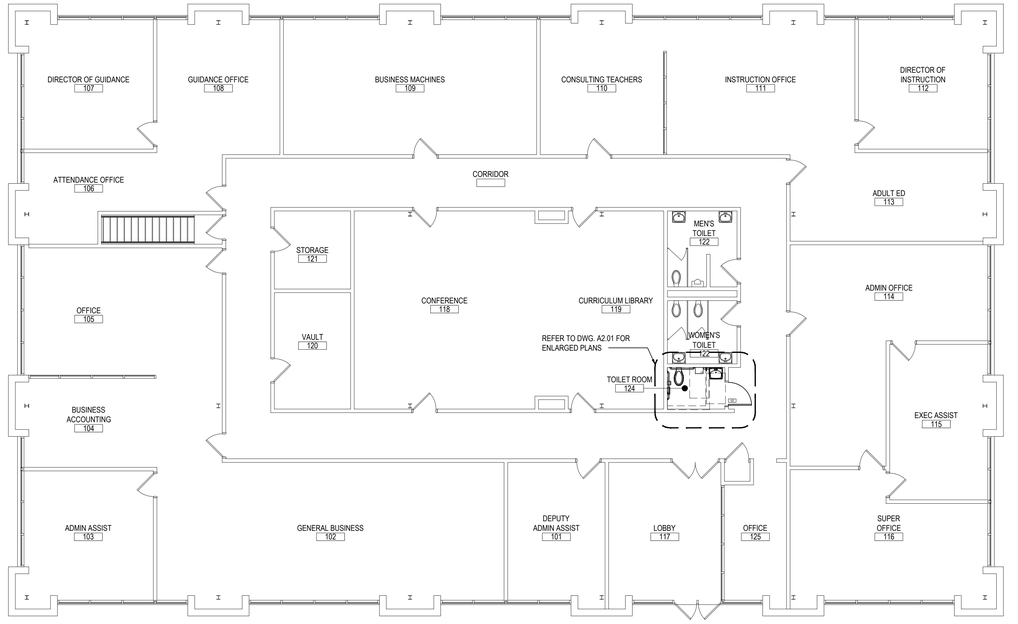
SED No.	66-01-02-06-1-008-014
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	SITE SEWER PLAN
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131C ADMIN.

CS4.01



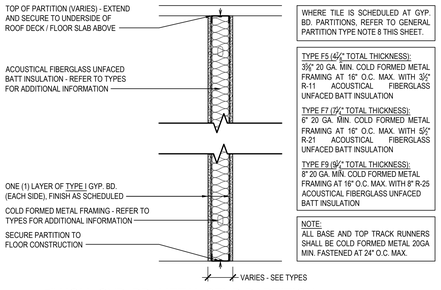
OVERALL BASEMENT FLOOR PLAN

SCALE: 1/8" = 1'-0"



OVERALL FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



WHERE TILE IS SCHEDULED AT GYP. BD. PARTITIONS, REFER TO GENERAL PARTITION TYPE NOTE 8 THIS SHEET.

TYPE F5 (4½" TOTAL THICKNESS):
3½" 20 GA. MIN. COLD FORMED METAL FRAMING AT 16" O.C. MAX. WITH 3½" R-11 ACOUSTICAL FIBERGLASS UNFACED BATT INSULATION

TYPE F7 (7½" TOTAL THICKNESS):
6" 20 GA. MIN. COLD FORMED METAL FRAMING AT 16" O.C. MAX. WITH 5½" R-21 ACOUSTICAL FIBERGLASS UNFACED BATT INSULATION

TYPE F9 (9½" TOTAL THICKNESS):
8" 20 GA. MIN. COLD FORMED METAL FRAMING AT 16" O.C. MAX. WITH 8" R-25 ACOUSTICAL FIBERGLASS UNFACED BATT INSULATION

NOTE:
ALL BASE AND TOP TRACK RUNNERS SHALL BE COLD FORMED METAL 20GA MIN. FASTENED AT 24" O.C. MAX.

F5 5" NOM. GYP. BD. METAL STUD PARTITION

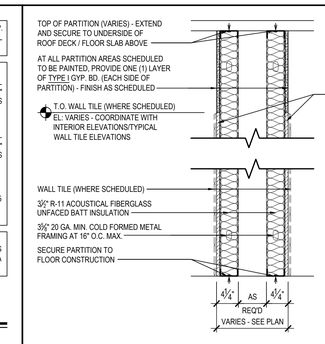
NON-RATED / NON-BEARING INTERIOR PARTITION

F7 7" NOM. GYP. BD. METAL STUD PARTITION

NON-RATED / NON-BEARING INTERIOR PARTITION, GRAPHIC SIMILAR AS SHOWN

F9 9" NOM. GYP. BD. METAL STUD PARTITION

NON-RATED / NON-BEARING INTERIOR PARTITION, GRAPHIC SIMILAR AS SHOWN



NOTE:
COORDINATE PLUMBING PARTITION CONSTRUCTION WITH ALL TRADES. REFER TO MEP-SERIES DRAWINGS FOR ADDITIONAL INFORMATION.

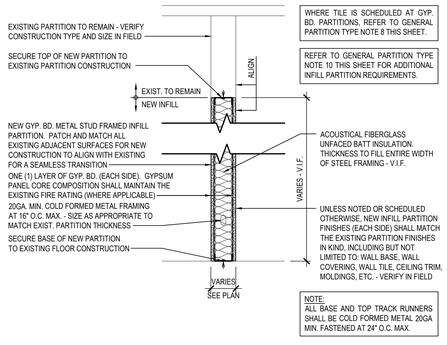
AT ALL PARTITION AREAS SCHEDULED TO RECEIVE TILE, PROVIDE ONE (1) LAYER TYPE II GYP. BD. (EACH SIDE OF PARTITION) AS SUBSTRATE - FINISH AS SCHEDULED. COORDINATE HEIGHT OF GYP. BD. WITH WALL TILE LAYOUTS, (HEIGHT VARIES)

NOTE:
REFER TO A-9 SERIES DRAWINGS FOR ADDITIONAL WALL TILE AND FINISH INFORMATION.

NOTE:
ALL BASE AND TOP TRACK RUNNERS SHALL BE COLD FORMED METAL 20GA MIN. FASTENED AT 24" O.C. MAX.

L GYP. BD. METAL STUD PLUMBING PARTITION

REFER TO ENLARGED TOILET ROOM PLANS FOR ADDITIONAL INFORMATION



WHERE TILE IS SCHEDULED AT GYP. BD. PARTITIONS, REFER TO GENERAL PARTITION TYPE NOTE 8 THIS SHEET.

REFER TO GENERAL PARTITION TYPE NOTE 10 THIS SHEET FOR ADDITIONAL INFILL PARTITION REQUIREMENTS.

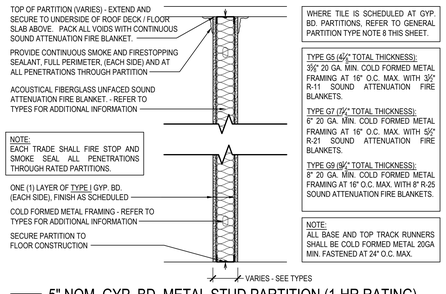
ACOUSTICAL FIBERGLASS UNFACED BATT INSULATION. THICKNESS TO FILL ENTIRE WIDTH OF STEEL FRAMING - V.I.F.

UNLESS NOTED OR SCHEDULED OTHERWISE, NEW INFILL PARTITION FINISHES (EACH SIDE) SHALL MATCH THE EXISTING PARTITION FINISHES IN KIND, INCLUDING BUT NOT LIMITED TO: WALL BASE, WALL COVERING, WALL TILE, CEILING TRIM, MOLDINGS, ETC. - VERIFY IN FIELD

NOTE:
ALL BASE AND TOP TRACK RUNNERS SHALL BE COLD FORMED METAL 20GA MIN. FASTENED AT 24" O.C. MAX.

O GYP. BD. METAL STUD INFILL PARTITION

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS IN FIELD



WHERE TILE IS SCHEDULED AT GYP. BD. PARTITIONS, REFER TO GENERAL PARTITION TYPE NOTE 8 THIS SHEET.

TYPE G5 (4½" TOTAL THICKNESS):
3½" 20 GA. MIN. COLD FORMED METAL FRAMING AT 16" O.C. MAX. WITH 3½" R-11 SOUND ATTENUATION FIRE BLANKETS.

TYPE G7 (7½" TOTAL THICKNESS):
6" 20 GA. MIN. COLD FORMED METAL FRAMING AT 16" O.C. MAX. WITH 5½" R-21 SOUND ATTENUATION FIRE BLANKETS.

TYPE G9 (9½" TOTAL THICKNESS):
8" 20 GA. MIN. COLD FORMED METAL FRAMING AT 16" O.C. MAX. WITH 8" R-25 SOUND ATTENUATION FIRE BLANKETS.

NOTE:
ALL BASE AND TOP TRACK RUNNERS SHALL BE COLD FORMED METAL 20GA MIN. FASTENED AT 24" O.C. MAX.

G5 5" NOM. GYP. BD. METAL STUD PARTITION (1-HR RATING)

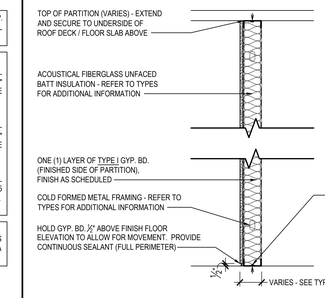
UL U419 / STC 49, NON-BEARING INTERIOR PARTITION

G7 7" NOM. GYP. BD. METAL STUD PARTITION (1-HR RATING)

UL U419 / STC 49, NON-BEARING INTERIOR PARTITION, GRAPHIC SIMILAR AS SHOWN

G9 9" NOM. GYP. BD. METAL STUD PARTITION (1-HR RATING)

UL U419 / STC 49, NON-BEARING INTERIOR PARTITION, GRAPHIC SIMILAR AS SHOWN



WHERE TILE IS SCHEDULED AT GYP. BD. PARTITIONS, REFER TO GENERAL PARTITION TYPE NOTE 8 THIS SHEET.

TYPE K4 (4½" TOTAL THICKNESS):
3½" 20 GA. MIN. COLD FORMED METAL FRAMING AT 16" O.C. MAX. WITH 3½" R-11 ACOUSTICAL FIBERGLASS UNFACED BATT INSULATION

TYPE K7 (6½" TOTAL THICKNESS):
6" 20 GA. MIN. COLD FORMED METAL FRAMING AT 16" O.C. MAX. WITH 5½" R-21 ACOUSTICAL FIBERGLASS UNFACED BATT INSULATION

SECURE PARTITION TO
FLOOR CONSTRUCTION

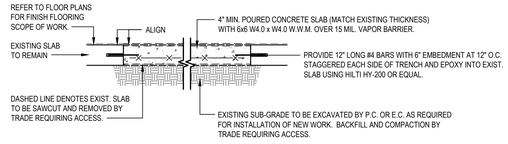
NOTE:
ALL BASE AND TOP TRACK RUNNERS SHALL BE COLD FORMED METAL 20GA MIN. FASTENED AT 24" O.C. MAX.

K4 4" NOM. GYP. BD. METAL STUD PARTITION - SINGLE SIDED

K7 7" NOM. GYP. BD. METAL STUD PARTITION - SINGLE SIDED

GENERAL PARTITION TYPE NOTES:

1. ALL PARTITIONS SHALL EXTEND TO UNDERSIDE OF A FLOOR SLAB OR ROOF DECK UNLESS OTHERWISE NOTED.
2. AT ALL PARTITIONS THAT ARE DESIGNATED TO BE FIRE RATED PARTITIONS; PROVIDE CONTINUOUS SMOKE AND FIRESTOPPING SEALANT AT TOPS OF PARTITIONS; AT ALL PENETRATIONS THROUGH RATED PARTITIONS; AND FIRE SAFING JOINT FILLER AT PARTITION TO SLAB/DECK JUNCTION.
3. REFER TO CODE COMPLIANCE DRAWINGS FOR LOCATIONS OF ALL FIRE RATED PARTITIONS/ASSEMBLIES AND ADDITIONAL FIRE RATING INFORMATION.
4. ALL PARTITIONS SHALL BE FINISHED AS SCHEDULED. ALL FINISHES SHALL BE CONTINUOUS AT ALL PARTITION FACES UNLESS NOTED OTHERWISE. REFER TO A9-SERIES FOR ADDITIONAL FINISH INFORMATION.
5. ALL NEW PARTITIONS SHALL BE PREPPED, PRIMED AND PAINTED. REFER TO SPECIFICATION SECTION 099000.
6. REFER TO THE PROJECT MANUAL FOR CONTROL AND EXPANSION JOINT REQUIREMENTS FOR ALL MASONRY WALL CONSTRUCTION, GYP. BD. WALL CONSTRUCTION, GYP. BD. LAMINATION, AND PLASTER SURFACING.
7. REFER TO SPECIFICATIONS FOR GYPSUM BOARD TYPE DESIGNATIONS AND APPLICABLE LOCATIONS (GYP. BD. TYPE I / TYPE II).
8. WHERE METAL STUD FRAMED PARTITIONS ARE SCHEDULED TO RECEIVE NEW TILE FINISHES; THE CONTRACTOR SHALL PROVIDE GYPSUM WALL BOARD TYPE II AT THE LOCATIONS TO RECEIVE TILE (ONLY) IN LIEU OF THE SCHEDULED GYP. BD. TYPE FOR A SUITABLE WALL FINISH SUBSTRATE. REFER TO A-9 SERIES FOR ADDITIONAL INFORMATION.
9. ALL NEW OPENINGS IN METAL STUD PARTITIONS, INCLUDING BUT NOT LIMITED TO DOORS AND WINDOWS, SHALL RECEIVE THE APPROPRIATE HEADER AS DESIGNED BY THE LIGHT GAUGE FRAMING MANUFACTURER.
10. WHERE EXISTING OPENINGS IN EXISTING PARTITIONS ARE SCHEDULED TO BE INFILLED, THE NEW INFILL CONSTRUCTION SHALL MAINTAIN AND MATCH THE EXISTING PARTITION'S FIRE RATING FOR CONTINUITY OF FIRE AND SMOKE PROTECTION - CONTRACTOR TO VERIFY IN FIELD (1-HR MIN. RATING AT CORRIDORS). REFER TO CODE COMPLIANCE DRAWINGS FOR ADDITIONAL INFORMATION.
11. AT ALL LOCATIONS WHERE EXISTING PARTITIONS ARE SCHEDULED TO BE PATCHED OR INFILLED; ALL NEW CONSTRUCTION/FINISHES SHALL MATCH THE EXISTING ADJACENT SURFACES IN KIND - CONTRACTOR TO V.I.F.
12. AT ALL LOCATIONS WHERE NEW WORK IS SCHEDULED, THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING, LATERAL BRACING, AND ADDITIONAL FRAMING AS REQUIRED TO SECURE NEW PARTITIONS TO THE STRUCTURE ABOVE AND TO ACCOMMODATE ALL NEW WALL MOUNTED FIXTURES; ACCESSORIES, EQUIPMENT, ETC.
13. WHERE PARTITION TYPES ARE NOT SPECIFICALLY IDENTIFIED IN PLAN, IT IS THE INTENT THAT THE GRAPHICALLY INDICATED WALL TYPE SHALL BE CONTIGUOUS UNTIL INTERRUPTED BY ANOTHER SPECIFIED WALL TYPE.



TYPICAL SLAB SAWCUT NOTE

EACH TRADE SHALL SAWCUT AND REMOVE PORTIONS OF EXISTING CONCRETE SLAB-ON-GRADE TO ACCOMMODATE INSTALLATION OF NEW UNDER-SLAB UTILITIES AND PATCH SLAB AND FINISH FLOORING. SLAB SHALL BE SCANNED VIA GROUND PENETRATING RADAR (GPR) AND/OR OTHER METHODS AS DEEMED APPROPRIATE AND MARKED-OUT FOR BURIED AND/OR EMBEDDED PIPING, DUCT BANKS, ELECTRICAL CONDUIT, AND OTHER UTILITIES. EACH CONTRACTOR SHALL EXERCISE CARE IN SLAB DEMOLITION IN THE VICINITY OF LOCATED UTILITIES AND ALTER METHODS OF SLAB DEMOLITION AS APPROPRIATE. FINAL EXTENT AND LOCATIONS OF SLAB REMOVAL TO BE COORDINATED BETWEEN TRADES IN THE FIELD. EACH TRADE WILL BE RESPONSIBLE FOR REPAIR OF ANY UTILITIES CUT OR DAMAGED BY THEIR SLAB REMOVAL WHETHER REVEALED BY SCANNING OR NOT. ANY DAMAGE TO UTILITIES CAUSED DURING EXCAVATION BY OTHER TRADES WILL BE THE RESPONSIBILITY OF THE TRADE WHICH CAUSED THE DAMAGE.

1 TYPICAL SLAB ON GRADE SAWCUT INFILL DETAIL

SCALE: 3/4" = 1'-0"

REV.	DATE	ITEM

NOTICE

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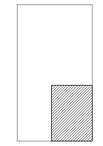

KEY PLAN

NOT TO SCALE

PROJECT
BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
ADMINISTRATION BUILDING
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE
PARTITION TYPES and DETAILS

DRAWING BY: BCM
CHECK BY: PJH

BBS
ARCHITECTS
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SED No. 66-01-02-06-1-008-014

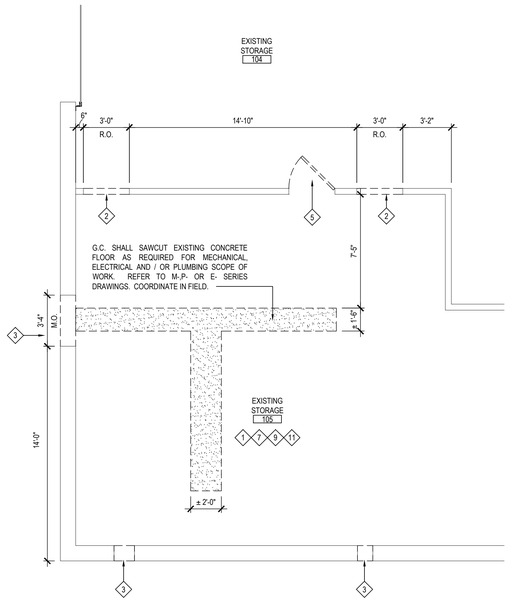
DISTRICT BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT PHASE 2 - BOND IMPROVEMENTS

DWG TITLE PARTITION TYPES and DETAILS

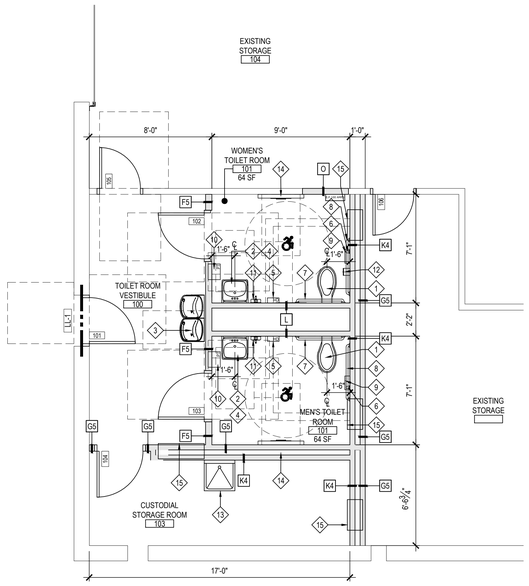
SCALE: AS NOTED
DATE: APRIL 2024
BID PICK-UP: FEBRUARY 24, 2025
FILE No: 23-131C ADMIN.

A2.00



DEMOLITION PLAN

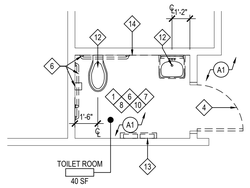
SCALE: 1/4" = 1'-0"



PROPOSED TOILET ROOM PLAN

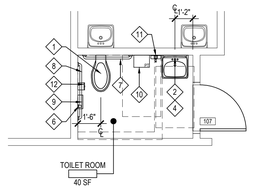
NOTE: USE ADULT HEIGHT FIXTURES.

SCALE: 1/4" = 1'-0"



DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

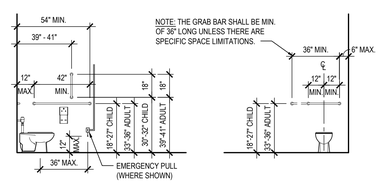


PROPOSED TOILET ROOM PLAN

NOTE: USE ADULT HEIGHT FIXTURES.

SCALE: 1/4" = 1'-0"

ADA COMPLIANT PLUMBING ELEMENTS MOUNTING STANDARDS

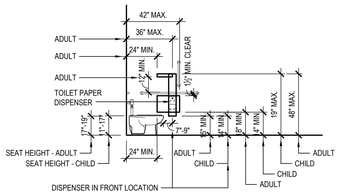


SIDE WALL

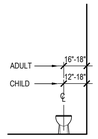
REAR WALL

WATER CLOSET GRAB BAR MOUNTING DIMENSIONS

SCALE: 1/4" = 1'-0"



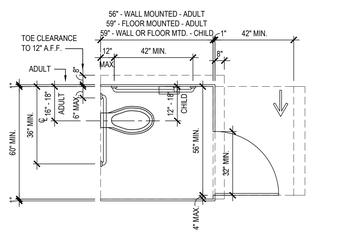
SIDE WALL



REAR WALL

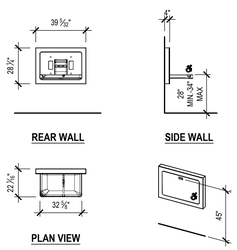
WATER CLOSET SEAT HEIGHT and PROTRUDING DISPENSER OUTLET LOCATIONS

SCALE: 1/4" = 1'-0"



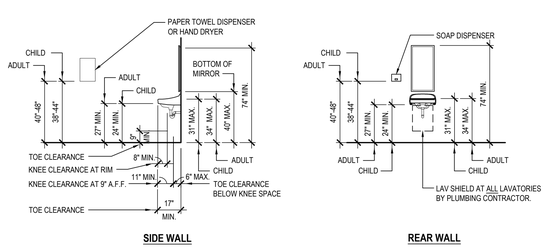
ACCESSIBLE WHEELCHAIR STALL DIMENSIONS

SCALE: 1/4"= 1'-0"



DIAPER CHANGING STATION DIMENSIONS

SCALE: 1/4" = 1'-0"



SIDE WALL **REAR WALL**

LAVATORY ACCESSIBLE HEIGHTS and CLEARANCES

SCALE: 1/4" = 1'-0"

HAZARDOUS MATERIALS NOTES

1. OWNER HAS EMPLOYED AN ENVIRONMENTAL CONSULTANT TO PERFORM DESIGN-PHASE INSPECTION AND TESTING FOR ASBESTOS, LEAD AND / OR PCBs. SUCH REPORTS ARE CONTAINED IN THE PROJECT MANUAL AND MAY CONTAIN ADDITIONAL REQUIREMENTS BEYOND THOSE SHOWN IN THE CONSTRUCTION DRAWINGS AND DIVISION 1 RELATED SPECIFICATIONS.
2. CONSTRUCTION DRAWINGS INDICATE EXTENT OF HAZARDOUS MATERIALS REMOVALS, WHICH MAY BE ASSUMED OR CONFIRMED POSITIVE. CONTRACTOR SHALL VERIFY QUANTITIES OF SUCH MATERIALS AND ACCOUNT FOR THEM IN THE BID.
3. CONTRACTOR SHALL EMPLOY A PROPERLY CREDENTIALED HAZARDOUS MATERIALS SUBCONTRACTOR AS REQUIRED FOR THE SCOPE OF WORK AT HAND.
4. ASBESTOS ABATEMENT SHALL BE PERFORMED IN ACCORDANCE WITH NYS INDUSTRIAL CODE RULE 56.
5. REMOVAL OF LEAD CONTAINING CONSTRUCTION MATERIALS SHALL BE PERFORMED IN ACCORDANCE WITH FEDERAL HUD REGULATIONS AND THE EPA'S RRP RULE. THE WORK OF THIS PROJECT IS NOT INTENDED TO BE A LEAD ABATEMENT.
6. WHERE WORK INVOLVES LEAD CONTAINING CONSTRUCTION MATERIALS, WIPE TESTS WILL BE PERFORMED UPON FINAL CLEANING. FAILURE WILL REQUIRE RE-CLEANING BY THE CONTRACTOR.
7. PCB REMOVALS SHALL BE PERFORMED IN ACCORDANCE WITH FEDERAL EPA REGULATIONS AS ENFORCED BY NYS DEC. IF SUCH MATERIALS ALSO CONTAIN ASBESTOS, THEN SUCH MATERIALS SHALL BE HANDLED AND DISPOSED OF PER BOTH NYS DEC AND NYS ICR 56.
8. CONTRACTOR SHALL COORDINATE HAZARDOUS MATERIALS REMOVAL ACTIVITIES WITH THE OWNER'S ENVIRONMENTAL CONSULTANT FOR APPROPRIATE PROJECT MONITORING.
9. IF ANY SUSPECT MATERIALS ARE DISCOVERED DURING DEMOLITION THAT ARE OUTSIDE OF THE IDENTIFIED SCOPE OF WORK, THE CONTRACTOR SHALL CEASE REMOVAL AND NOTIFY THE ARCHITECT.
10. THE FOLLOWING HAZARDOUS MATERIAL REMOVAL KEY NOTES CORRESPOND TO THE CONSTRUCTION DRAWINGS:
    - A1 ASBESTOS CONTAINING FLOOR TILE.

DEMOLITION SYMBOL LEGEND

SYMBOL	DESCRIPTION
	EXISTING CONSTRUCTION TO BE REMOVED (PATCH ALL REMAINING SURFACES)
	EXISTING FLOOR SLAB TO BE SAWCUT TO ACCOMMODATE NEW UNDER SLAB UTILITIES. REFER TO SAWCUT DETAIL FOR ADDITIONAL INFORMATION.
X	KEYED NOTE
# / AX.XX	DETAIL TAG — DETAIL NUMBER — DRAWING NUMBER
XX / XX.XX	SECTION / ELEVATION TAG — DETAIL NUMBER — DRAWING NUMBER
XXXX / XXX / XXX SF	ROOM TAG — ROOM NAME — ROOM NUMBER — ROOM AREA
1	REVISION CLOUD AND KEYED DESIGNATION. REFER TO DRAWING TITLEBLOCK FOR ADDITIONAL INFORMATION.

DEMOLITION KEY NOTES

1. EXISTING WALL MOUNTED EMERGENCY LIGHTING, CONDUIT, WIRE MOLD, SPEAKERS, ETC. TO BE REMOVED AND DISPOSED OF IN THEIR ENTIRETY BY E.C.
2. PORTION OF EXISTING PLASTER / GYPSUM BD. WALL TO BE REMOVED. PREP OPENING
3. PORTION OF EXISTING EXTERIOR WALL CONSTRUCTION TO BE SAWCUT, REMOVED AND DISPOSED OF FOR NEW MASONRY OPENING. PROVIDE NEW LINTEL. TOOTH-IN NEW MASONRY.
4. EXISTING DOOR TO BE REMOVED AND DISPOSED OF. EXISTING FRAME TO REMAIN, MODIFY FOR NEW DOOR HARDWARE. PREP, PRIME AND PAINT. COLOR AS SELECTED BY ARCHITECT.
5. EXISTING DOOR AND HOLLOW METAL FRAME TO BE REMOVED AND DISPOSED OF. PREP OPENING FOR NEW INFILL.
6. EXISTING WALL MOUNTED TOILET ROOM ACCESSORIES TO BE REMOVED AND TURNED OVER TO THE DISTRICT.
7. EXISTING CEILING MOUNTED EMERGENCY LIGHTING, CONDUIT, WIRE MOLD, SPEAKERS, ETC. TO BE REMOVED AND DISPOSED OF IN THEIR ENTIRETY BY E.C.
8. EXISTING ACOUSTICAL CEILING TILE AND GRID TO BE REMOVED AND DISPOSED OF IN IT'S ENTIRETY.
9. EACH TRADE SHALL SAWCUT EXISTING CONCRETE FLOOR AS REQUIRED FOR MECHANICAL, ELECTRICAL AND / OR PLUMBING SCOPE OF WORK. REFER TO M-,P- OR E- SERIES DRAWINGS. COORDINATE IN FIELD.
10. EXISTING VINYL ASBESTOS TILE AND MASTIC TO BE REMOVED AND DISPOSED OF. PREP FLOOR AS REQUIRED FOR SELF-LEVELING FOR NEW FINISH FLOORING.
11. PREP FLOOR AS REQUIRED FOR SELF-LEVELING FOR NEW FINISH FLOORING.
12. P.C. TO DISCONNECT. G.C. TO DISPOSE OF EXISTING PLUMBING FIXTURES.
13. E.C. TO REMOVE AND RELOCATE EXISTING ELECTRICAL PANELS. REFER TO E.- SERIES DRAWINGS. G.C. TO REMOVE WOOD CABINET.
14. WALL PANELING TO BE REMOVED. PREP WALL FOR NEW FINISH.
15. RECESSED CABINET HEATER MY M.C. SEE M- SERIES DRAWINGS.

TOILET FIXTURE MOUNTING HEIGHTS

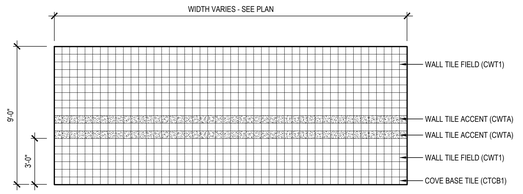
1. AT ALL STUDENT USE TOILET FACILITIES, ALL TOILET FIXTURES, URINALS, LAVATORIES, GRAB BARS, ACCESSORIES, ETC. SHALL BE MOUNTED EITHER AT ADULT HEIGHT OR CHILD HEIGHT AS INDICATED ON THE PLANS AND 'TYPICAL ADA PLUMBING ELEMENTS MOUNTING STANDARDS.'
2. AT ALL ADULT USE TOILET FACILITIES, ALL TOILET FIXTURES, URINALS, LAVATORIES, GRAB BARS, ACCESSORIES, ETC. SHALL BE MOUNTED AT ADULT HEIGHT AS INDICATED ON THE PLANS AND 'TYPICAL ADA PLUMBING ELEMENTS MOUNTING STANDARDS.'
3. THE HEIGHT OF ALL GRAB BAR MUST BE THE SAME WITHIN EACH STALL / ROOM.
4. THE CHILD MOUNTING HEIGHT LIMITS APPLY FOR ADA AND NON-ADA LOCATIONS.

TOILET ROOM KEY NOTES

1. P.C. TO FURNISH AND INSTALL NEW ADA ACCESSIBLE WATER CLOSET AND FLUSHOMETER.
2. P.C. TO FURNISH AND INSTALL NEW ADA ACCESSIBLE LAVATORY, FAUCET AND LAV SHIELD.
3. P.C. TO PROVIDE AND INSTALL NEW DRINKING FOUNTAIN. E.C. TO PROVIDE FINAL POWER CONNECTIONS. COORDINATE IN FIELD.
4. G.C. TO FURNISH AND INSTALL NEW MIRROR.
5. G.C. TO PROVIDE AND INSTALL NEW ADA COMPLIANT SURFACE MOUNTED HAND DRYER. E.C. TO CONNECT TO NEW OR EXISTING POWER.
6. G.C. TO FURNISH AND INSTALL NEW VERTICAL 18" GRAB BAR.
7. G.C. TO FURNISH AND INSTALL NEW HORIZONTAL 36" GRAB BAR.
8. G.C. TO FURNISH AND INSTALL NEW HORIZONTAL 42" GRAB BAR.
9. OWNER TO PROVIDE, G.C. TO FURNISH AND INSTALL NEW TOILET PAPER DISPENSER.
10. OWNER TO PROVIDE, G.C. TO FURNISH AND INSTALL NEW RECESSED C-FOLD PAPER TOWEL DISPENSER
11. OWNER TO PROVIDE, G.C. TO FURNISH AND INSTALL NEW WALL MOUNTED SOAP DISPENSER.
12. G.C. TO FURNISH AND INSTALL NEW SANITARY NAPKIN WASTE RECEPTACLE.
13. P.C. TO FURNISH AND INSTALL NEW SERVICE SINK
14. G.C. TO FURNISH AND INSTALL NEW DIAPER CHANGING STATION.

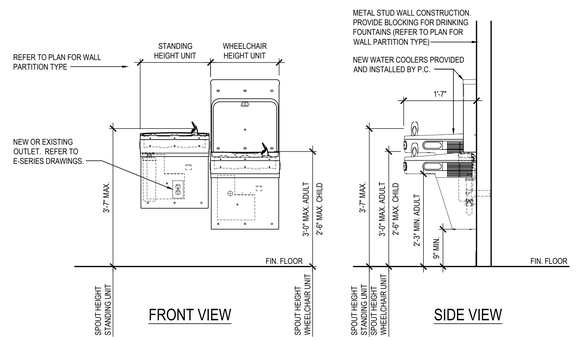
DEMOLITION and REMOVAL NOTES

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND REMOVALS, UNLESS NOTED OTHERWISE. MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL DISCONNECTS. G.C. TO COORDINATE DEMOLITION WITH M.C., P.C., AND E.C. REFER TO M.E.P. SERIES DEMOLITION DRAWINGS FOR ADDITIONAL INFORMATION AND DEMOLITION SCOPE BY GENERAL CONTRACTOR NOT SHOWN THIS DRAWING. TYPICAL FOR ALL AREAS OF INTERIOR DEMOLITION AND / OR RECONSTRUCTION.
2. ALL OPENINGS IN EXISTING INTERIOR AND EXTERIOR WALLS SHALL BE PATCHED AS REQUIRED AND MASONRY TOOTHED-IN TO MATCH ADJACENT.
3. G.C. SHALL PATCH, REPLACE, OR REPAIR DAMAGE CAUSED TO EXIST. FLOOR, WALLS, ROOF, ETC. SHOWN TO REMAIN AS A RESULT OF DEMOLITION TO PRIOR CONDITION OR MATCH ADJACENT NEW CONSTRUCTION.
4. G.C. SHALL VERIFY ALL REMOVALS W/ OWNERS REPRESENTATIVE/OWNER, AND M.C., P.C., OR E.C. PRIOR TO COMMENCEMENT.
5. NOTED WALL REMOVALS SHALL INCLUDE ALL DOORS, WINDOWS AND FRAMES WHERE SHOWN.
6. REFER TO STRUCTURAL DRAWINGS FOR LINTEL SCHEDULE.
7. THROUGHOUT ALL AREAS OF WORK, E.C. SHALL ORGANIZE ALL EXISTING WIRES TO REMAIN AT UNDERSIDE OF ROOF DECK ABOVE NEW FINISHED CEILING. SECURE TO BOTTOM OF EXISTING ROOF DECK, STEEL JOISTS, ETC. REFER TO E-SERIES DRAWINGS.



TYPICAL TOILET ROOM ELEVATION

SCALE: 1/4" = 1'-0"



NOTE: HEIGHTS INDICATED ARE MAXIMUM ALLOWABLE PER CODE. MANUFACTURER'S ROUGH-IN DIMENSIONS ARE ACCEPTABLE. ADJUST FOR CHILD HEIGHT WHEN APPLICABLE.

NOTE: UNIT CAN BE INSTALLED WITH RIGHT HAND HIGH SIDE CONFIGURATION AS WELL. COORDINATE WITH PART AND MANUFACTURER'S DATA FOR VARIANCE IN UTILITY ROUTING.

ADA COMPLIANT DRINKING FOUNTAIN/BOTTLE FILL STATION DETAIL

SCALE: 3/4" = 1'-0"

'EZH20' BOTTLE FILLING STATION WITH FILTERED BI-LEVEL LZ COOLER BY 'ELKAY' OR APPROVED EQUAL. SHOWN WITH LEFT HAND HIGH SIDE CONFIGURATION.

REV.	DATE	ITEM

NOTICE

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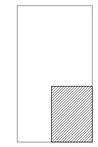

KEY PLAN

NOT TO SCALE

PROJECT: BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
ADMINISTRATION BUILDING
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE: TOILET ROOM PLANS and DETAILS

DRAWING BY: BCM
CHECK BY: PJH

NOTICE

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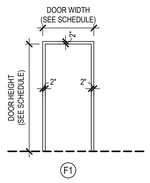
SED No.	66-01-02-06-1-008-014
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	TOILET ROOM PLANS and DETAILS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131C ADMIN.

A2.01

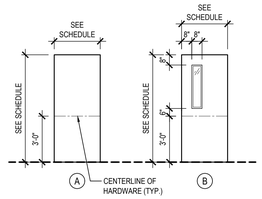
DOOR SCHEDULE

DOOR NO.	LOCATION	SIGNAGE	DOOR							FRAME			HARDWARE SET	DETAIL				FIRE RATING	REMARKS	DOOR NO.
			LEAVES	WIDTH	HEIGHT	THICKNESS	ELEV. TYPE	MAT.	GLAZING	TYPE.	MAT.	GLAZING		HEAD	JAMB	SILL	T'HOLD			
101	EXTERIOR	- - -	1	3'-0"	7'-0"	1 3/4"	B	FRP	INSUL.	F1	ALUM.	- - -	3	H1	J1	- - -	T1	- - -		101
102	WOMEN'S TOILET ROOM	D	1	3'-0"	7'-0"	1 3/4"	A	SCLCOV	- - -	F1	H.M.	- - -	2	H2	J2	- - -	T2	20 MIN.		102
103	MEN'S TOILET ROOM	D	1	3'-0"	7'-0"	1 3/4"	A	SCLCOV	- - -	F1	H.M.	- - -	2	H2	J2	- - -	T2	20 MIN.		103
104	CUSTODIAL STORAGE ROOM	B	1	3'-0"	7'-0"	1 3/4"	A	SCLCOV	- - -	F1	H.M.	- - -	1	H3	J3	- - -	T3	45 MIN.		104
105	TOILET ROOM VESTIBULE	B	1	3'-0"	7'-0"	1 3/4"	B	SCLCOV	TEMP.	F1	H.M.	- - -	1	H3 SIM.	J3	- - -	T3 SIM.	20 MIN.		105
106	STORAGE ROOM	B	1	3'-0"	7'-0"	1 3/4"	A	SCLCOV	- - -	F1	H.M.	- - -	1	H3 SIM.	J3 SIM.	- - -	T3 SIM.	45 MIN.		106
107	TOILET ROOM	D	1	3'-0"	7'-0"	1 3/4"	A	SCLCOV	- - -	F1	E.T.R.	- - -						20 MIN.	EXISTING FRAME TO REMAIN: MODIFY FOR NEW DOOR HARDWARE	107



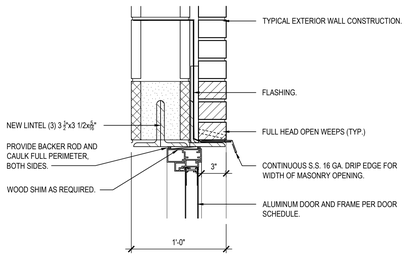
FRAME TYPE ELEVATIONS

NOTE: REFER TO DOOR SCHEDULE FOR DOOR FRAME MATERIAL. SCALE: 1/4" = 1'-0"



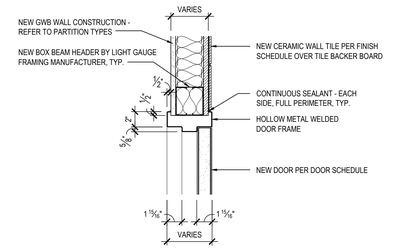
DOOR TYPE ELEVATIONS

NOTE: REFER TO DOOR SCHEDULE FOR DOOR MATERIAL AND GLAZING. SCALE: 1/4" = 1'-0"



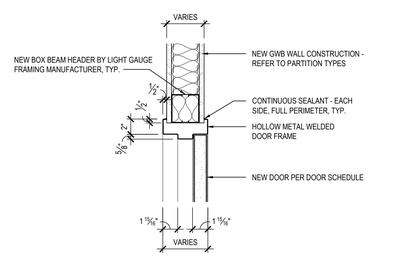
H1 HEAD DETAIL

SCALE: 1-1/2" = 1'-0"



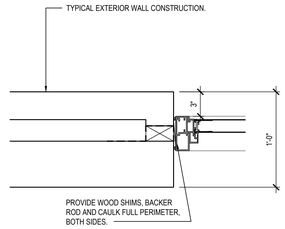
H2 HEAD DETAIL

SCALE: 1-1/2" = 1'-0"



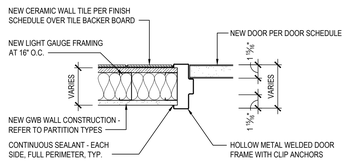
H3 HEAD DETAIL

SCALE: 1-1/2" = 1'-0"



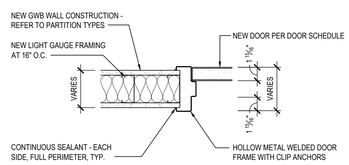
J1 JAMB DETAIL

SCALE: 1-1/2" = 1'-0"



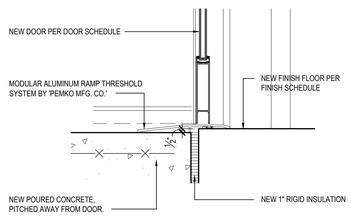
J2 JAMB DETAIL

SCALE: 1-1/2" = 1'-0"



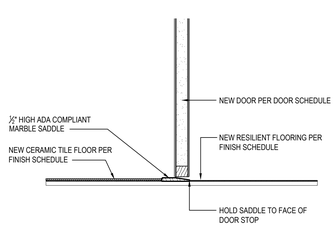
J3 JAMB DETAIL

SCALE: 1-1/2" = 1'-0"



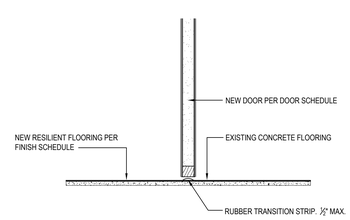
T1 THRESHOLD DETAIL

NOTE: SHALL BE INSTALLED IN ACCORDANCE WITH ANSI A117.1-2009 SCALE: 1-1/2" = 1'-0"



T2 THRESHOLD DETAIL

NOTE: SHALL BE INSTALLED IN ACCORDANCE WITH ANSI A117.1-2009 SCALE: 1-1/2" = 1'-0"



T3 THRESHOLD DETAIL

SCALE: 1-1/2" = 1'-0"

ABBREVIATION LEGEND

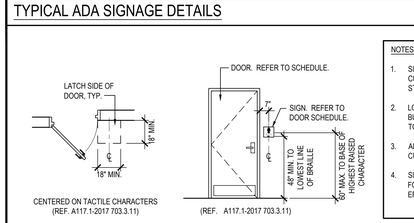
ALUM.	ALUMINUM
S.C.L.C.O.V.	SOLID COMPOSITE LUMBER CORE OAK VENEER
M.C.O.V.	MINERAL CORE OAK VENEER
S.C.L.C.M.V.	SOLID COMPOSITE LUMBER CORE MAPLE VENEER
M.C.M.V.	MINERAL CORE MAPLE VENEER
F.R.P.	FIBERGLASS REINFORCED POLYESTER
H.M.	HOLLOW METAL
F.G.	1/4" FIREGLASS 20
F.L.P.	1/4" FIRE-LITE PLUS
PYRO	PYROSTOP GLAZING
INSUL.	1" INSULATED GLAZING
S.L.	1/4" SAFETY LAMINATED GLAZING
OBSC.	OBSCURE GLAZING
U.O.N.	UNLESS OTHERWISE NOTED
S.F.	SECURITY FILM
SG-1	3/4" SHOOTER ATTACK GLAZING
SG-2	1" INSULATED SHOOTER ATTACK GLAZING
SG-3	20 MIN. RATED SHOOTER ATTACK GLAZING
SG-4	45 MIN. RATED SHOOTER ATTACK GLAZING
SG-5	60 MIN. SHOOTER ATTACK GLAZING
SG-6	90 MIN. SHOOTER ATTACK GLAZING
BRG-L1	LEVEL 1 BULLET RESISTANT GLAZING
BRG-L2	LEVEL 2 BULLET RESISTANT GLAZING
BRG-L3	LEVEL 3 BULLET RESISTANT GLAZING
SGP-L1	LEVEL 1 BULLET RESISTANT SECURITY PANEL
SGP-L2	LEVEL 2 BULLET RESISTANT SECURITY PANEL
SGP-L3	LEVEL 3 BULLET RESISTANT SECURITY PANEL
TEMP	1/4" TEMPERED GLAZING

DOOR NOTES

1. ALL DOORS, FRAMES AND HARDWARE SHALL BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.
2. GENERAL CONTRACTOR SHALL COORDINATE ALL KEYING WITH OWNER.
3. FIRE RATED WOOD DOORS (60 MIN. AND ABOVE ONLY) SHALL HAVE SOLID MINERAL CORE, ALL OTHER WOOD DOORS SHALL HAVE SOLID COMPOSITE LUMBER CORE.
4. FLUSH WOOD DOORS SHALL BE 5 PLY LAMINATED FACE SHEETS WITH 2 PLY FINISH VENEER OVER SPECIFIED CORE. AT FIRE RATED DOORS, TOP AND BOTTOM RAILS AND STILES SHALL BE FIRE RESISTANT COMPOSITION MATERIAL BONDED TO CORE. PROVIDE SOLID BLOCKING FOR CLOSER AND HARDWARE. REFER TO SPECIFICATION SECTION 081416.
5. ALL GLAZING IN DOORS SHALL BE INSTALLED IN METAL VISION KIT TO MATCH FIRE LABEL. VISION KIT COLOR SHALL BE AS SELECTED BY ARCHITECT. INTERIOR GLAZING TYPES AND SIZES SHALL CONFORM TO NFPA 80 AND/OR ASTM E119. WHERE SECURITY GLAZING IS INDICATED, VISION KIT SHALL BE THROUGH BOLT TYPE.
6. ALL NEW H.M. FRAMES SHALL BE FULLY WELDED WRAP AROUND TYPE (UNLESS OTHERWISE NOTED OR DETAILED). THROATS SHALL BE SIZED ACCORDING TO WALL THICKNESS AND FINISH, REFER TO FLOOR PLAN AND ENLARGED DETAILS FOR ADDITIONAL INFORMATION.
7. FOR DOOR REPLACEMENTS IN KIND, GENERAL CONTRACTOR SHALL MODIFY AND PATCH EXISTING WOOD OR H.M. DOOR FRAMES (DESIGNATED TO REMAIN) TO ACCOMMODATE NEW DOOR OPERATOR, LOCKSET, LATCH, HINGES, DOOR SWING AND/OR CLOSER, ETC. AS REQUIRED FOR COMPLETE AND FUNCTIONAL OPERATION.
8. GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING HEIGHT AND WIDTH OF PROPOSED DOORS TO BE INSTALLED IN EXISTING FRAMES (PRIOR TO SHOP DRAWING SUBMITTAL) TO ENSURE PROPER FIT AND DOOR FUNCTION.
9. ALL NEW HOLLOW METAL FRAMES AND HOLLOW METAL DOORS SHALL BE FINISH PAINTED. REFER TO SPECIFICATION SECTION 099000 FOR PAINT TYPE. COLOR AS SELECTED BY ARCHITECT.
10. GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL A.D.A. COMPLIANT SIGNAGE AT ALL DOORS WHERE SPECIFIED IN DOOR SCHEDULE AND/OR SHOWN ON FLOOR PLANS. INSTALL IN CONFORMANCE WITH ALL ADA HEIGHT AND PLACEMENT REQUIREMENTS.
    - ▲A. WHERE DENOTED IN SCHEDULE, PROVIDE 4"x4" SIGNAGE WITH BRAILLE INDICATING ROOM NUMBER (COORD. WITH OWNER), MODEL No. E-BTCUST.
    - ▲B. WHERE DENOTED IN SCHEDULE, PROVIDE 4"x12" SIGNAGE WITH BRAILLE INDICATING ROOM NAME AND NUMBER (COORD. WITH OWNER), MODEL No. E-BTCUST.
    - ▲C. WHERE DENOTED IN SCHEDULE, PROVIDE 8"x8" SIGNAGE WITH BRAILLE INDICATING GENDER AND WHEELCHAIR PICTOGRAMS AND ROOM NAME AT MULTI-USE TOILET ROOMS.
      - AT MULTI-USE TOILET ROOMS, PROVIDE AND INSTALL MODEL No. X-5687 (WOMEN), X-5672 (MEN), X-7095 (BOYS), X-7096 (GIRLS).
      - AT MULTI-USE ACCESSIBLE TOILET ROOMS, PROVIDE AND INSTALL MODEL No. X-5688 (WOMEN), X-5671 (MEN), X-7108 (BOY'S), X-7107 (GIRL'S).
    - ▲D. WHERE DENOTED IN SCHEDULE, PROVIDE 6"x9" SIGNAGE WITH BRAILLE INDICATING GENDER AND WHEELCHAIR PICTOGRAMS AND ROOM NAME AT SINGLE-USE TOILET ROOMS.
      - AT SINGLE-USE TOILET ROOMS, PROVIDE AND INSTALL MODEL No. E-BTCUST. SIGN SHALL SPECIFY STAFF OR STUDENT USE AS REQUIRED.
      - AT SINGLE-USE ACCESSIBLE TOILET ROOMS, PROVIDE AND INSTALL MODEL No. E-BTCUST. SIGN SHALL SPECIFY STAFF OR STUDENT USE AS REQUIRED.

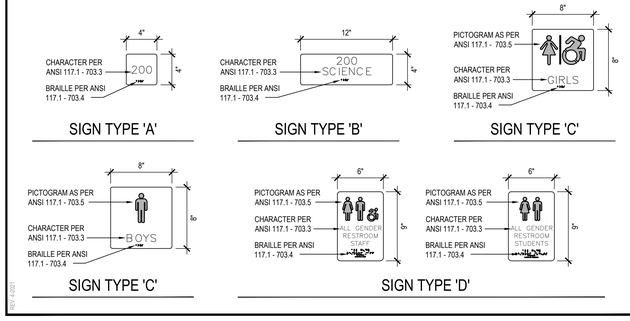
    MANUFACTURER: "ALLSTATE SIGN AND PLAQUE", DEER PARK, NY OR APPROVED EQUAL. ALL SIGNAGE SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW AND APPROVAL. COLOR AS SELECTED BY ARCHITECT
11. ALL REMOVABLE MULLIONS ARE TO BE KEYED ALIKE AND TO MATCH EXISTING BUILDING SYSTEM.
13. AUTOMATIC DOOR OPERATORS - THE ELECTRICAL CONTRACTOR SHALL PROVIDE A LINE VOLTAGE CIRCUIT TO THE AUTO OPERATOR. LOCATION SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL WIRING ASSOCIATED WITH AUTOMATIC DOOR OPERATORS, INCLUDING ELECTRONIC STRIKE, PUSH BUTTONS, TRANSFORMERS AND ANY OTHER DEVICES REQUIRED FOR A FULLY OPERATIONAL SYSTEM.
14. FIRE RATED GLAZING WITH SURFACE APPLIED FILMS WILL NOT BE CONSIDERED EQUIVALENT WHERE LAMINATED FILM IS SPECIFIED.

TYPICAL ADA SIGNAGE DETAILS



NOTES:

1. SIGNS SHALL BE PROVIDED AND LOCATED AS REQUIRED BY THE CURRENT EDITIONS OF THE BUILDING CODE AND REFERENCE STANDARD ICC ANSI 117.1 AND THE PROJECT MANUAL.
2. LOCATIONS SHALL INCLUDE, BUT NOT LIMITED TO: ACCESSIBLE BUILDING ENTRANCES, AREAS OF REFUGE, OFFICES, CLASSROOMS, TOILETS, STAIRWAYS, ELEVATORS AND AS INDICATED ON DRAWINGS.
3. ALL SIGNAGE SHALL COMPLY WITH ICC ANSI A117.1-2017 OR CURRENT EDITION AND SECTION 101400 OF THE PROJECT MANUAL.
4. SIGNAGE FOR ALL SINGLE OCCUPANCY TOILET FACILITIES SHALL FOLLOW EDUCATION LAW TITLE 1, ARTICLE 9 SECTION 409-m, EFFECTIVE MARCH 2021.



REV.	DATE	ITEM

NOTICE

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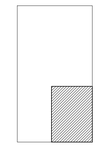

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
ADMINISTRATION BUILDING
TOWN of BEDFORD / WESTCHESTER COUNTY

PROJECT

DOOR SCHEDULE and DETAILS

DWG TITLE

DRAWING BY:	BCM
CHECK BY:	PJH

NOTICE

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SED No.	66-01-02-06-1-008-014
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	DOOR SCHEDULE and DETAILS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131C ADMIN.

A8.01

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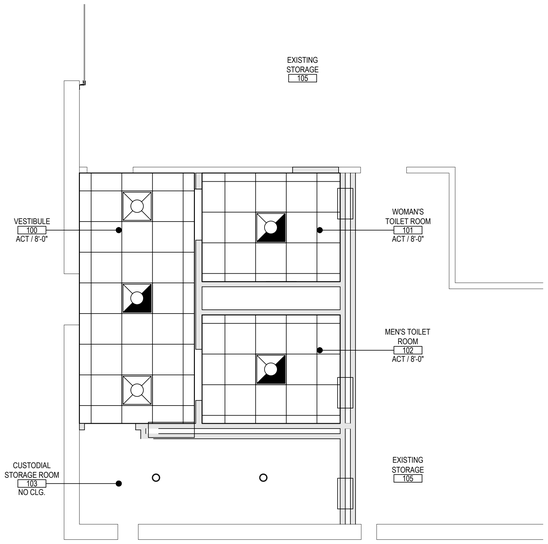
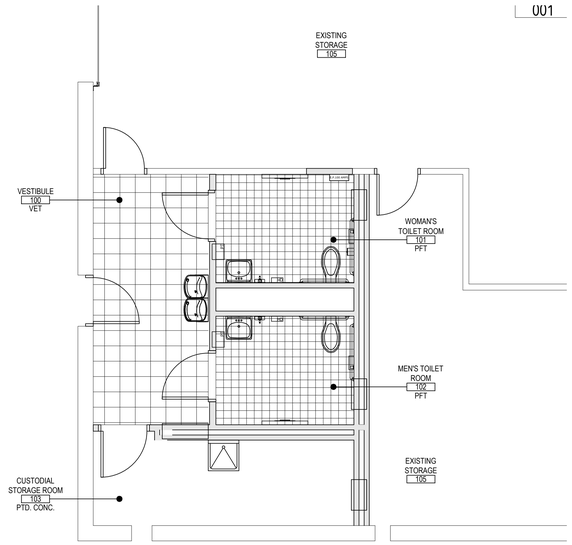


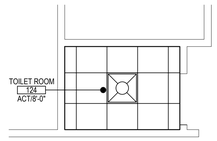
BASEMENT REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



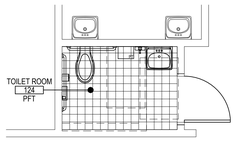
BASEMENT FINISHED FLOOR PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR FINISHED FLOOR PLAN

SCALE: 1/4" = 1'-0"

ABBREVIATIONS

ACT	ACOUSTIC CEILING TILE
CTILE	CARPET TILE
PFT	PORCELIAN FLOOR TILE
CMU	CONCRETE MASONRY UNIT
CTCB	CERAMIC TILE COVE BASE
CWT	CERAMIC WALL TILE
EPOXY	EPOXY TERRAZZO
VET	VINYL ENHANCED TILE
LVT	LUXURY VINYL TILE
GYP	GYPSUM BOARD
RUB	RUBBER FLOOR TILE
RCB	RUBBER COVE BASE
TERR	TERRAZZO / TERRAZZO BASE
VCT	VINYL COMPOSITION TILE

FINISH NOTES

1. ALL FINISHED TYPES (STYLE/COLOR/PATTERN) SHALL BE OFF THE STANDARD OF QUALITY INDICATED BY THE PROJECT MANUAL. FINAL STYLE / COLOR / PATTERN TO BE SELECTED BY ARCHITECT.
2. ALL INTERIOR AND EXTERIOR C.M.U. SURFACES SHALL BE PRIMED WITH SHERWIN WILLIAMS PRO INDUSTRIAL HEAVY DUTY BLOCK FILLER B 42 SERIES PRIOR TO FINISH PAINT APPLICATION.
3. ALL NEW BRICK WALLS ARE TO REMAIN NATURAL, CLEANED AND SEALED, IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
4. CONTRACTOR SHALL PREP, PRIME AND PAINT ALL SHEET METAL PIPE ENCLOSURES (INSTALLED BY M.C.) COLOR AS SELECTED BY ARCHITECT.
5. BEFORE PAINTING, CONCRETE SURFACES MUST CURE 30 DAYS, BLOCK AND PLASTER SURFACES MUST CURE FOR 30 DAYS.
6. REFER TO REFLECTED CEILING PLANS AND FINISH FLOOR PLANS FOR ADDITIONAL INFORMATION.
7. ALL INTERIOR FINISHES IN CORRIDOR SHALL BE 'CLASS - A' RATED.
8. PATCH, REPAIR AND FINISH CEILING, WALLS, AND FLOOR AT POINTS OF DEMOLITION TO MATCH EXISTING. EXISTING FINISHES TO REMAIN.
9. SHOULD ANY FINISH MATERIALS BE DISCONTINUED BY MANUFACTURER, THE CONTRACTOR MUST REPLACE WITH CLOSEST MATCH AT NO ADDITIONAL COST, AND SUBMIT TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
10. AT ROOMS HAVING EXISTING FLOOR TILE TO BE REMOVED AND / OR ABATED, CONTRACTOR SHALL PROVIDE AND INSTALL FLOOR PATCH (PLANI/PATCH PLUS) BY 'MAPEI' OR ARCHITECT APPROVED EQUAL OVER ENTIRE EXISTING SUBSTRATE AND / OR CONCRETE SLAB TO PROVIDE A FLOOR SURFACE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND AS SPECIFIED FOR INSTALLATION OF FINISH FLOORING AS SPECIFIED ON FINISH SCHEDULE.
11. HOLLOW METAL DOOR FRAMES, SIDE LIGHTS AND WINDOW FRAMES SHALL BE PREPPED AND PAINTED AS PER PAINTING SPECIFICATION 099000. (ALL COLORS AS SELECTED BY ARCHITECT.)
12. CONTRACTOR SHALL PREP, PRIME AND PAINT SHEETROCK CEILINGS UNLESS OTHERWISE NOTED.
13. REFER TO FINISH FLOOR PLANS FOR TILE PATTERNS - THE TILE PATTERNS MAY NOT REPRESENT THE FINAL PATTERNS TO BE DESIGNED, INSTALLED AND TURNED OVER TO OWNER. THE BID SHALL BE BASED ON THE TILE MIX AND PERCENTAGES AS INDICATED IN THE PROJECT MANUAL.
14. ALL FINISHES SHALL BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.
15. REFER TO REFLECTED CEILING PLANS, TOILET ROOM TILE PLANS AND FINISHED FLOOR PLANS FOR ADDITIONAL FINISH INFORMATION.
16. NEW TOILET AND URINAL PARTITIONS SHALL BE 1" THICK HDPE AS MANUFACTURED BY SCRANTON, ASI GLOBAL PARTITIONS, OR APPROVED EQUAL. (COLOR AND FINISH TO BE SELECTED BY ARCHITECT).
15. GENERAL CONTRACTOR SHALL PROVIDE TERMINATION STRIPS, RUBBER REDUCERS, EDGE GUARDS, ADAPTERS AND TRANSITIONS BETWEEN DISSIMILAR MATERIALS AND HEIGHT DIFFERENTIALS BOTH TO PROTECT THE FINISH EDGE OR TO PROVIDE AN ADA ACCESSIBLE TRANSITION.

SYMBOLS LEGEND

SYMBOL	DESCRIPTION
ROOM NAME 000 CLG. HEIGHT / TYPE	ROOM TAG, CEILING TILE TYPE AND FINISH CEILING ELEVATION (A.F.F.)
NO CLG.	OPEN TO STRUCTURE AND DECK ABOVE (PAINT)
	SUSPENDED ACOUSTICAL CEILING TILE AND GRID
	VINYL ENHANCED TILE
	PORCELAIN FLOOR TILE
	PAINTED CONCRETE
	2x2' RECESSED LED LIGHT FIXTURE MODEL NO. CRUZE ST' 22CZ2-LDS-24-UNV-L835-CD1-U'
	1' X 4' SURFACE MOUNT LIGHTING FIXTURE

TYPICAL REFLECTED CEILING PLAN NOTES

1. CEILING PLANS MAY NOT INDICATE ALL MECHANICAL AND / OR ELECTRICAL CEILING MOUNTED ITEMS. REFER TO M - SERIES AND E - SERIES DRAWINGS FOR ADDITIONAL INFORMATION.
2. CEILING GRID SHALL BE ARRANGED TO BE SPACED EQUALLY IN EACH DIRECTION WITH NO TILE LESS THAN 6" UNLESS OTHERWISE REQUIRED.
3. PROVIDE CEILING EXPANSION JOINT AT ALL NEW TO EXISTING INTERSECTIONS AND WHERE INDICATED ON PLANS.
4. UNLESS OTHERWISE NOTED, ALL SOFFITS AND WINDOW POCKETS SHALL BE ⅝" TYPE 'X' GYP. BOARD OVER 18 GA. COLD FORMED FRAMING AT 16" O.C.
5. ALL AREAS NOTED AS 'OPEN' AND / OR 'NO CEILING (CLG.) SHALL BE PAINTED - INCLUDING BUT NOT LIMITED TO DECK, STRUCTURE, DUCTWORK, ETC.)
6. ACOUSTICAL CEILINGS SHALL HAVE A FLAME SPREAD OF 25 OR LESS COMPLYING WITH 'ASTM E-84'; SMOKE DEVELOPED RATING OF 50 OR LESS COMPLYING WITH PERFORMANCE REQUIREMENTS AND PHYSICAL CHARACTERISTICS OF THE SPECIFIED CEILINGS AS INDICATED IN THE REFLECTED CEILING PLAN. (ASTM E-1264)
7. ACOUSTICAL CEILINGS SHALL HAVE A MINIMUM NOISE REDUCTION COEFFICIENT (NRC) RATING OF 0.65.

REV.	DATE	ITEM

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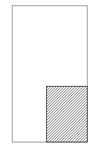

KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
ADMINISTRATION BUILDING
TOWN of BEDFORD / WESTCHESTER COUNTY

PROJECT

REFLECTED CEILING PLAN and FINISH FLOOR PLAN

DWG TITLE

DRAWING BY: BCM

CHECK BY: PJH

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SED No. 66-01-02-06-1-008-014

DISTRICT BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT PHASE 2 - BOND IMPROVEMENTS

DWG TITLE REFLECTED CEILING PLAN and FINISH FLOOR PLAN

SCALE: AS NOTED

DATE: APRIL 2024

BID PICK-UP: FEBRUARY 24, 2025

FILE No: 23-131C ADMIN

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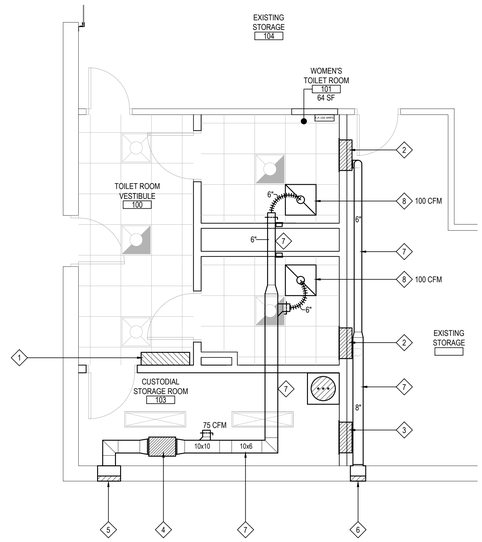

PROPOSED TOILET ROOM PLAN - LOWER LEVEL MECHANICAL LAYOUT

SCALE: 1/4" = 1'-0"

NEW MECHANICAL CONSTRUCTION NOTES

1. MC to provide & install a new electric cabinet unit heater in the vestibule at the location shown. New cabinet unit heater shall be a "Stelpro" #ACBH0381CTW, 3kW, 208v / 1 ph., fully exposed cabinet, arrangement "TF", 300 cfm. New unit to be wired by the EC. Unit shall come with a unit mounted built-in thermostat, on-off switch, unit sub base, & built in disconnect switch. Unit shall have a fully finished cabinet on all sides & back.

2. MC to provide & install a new electric cabinet unit heater at the location shown. New cabinet unit heater shall be a "Stelpro" #ACBH0281CTW, 2kW, 208v / 1 ph., fully recessed cabinet, arrangement "TF", 300 cfm. New unit to be wired by the EC. Unit shall come with a unit mounted built-in thermostat, on-off switch, full recess trim ring & built in disconnect switch. Unit shall have a fully finished cabinet on the front only.

3. MC to provide & install a new electric cabinet unit heater in the Storage / Custodial Room at the location shown. New cabinet unit heater shall be a "Stelpro" #ACBH0281CTW, 2kW, 208v / 1 ph., fully recessed cabinet, arrangement "TF", 300 cfm. New unit to be wired by the EC. Unit shall come with a unit mounted built-in thermostat, on-off switch, recess trim ring, & built in disconnect switch. Unit shall have a fully finished cabinet on the front only.

4. MC shall provide & install a new in-line exhaust fan, mtd. +/- 7'-0" a.f.f. at the location shown. New fan shall be a "Penn Barry" #SX085S, $\frac{1}{4}$ hp, 120v, 435 cfm @ $\frac{1}{4}$" s.p., 5.5 sones. Provide speed control for fan, mtd. in Custodial / Storage room. Provide backdraft damper. Provide a 7 day programmable timeclock to provide day / night operation of fan, mtd. in Custodial / Sto. room. Provide all supports for fan, tied into structure above. Provide kindorf or other steel rail systems as required to provide support for the fan. Use rubber in shear vibration isolators on hangers & flexible duct connections at inlet & outlet of fan.

5. MC shall provide & install a new 18x12 louver & duct box through the wall where shown. Backing galvanized sheet metal box shall be 18x12 & shall extend completely through the wall. Provide bird screen for louver. Louver to be .081 t. extruded aluminum blades / jambs. Provide louver in color as selected by architect.

6. MC shall provide & install a new 12x12 louver & duct box through the wall where shown. Backing galvanized sheet metal box shall be 12x12 & shall extend completely through the wall. Provide bird screen for louver. Louver to be .081 t. extruded aluminum blades / jambs. Provide louver in color as selected by architect.

7. MC shall provide new ductwork as shown. New galvanized sheet steel ductwork shall be constructed per SMACNA standards. Provide all supports, duct seal, fittings, etc. as required. New ductwork for outdoor air applications must be insulated per the latest edition of the NYS Energy Conservation Code. New exhaust ductwork is not required to be insulated. Provide volume dampers for each diffuser / each point of connection to cabinet unit heaters.

8. MC shall provide a new "Nailor" #4260 egg crate exhaust grille w/ 6" dia. round collar at the locations shown. Provide support for grilles from the structure above (not the ceiling grid). Balance each grille to the value(s) shown on the plan.

REV - 1.2023

REV.	DATE	ITEM

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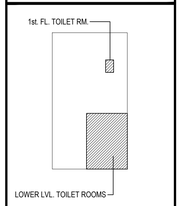

KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
ADMINISTRATION BUILDING
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

LOWER LEVEL MECHANICAL PLAN

DRAWING BY:	BCM
CHECK BY:	PJH

NOTICE

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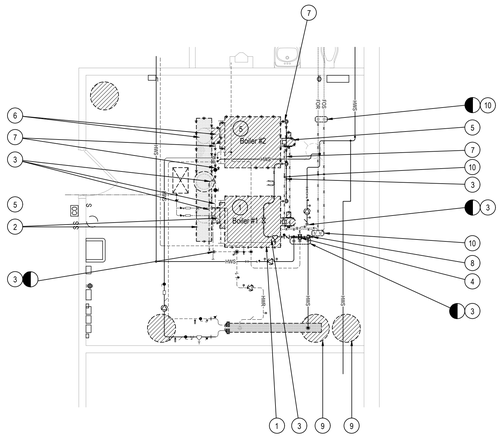
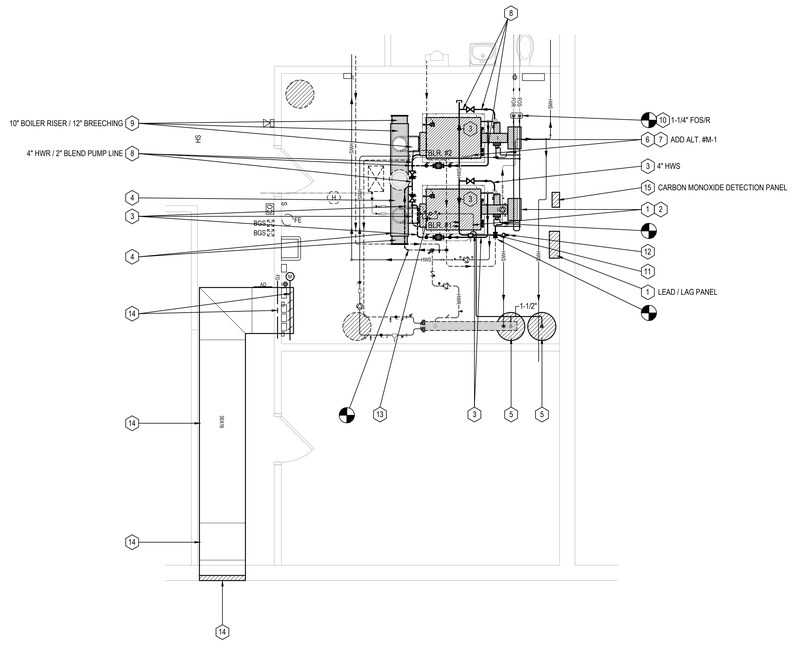
SED No.	66-01-02-06-1-008-014
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	LOWER LEVEL MECHANICAL PLAN
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131C ADMIN.

M2.01



PART PLAN (BOILER ROOM DEMOLITION, BEDFORD CENTRAL SCHOOL DISTRICT ADMINISTRATION BUILDING)

SCALE: 1/4" = 1'-0"



PART PLAN (NEW BOILER ROOM LAYOUT - BEDFORD CENTRAL SCHOOL DISTRICT ADMINISTRATION BUILDING)

SCALE: 1/4" = 1'-0"

Note "HWB" (NEW HOT WATER BOILERS)

MECHANICAL CONTRACTOR SHALL PROVIDE & INSTALL (1) NEW CAST IRON WET BASE TYPE HOT WATER BOILER AT EACH LOCATION SHOWN (2 TOTAL). THE NEW BOILER SHALL BE A "WEIL McLAIN"SGL-588-W" SERIES CAST IRON TYPE, 33.6 BOILER HORSEPOWER, 1,126 MBH GROSS IHB=R OUTPUT RATING WITH AN INPUT OF 9.4 GPH #2 OIL & A THERMAL EFFICIENCY RATING OF 85.6%. NEW BOILER SHALL BE PIPED AS SHOWN. EACH NEW BOILER SHALL COME COMPLETE WITH THE FOLLOWING ITEMS:

DIRECT SPARK IGNITION SYSTEM
FULLY INSULATED METAL JACKET
BURNER MOUNTING PLATE WITH INSULATION BLOCK
HIGH TEMPERATURE HYDRONIC PORT SEALS
ASME PRESSURE RELIEF VALVES, 40 PSI
COMBINATION PRESSURE / TEMPERATURE GAUGE
RETURN HEADERS
MANUAL RESET HIGH LIMIT CONTROLS
OPERATING CONTROLS
"POWER FLAME" #CR2-GO-15 FULLY MODULATING PRESSURE ATOMIZING GAS-OIL BURNER, BAROMETRIC DRAFT CONTROLS W/ SPILL SWITCHES. MAIN FUEL / IGNITION GAS TRAINS NOT REQUIORED AT THIS TIME.
MANUAL RESET LOW-LOW WATER CUTOFF W/ FUEL CUTOFF, McDONNEL & MILLER #63M W/ TC-4 TEST-N-CHECK VALVES.
PROBE TYPE LOW WATER CUTOFF
BOILER WATER BLEND PUMP INTERLOCKED W/BURNER TO OPERATE WHEN BURNER CONTROL CKT. IS ENERGIZED
REMOTE OIL PUMP INTERLOCKS (WIRED TO EXISTING F.O. PUMP SET)
ALL MOTOR STARTERS, DISCONNECT SWITCHES, CONTROL WIRING, LEAD/LAG INTERLOCKS, DRAFT CONTROL INTERLOCKS, ETC. AS REQ'D.
INTERLOCKS W/ COMBUSTION AIR DAMPER / PROVING SWITCH
INTERLOCKS W/ EXISTING "ANDOVER" BMS TEMPERATURE CONTROL SYSTEM FOR OUTDOOR AIR TEMPERATURE LOCKOUT / LOW O.A. TEMP. "LOCK-ON" / ALARMS, ETC.

NEW BOILER SHALL BE PIPED AS SHOWN COMPLETE WITH ALL CONTROL WIRING, CONTROL DEVICES, SYSTEM EXPANSION TANK PIPING / CONNECTIONS, NEW BLEND PUMPS & PIPING, MAKEUP WATER CONNECTIONS COMPLETE WITH PRESSURE REDUCING VALVES, AUTOMATIC AIR-PURGERS, AUTOMATIC / MANUAL AIR VENTS, VALVES, FITTINGS, OIL PIPING, GAS PIPING, ETC. AS REQUIRED FOR A COMPLETE & OPERATIONAL INSTALLATION. SEE NOTE "NB" FOR FURTHER INFORMATION REGARDING THE BURNERS.

Note "NB" (NEW GAS / OIL BURNERS)

MECHANICAL CONTRACTOR SHALL PROVIDE & INSTALL (2) NEW "POWER FLAME" #CR2-GO-15 FULLY MODULATING PRESSURE ATOMIZING GAS-OIL BURNERS AT THE LOCATIONS SHOWN. NEW BURNERS SHALL BE OF THE FORCED DRAFT TYPE. CONTRACTOR SHALL NOTE THAT A GAS TRAIN FOR MAIN FUEL WILL NOT BE REQUIRED FOR THE BURNERS AT THIS TIME. THE (2) NEW BURNERS SHALL COME COMPLETE WITH THE FOLLOWING ITEMS:

- DIRECT SPARK IGNITION SYSTEM
- FLAME SAFEGUARD W/PREPURGE CYCLE & U.V. SCANNER / CONTINUOUS FUEL VALVE MONITORING
- FULLY MODULATING FIRING CONTROLS
- FUEL OIL PUMP / PIPING / WIRING
- INTERLOCKS W/ REMOTE FUEL OIL TRANSFER PUMPSET
- INTERLOCKS W/ COMBUSTION AIR DAMPER(S)
- INTERLOCKS W/ BUILDING SECURITY SYSTEM
- INTERLOCKS W/ BOILER BLEND PUMPS SUCH THAT THE PUMPS RUN CONTINUOUSLY WHENEVER THE BURNER CONTROL CKT. IS "ON"
- INTERLOCKS W/ BUILDING TEMPERATURE CONTROL SYSTEM - SEE NOTE "ATC" FOR FURTHER INFO.
- INTERLOCKS W/ NEW "POWER FLAME" SYNC-MATIC HMI LEAD-LAG CONTROLLER
- MANUAL FUEL CHANGEOVER CONTROLS / SWITCH

NEW BURNER SHALL BE CAPABLE OF FIRING 15.7 GPH LIGHT (#2) OIL & 2,200 MBH NATURAL GAS AT MAXIMUM FIRING RATE. LIMIT FIRING RATE TO THAT SHOWN UNDER NOTE "HWB". PROVIDE CONTROL PANEL, CONTROLS & INDICATOR LIGHTS FOR POWER ON, MAIN FUEL, LOW WATER LOCKOUT, FLAME FAILURE LOCKOUT, & CALL FOR HEAT. CONTROL PANEL SHALL BE EQUIPPED W/ MOTOR CONTACTORS FOR BURNER & REMOTE FUEL UNIT, BLEND PUMP, MOTOR OVERLOADS, FUEL SELECTOR / AUTO CHANGEOVER CONTROLS & SWITCH, FLAME SAFEGUARD CONTROL, CONTROL POWER SWITCH, MANUAL/AUTO SWITCH, & MANUAL FIRING RATE POTENTIOMETER. PROVIDE & INSTALL FUEL OIL PIPING & CONN. TO IGNITION SYSTEM, CONTROL WIRING, SYSTEM INTERLOCKS W/ AUTOMATIC TEMPERATURE CONTROL SYSTEM, SECURITY SYSTEM, BLEND PUMPS, & MANUAL EMERGENCY BOILER SHUTDOWN BREAK GLASS STATIONS (1 LOCATED @ BOILER ROOM EXIT). NOTE THAT BURNER CONTROLS SHALL LOCK OUT REMOTE FUEL UNIT & REMOTE FUEL OIL TRANSFER PUMPSET IF THE BURNER IS SET TO OPERATE ON NATURAL GAS. POWER PANEL SHOWN ON ELECTRICAL DRAWINGS SHALL HAVE A SINGLE CIRCUIT CONNECTION TO POWER EACH BURNER, RESPECTIVE REMOTE FUEL UNIT & BLEND PUMP. CONTROLS SHALL BE POWERED FROM A SEPARATE 120V GROUNDED CIRCUIT PROVIDED & INSTALLED BY M.C.

Note "LD" (NEW NATURAL GAS / CARBON MONOXIDE LEAK DETECTION SYSTEM)

PROVIDE & INSTALL A NEW "RKI BEACON" #410A 4 CHANNEL NATURAL GAS / CARBON MONOXIDE DETECTION PANEL FOR 120V, 1~ OPERATION. PROVIDE (2) #65-2496RK (0-300 PPM) CARBON MONOXIE SENSORS, ONE MTD. IN BOILER RM. & (1) MTD. IN CORRIDOR OUTSIDE BOILER ROOM. NATURAL GAS SENSORS WILL NOT BE REQUIRED AT THIS TIME. PROVIDE NEMA 4 ENCLOSURE. LED DISPLAY FOR ALL 4 CHANNELS. PROVIDE CONFIGURABLE ALARM OUTPUTS W/ ISOLATION RELAYS FOR INTERLOCK W/BOILERS, WATER HEATERS, & EXIST. FIRE ALARM CONTROL PANEL. PROVIDE (2) 15CD / DB. COMBINATION HORN / STROBE UNITS & RELATED POWER SUPPLIES. ONE HORN STROBE TO BE MOUNTED WITHIN THE BOILER ROOM & (1) TO BE MOUNTED IN ADJACENT BASEMENT AREA, 6'-8" A.F.F.

Note "ATC" (NEW AUTOMATIC TEMPERATURE CONTROL WORK)

MECHANICAL CONTRACTOR SHALL PERFORM ALL WORK AS REQUIRED TO ACCOMPLISH THE FOLLOWING SEQUENCES OF OPERATION FOR THE BOILER ROOM EQUIPMENT:

NEW BOILERS SHALL BE CONNECTED TO THE EXISTING "ANDOVER" HEAD END AS REQUIRED TO ENABLE / DISABLE THE BOILERS BASED UPON OUTDOOR AIR TEMPERATURE. ALL BOILER ALARMS SHALL READ ANY ALARMS RELATED TO THE BURNER OR BOILER OPERATION UP TO THE EXISTING HEAD END. NEW BOILERS SHALL BE MAPPED UP TO THE HEAD END FOR RUN STATUS INDICATION, BOILER TEMPERATURE & HEADER TEMPERATURE. OTHER THAN THE ABOVE, OPERATION OF THE BOILERS WILL BE DICTATED BY THE NEW BOILER LEAD / LAG PANEL & THE BOILER LIMIT / OPERATING CONTROLS.

BOILERS SHALL BE LOCKED OUT ABOVE A GIVEN TEMPERATURE (60 DEG. NOM., ADJUSTABLE). BOILERS SHALL BE LOCKED "ON" (EVEN DURING NIGHT CYCLE) BELOW A GIVEN TEMPERATURE (34 DEG. NOM., ADJUSTABLE).

WORK SHALL INCLUDE ALL CONTROL WIRING, POWER WIRING, CONTROLLERS, SENSORS, SENSOR WELLS, ETC. AS REQUIRED FOR A COMPLETE & OPERATIONAL INSTALLATION.

Note "CA" (BOILER ROOM COMBUSTION AIR CALCULATIONS)

M.C. SHALL NOTE THAT THERE IS (1) EXISTING 20x12 COMBUSTION AIR DUCT LOCATION SHOWN ON THE BOILER ROOM PLAN, WHICH IS EXISTING TO REMAIN. ONE NEW DUCT & DAMPER @ 36x18 WILL BE INSTALLED. INTERLOCK (1) DAMPER MOTOR W/ NEW BURNER OPERATION SUCH THAT THE DAMPER OPENS WHEN EITHER BURNER FIRES. PROVIDE A DAMPER "FULL OPEN" PROVING SWITCH WIRED IN SERIES W/ BOILER LIMIT CONTROLS AS REQ'D. BY CODE TO PROVE DAMPERS FULL OPEN PRIOR TO ALLOWING BURNERS TO FIRE.

DUCT SIZING INFORMATION:

TOTAL BOILER RM. INPUT (2 BURNERS @ 1,298 MBH IN EA.) = 2,596,000 BTU INPUT

2,596,000 / 3,000 = 865 SQ. IN. FREE AREA REQUIRED

EXISTING DUCT IS 20x12, YIELDING 240 SQ. IN. FREE AREA

AN ADDITIONAL NEW DUCT / LOUVER WILL BE 36x18, YIELDING 648 SQ. IN. ADDITIONAL AREA.

NEW DUCT WILL CONNECT TO A NEW SIDE WALL LOUVER @ 36x36, 55% FREE AREA, YIELDING 712 SQ. IN. FREE AREA

TOTAL FREE AREA PROVIDED WILL BE 888 SQ. IN. FREE AREA

Note "CC-1" (CLEANING, INSPECTION & REPAIR OF EXISTING CHIMNEY)

UNDER THE MECHANICAL BASE BID, M.C. SHALL BE RESPONSIBLE FOR COMPLETELY CLEANING THE INTERIOR OF THE EXISTING STEEL / MASONRY CHIMNEY. UPON COMPLETION OF CHIMNEY CLEANING, M.C. SHALL PERFORM A FULL VIDEO INSPECTION OF EACH INTERNAL WALL OF THE CHIMNEY IN THE PRESENCE OF THE ENGINEER OR OWNER'S REPRESENTATIVE. UPON COMPLETION OF VIDEO INSPECTION, HAND VIDEO TAPE OVER TO THE ENGINEER FOR REVIEW / REPAIR RECOMMENDATIONS. ANY INTERNAL CHIMNEY REPAIR / LINING WORK REQUIRED WILL BE PERFORMED BY THE OWNER. UPON COMPLETION, CHIMNEY SYSTEM SHALL COMPLY WITH THE MECHANICAL CODE OF NEW YORK STATE, SECTION 801.18.

Mechanical Demolition Notes

1. Under the base bid, MC shall disconnect hot water supply / hot water return / fuel oil piping / cold water piping / control wiring from the existing boiler #1. Drain heating system to the extent required to remove boiler. Remove existing boiler / burner & properly discard. Existing concrete pad may remain. EC to disconnect / remove power wiring to each boiler / burner. Refer to dwg. #M4.02 for new work.
2. Under the base bid, MC shall disconnect & remove the existing boiler #1 breeching from point of connection at boiler to point of connection at vertical stack & shall dispose of same. Vertical stack is to remain.
3. Under the base bid, MC shall remove existing heating system HW supply & return piping to the extent shown (related to boiler #1), inclusive of all valves / fittings / controls within said section of piping (related to boiler #1). Properly discard all debris / old demolished piping materials. Remove existing piping hangers. Refer to dwg. #M4.02 for new work.
4. Under the base bid, MC shall remove the existing 3-way hot water reset valve & all related controls. Refer to dwg. #M4.02 for new work.
5. Under add alternate #M-1, MC shall disconnect hot water supply / hot water return / fuel oil piping / cold water piping / control wiring from the existing boiler #2. Drain heating system to the extent required to remove boiler. Remove existing boiler / burner & properly discard. Existing concrete pad may remain. EC to disconnect / remove power wiring to each boiler / burner. Refer to dwg. #M4.02 for new work.
6. Under add alternate #M-1, MC shall disconnect & remove the existing boiler #2 breeching from point of connection at boiler to point of connection at vertical stack & shall dispose of same. Vertical stack is to remain.
7. Under add alternate #M-1, MC shall remove existing heating system HW supply & return piping to the extent shown, inclusive of all valves / fittings / controls within said section of piping (related to boiler #2). Properly discard all debris / old demolished piping materials. Remove existing piping hangers. Refer to dwg. #M4.02 for new work.
8. Under the base bid, MC shall remove existing gate valve.
9. Under the base bid, MC shall remove the existing expansion tank(s). Remove all expansion tank piping & supports.
10. Under the base bid, MC shall remove the existing fuel oil piping to the extent shown, including the "low" runs over to boiler #2. Disconnect from both burners. Remove all hangers & supports. Clean up any spilled oil & properly dispose of per code.

Denotes point of disconnect

Denotes equipment / piping to be removed under the Base Bid.

Denotes equipment / piping to be removed under add alternate #M-1

Mechanical Construction Notes

1. Under the base bid, MC shall provide & install a new cast iron wet base boiler / burner at the location shown. Refer to Note "HWB" & Note "NB", this dwg. for further details. MC shall level the existing housekeeping pad & extend pad as required such that the pad extends beyond the boiler by 4" in all directions. Level pad as req'd. by the manufacturer such that it is suitable for mounting the new boiler. Provide new 4" butterfly valves at the supply & return locations. Provide & install new "Taco" #2400-70 blend pump, 208v / 3 ph. / 1/2hp, 50 gpm @ 10' head. Provide new lead / lag panel & connection to same. Refer to Note "LL" for further info. Upon completion of boiler installation & all piping work, MC shall refill the system with water.
2. Under the base bid, MC shall provide a new burner for the new boiler shown. Refer to Note "NB" for further details. All electrical power wiring by the EC, including the burner oil pump & the boiler blend pump. MC to provide starters for the oil pump(s), blend pump & burner fan within the boiler control panel. Burner to have a single point power connection. Disconnect switch to be provided by the MC & wired by the EC. EC shall run power from the power source to the burner & from the burner to the oil pump, burner fan & blend pump. All control wiring is by the MC, whether line or low voltage. Extend existing oil piping to new burner & connect as shown in Detail "OP", dwg. #M4.02.
3. Under the base bid, MC shall provide new hot water supply & return piping as shown. New piping to be sch. 40 screw pipe or welded. Provide pipe hangers as required. All new piping to be insulated per the latest edition of the International Energy Code. Provide labels for all piping.
4. Under the base bid, MC shall provide new 10 ga. galvanized sheet steel breeching as shown. Connect to existing breeching at the location shown. Provide barometric damper in end of breeching run. Insulate new & existing breechings & stack riser (to the extent possible) using minimum 2" thick mineral wool blanket & cover insulation w/ 22 ga. aluminum sheet.
5. Under the base bid, contractor shall provide & install (2) new bladder type expansion tanks at the locations shown. New tanks shall be "Taco" CA-215 units. Run new 1-1/2" piping from air elimination device / makeup water connection over to new tanks as shown. Reconnect CW makeup water line to the system & replace fill valve. Provide pressure gauges either side of fill valve. Refer to detail, dwg. #M4.02 for further info.
6. Under add alternate #M-1, MC shall provide & install a new cast iron wet base boiler / burner at the location shown (boiler #2). Refer to Note "HWB" & Note "NB", this dwg. for further details. MC shall level existing housekeeping pad & extend as required such that the pad extends beyond the boiler by 4" in all directions. Level pad as req'd. by the manufacturer such that it is suitable for mounting the new boiler. Provide new 4" butterfly valves at the supply & return locations. Provide & install new blend pump. Provide new lead / lag panel & connection to same. Refer to Note "LL" for further info. Upon completion of boiler installation & all piping work, MC shall refill the system with water.
7. Under add alternate #M-1, MC shall provide a new burner for the new boiler shown (boiler #2). Refer to Note "NB" for further details. All electrical power wiring by the EC, including the burner oil pump & the boiler blend pump listed under item #1. MC to provide starters for the oil pump(s), blend pump & burner fan within the boiler control panel. Burner to have a single point power connection. Disconnect switch to be provided by the MC & wired by the EC. EC shall run power from the power source to the burner & from the burner to the oil pump, burner fan & blend pump. All control wiring is by the MC, whether line or low voltage. Extend existing oil piping to new burner & connect as shown in Detail "OP", dwg. #M4.02.
8. Under add alternate #M-1, MC shall provide new hot water supply & return piping as shown (associated with boiler #2). New piping to be sch. 40 screw pipe or welded. Provide pipe hangers as required. All new piping to be insulated per the latest edition of the International Energy Code. Provide labels for all piping.
9. Under add alternate #M-1, MC shall provide new 10 ga. galvanized sheet steel breeching as shown (for boiler #2). Connect to existing breeching at the location shown. Provide barometric damper in end of breeching run. Insulate new & existing breechings using minimum 2" thick mineral wool blanket & cover insulation w/ 22 ga. aluminum sheet.
10. Under the base bid, MC shall provide & install new fuel oil piping from the point of connection to the existing lines at boiler room ceiling (shown) to new boiler #1. Run new drops to Boiler #2 under the base bid, (whether boiler is replaced or existing to remain.
11. Under the base bid, the MC shall provide & install a new 2" dia. 3-way hot water reset valve at the location shown. New valve shall be electronically controlled & shall be suitable for use w/ the existing building "Andover" BMS. MC to provide all fitting, wiring & programming as require dto install the valve & map it up to the BMS head end. Provide DDC sensors to read boiler inlet water temperature, boiler return water temperature & 3-way valve discharge temperature.
12. Under the base bid, MC shall provide & install a new 4" O.S.&Y. type gate valve in piping at the location shown.
13. Under the base bid, MC shall provide & install a new pressure reducing / fill valve station at the nominal location shown. Refer to detail #1, dwg. #M4.02 for further information.
14. MC shall provide & install a new 36x18 combustion air intake duct at the location shown. The new duct shall be run tight to the corridor ceiling. At Boiler Room end, provide & install a new 36x18 damper & a damper "full open" proving switch wired into burner(s) limit ckt. such that the damper opens fully whenever either burner fires. Provide new " - " 2 hour rated fusible link fire damper at location where duct passes through boiler room wall. Provide access door in duct to service damper fusible link. Run duct down the corridor, transition to 36x36 & connect to new louver at foundation wall. Boiler room wall opening / foundation wall opening & related firestopping by the GC.
15. MC shall provide & install a new carbon monoxide monitoring / alarm system. Refer to note "LD" for further details.

Denotes point of connection between new & existing

Note "BB" (NEW WELDED BLACK IRON INSULATED BREACHING SYSTEM)

MECHANICAL CONTRACTOR SHALL PROVIDE & INSTALL MODIFICATIONS TO THE EXISTING BREACHING SYSTEM, INCLUDING NEW STUBS FROM NEW & EXISTING BOILERS & WATER HEATER UP TO EXISTING MAIN STACK AS SHOWN. NEW BREACHING SYSTEM SHALL BE A WELDED 10 GA. BLACK IRON / INSULATED SYSTEM USING 2" MIN. OF HIGH TEMPERATURE MINERAL WOOL INSULATION ON THE OUTER WALL. MINERAL WOOL SHALL BE WRAPPED IN 20 GA. BRUSHED ALUMINUM SHEET. CONTRACTOR SHALL PROVIDE ALL FITTINGS / TEES, BAROMETRIC DAMPERS, SUPPORTS, ETC. AS REQUIRED FOR A COMPLETE & OPERATIONAL INSTALLATION. BAROMETRIC DAMPERS SHALL BE MOUNTED ON 18"~ MIN. TEE EXTENSION. REFER TO THE FLOOR PLAN FOR ROUTING OF NEW BREACHING SYSTEMS.

Note "LL" (NEW BOILER LEAD / LAG SYSTEM)

MECHANICAL CONTRACTOR SHALL PROVIDE & INSTALL A NEW "POWER FLAME" SYNC-MATIC HMI LEAD-LAG CONTROLLER FOR THE NEW BOILER SYSTEM. NEW LEAD-LAG PANEL SHALL HAVE THE FOLLOWING FUNCTIONS:

PROVIDE FOR FULL MODULATING CONTROL OF EACH NEW BURNER / BOILER W/ SIGNALS TO MATCH ACTUATORS SUPPLIED W/ EA. BOILER.

PROVIDE MANUAL / AUTOMATIC MODULATING CONTROL FOR EA. BOILER TO CONTROL FIRING RATE THAT WILL OPERATE IN CASE OF LEAD / LAG SEQUENCER FAILURE. SYSTEM SHALL DISPLAY FIRING RATE ACTUATOR POSITION & CONTROL CAPABILITY RATIO, DEAD BAND & PROPORTIONAL ACTION. TRANSFER FROM SEQUENCING TO MANUAL CONTROL SHALL OCCUR AUTOMATICALLY IN THE EVENT OF CPU FAILURE.

PROVIDE AUTOMATIC SEQUENCING UPON BOILER FAILURE WHICH WILL START THE NEXT BOILER IN THE SEQUENCE IN THE EVENT OF A FLAME FAILURE / LOCKOUT OF AN ON-LINE BOILER.

PROVIDE ASSURED LOW FIRE WARM UP & LOW FIRE SHUT DOWN FROM PROOF OF POSITION CONTACTS THAT ARE REQUIRED ON THE FIRING RATE ACTUATORS.

PROVIDE 'MODBUS' OUTPUT / PROGRAMMING OF THE CONTROLLER TO ALLOW REMOTE CHANGES OF CONTROL COMMANDS FROM A BUILDING MANAGEMENT SYSTEM.

TIE LEAD / LAG INTO BUILDING TEMPERATURE CONTROL SYSTEM TO ALLOW LOCKOUT OF BOILERS ABOVE A SELECTED OUTDOOR AIR TEMPERATURE OR TO ALLOW NIGHT CYCLE SYSTEM SHUTDOWN. NIGHT SHUTDOWN SHALL BE OVERRIDDEN AT OUTDOOR AIR TEMPERATURES BELOW A GIVEN SETPOINT (PROGRAMMABLE).

LEAD / LAG SYSTEM SHALL BE ABLE TO AUTOMATICALLY ALTERNATE THE LEAD POSITION BETWEEN BOILERS FOR A PROGRAMMABLE TIME PERIOD IN ORDER TO EQUALIZE RUN TIME ON THE EQUIPMENT.

GENERAL SEQUENCE OF OPERATION: UPON SYSTEM ENABLE, THE L/L SYSTEM SHALL START THE FIRST BOILER AT PROVEN LOW FIRE. 1st. BOILER SHALL MODULATE UP TO HIGH FIRE TO MEET DEMAND. IF THE 1st. BOILER IS UNABLE TO MEET THE DEMAND WITHIN A SPECIFIED AMOUNT OF TIME, THE L/L SYSTEM SHALL COMMAND THE NEXT BOILER TO START AT PROVEN LOW FIRE. SYSTEM SHALL MODULATE BOILER #2 (ETC.) UP AS REQUIRED TO MEET THE LOAD. AS THE SYSTEM APPROACHES HEADER TEMPERATURE SET POINT, THE SYSTEM SHALL MODULATE ALL BOILERS DOWN TOWARD LOW FIRE IN UNISON. IF THIS IS STILL TOO MUCH INPUT, THE SECOND BOILER SHALL BE PROGRAMMED OFF (& THEN THE FIRST WHEN SYSTEM REACHES TEMPERATURE SETPOINT. ONCE A BOILER HAS SHUT DOWN, IT SHALL REMAIN OFF UNTIL THERE IS A CALL TO START. UPON A CALL TO START, THE SYSTEM SHALL HAVE A PROGRAMMABLE TIME DELAY (1 - 60 MIN.) WHICH WILL AUTOMATICALLY DELAY THE START OF THE BOILER FOR AT LEAST 5 MIN. BEFORE ALLOWING THE BOILER TO START, IT SHALL BE IMPOSSIBLE FOR TWO BOILERS TO START SIMULTANEOUSLY.

LEAD-LAG SYSTEM SHALL BE FURNISHED WITH COUNTER OPTIONS FOR BOILER CYCLE AND BOILER HOURS.

LEAD/LAG CONTROLS SHALL OPERATE SUCH THAT UNDER NO CIRCUMSTANCES SHALL (2) BOILERS START CONCURRENTLY.

REV.	DATE	ITEM
1	03/12/25	BID ADDENDUM No. 3

NOTICE

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KEY PLAN

NOT TO SCALE

PROJECT: BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
ADMINISTRATION BUILDING
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE: ADMINISTRATION BUILDING
BOILER ROOM DEMOLITION PLAN / NEW BOILER ROOM LAYOUT

DRAWING BY: CMW
CHECK BY: - - -

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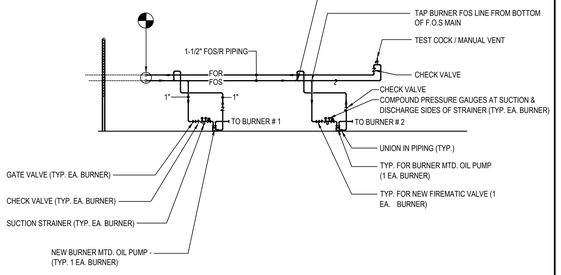
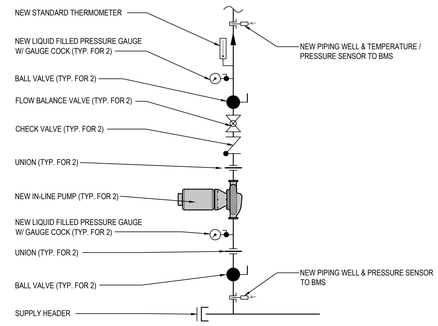
SED No.	66-01-02-06-1-008-014
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	BOILER ROOM DEMOLITION / NEW BOILER ROOM LAYOUT
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131C ADMIN.

M4.01



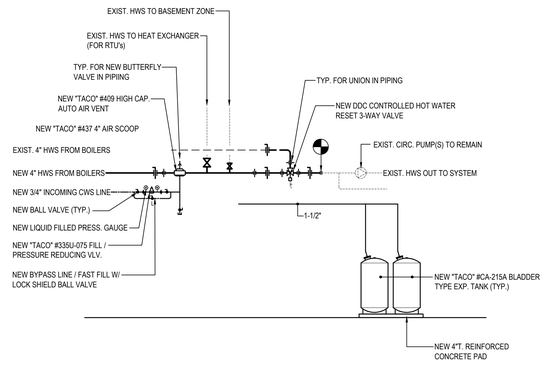
1 NEW FUEL OIL PIPING DETAIL

SCALE: N.T.S.



2 NEW IN-LINE CIRCULATOR PUMPS / TRIM

SCALE: N.T.S.



3 NEW HEATING SYSTEM MAKEUP WATER CONNECTION

SCALE: N.T.S.

REV.	DATE	ITEM
1	03/12/25	BID ADDENDUM No. 3

NOTICE

KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
ADMINISTRATION BUILDING
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

ADMINISTRATION BUILDING
BOILER ROOM DETAILS

DRAWING BY: CMW

CHECK BY: - - -

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SED No. 66-01-02-06-1-008-014

DISTRICT BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT PHASE 2 - BOND IMPROVEMENTS

DWG TITLE BOILER ROOM DETAILS

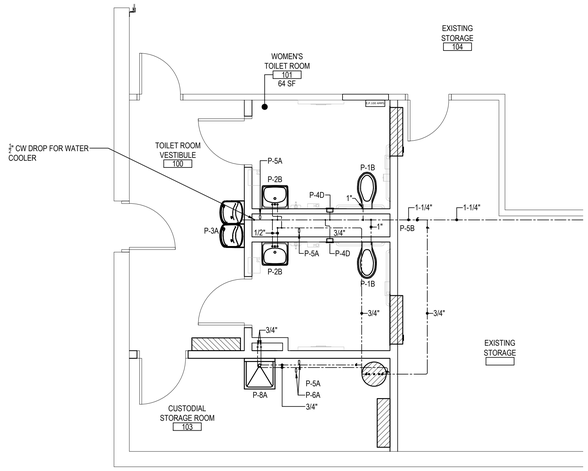
SCALE: AS NOTED

DATE: APRIL 2024

BID PICK-UP: FEBRUARY 24, 2025

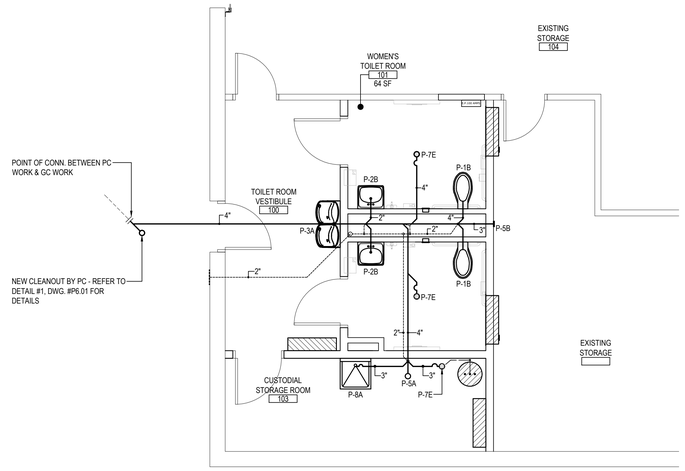
FILE No: 23-131C ADMIN.

M4.02



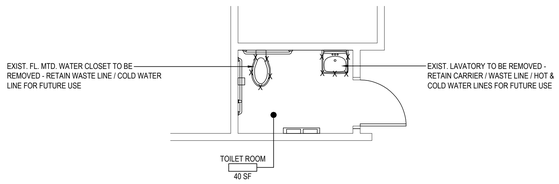
PROPOSED TOILET ROOM PLAN - LOWER LEVEL WATER PIPING LAYOUT

SCALE: 1/4" = 1'-0"



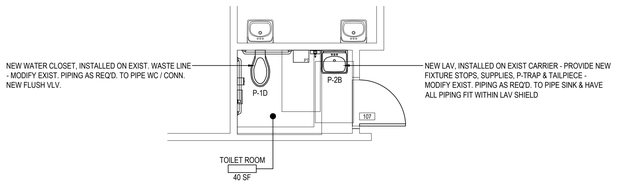
PROPOSED TOILET ROOM PLAN - LOWER LEVEL SANITARY PIPING LAYOUT

SCALE: 1/4" = 1'-0"



DEMOLITION PLAN (1st. FLOOR TOILET ROOM)

SCALE: 1/4" = 1'-0"



PROPOSED TOILET ROOM PLAN (1st. FLOOR TOILET ROOM)

NOTE: USE ADULT HEIGHT FIXTURES.

SCALE: 1/4" = 1'-0"

REV. 1-2025

REV.	DATE	ITEM

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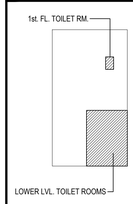

KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
ADMINISTRATION BUILDING
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

TOILET ROOM PLANS and DETAILS

DRAWING BY: BCM

CHECK BY: PJH

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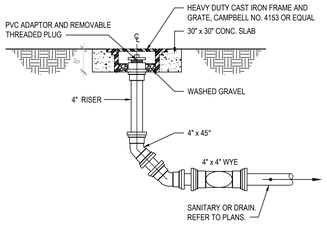
SED No.	66-01-02-06-1-008-014
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS
DWG TITLE	TOILET ROOM PLANS and DETAILS
SCALE:	AS NOTED
DATE:	APRIL 2024
BID PICK-UP:	FEBRUARY 24, 2025
FILE No:	23-131C ADMIN.

P2.01

PLUMBING FIXTURE TYPES

FIXTURE TYPE	TAG NO.	FIXTURE	TRAP SIZE	VENT SIZE	COLD WATER	HOT WATER	TEMPERED WATER	DESCRIPTION
WATER CLOSET	P-1B	ADA ACCESSIBLE WALL MOUNTED WATER CLOSET	4"	2"	1-¼"	--	--	ZURN MODEL# Z5615-BWL-AM, ECOVANTAGE HIGH-EFFICIENCY TOILET SYSTEM VITREOUS CHINA, 1.1 GPF OR GREATER HIGH-EFFICIENCY WALL HUNG TOILET WITH SIPHON JET FLUSHING ACTION, ZURN SHIELD CERAMIC GLAZE AND ELONGATED FRONT RIM WITH 1-1/2" TOP SPUD. ZURN MODEL# ZTR6200-ONE-LL, EXPOSED, QUIET PISTON-TYPE, CHROME-PLATED FLUSHOMETER VALVE WITH A POLISHED EXTERIOR. COMPLETE WITH CHLORAMINE-RESISTANT, FILTERED PISTON KIT. THE VALVE INCORPORATES A BATTERY-POWERED SOLENOID ACTUATOR, AN AUTOMATIC SENSOR WITH A MANUAL OVERRIDE PUSH BUTTON, AND A ROBUST VANDAL-RESISTANT METAL COVER. ZURN MODEL# Z5956SS-EL-AM, 1" HIGH, IS AN ELONGATED, EXTRA HEAVY DUTY, PREMIUM WHITE, OPEN FRONT TOILET SEAT WITH LESS COVER AND STAINLESS STEEL CHECK HINGE. PROVIDE A WALL CARRIER FOR TOILET SYSTEM. REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHT.
WATER CLOSET	P-1D	ADA ACCESSIBLE FLOOR MOUNTED WATER CLOSET	4"	2"	1-¼"	--	--	ZURN MODEL# Z5665-BWL-1-AM, ECOVANTAGE HIGH-EFFICIENCY TOILET SYSTEM VITREOUS CHINA, 1.1 GPF OR GREATER, 16-3/4" HIGH WITH 1" HIGH TOILET SEAT, FLOOR MOUNTED, BOTTOM OUTLET TOILET WITH SIPHON JET FLUSHING ACTION AND ELONGATED FRONT RIM WITH 1-1/2" SPUD. ZURN MODEL# ZTR6200-ONE-LL EXPOSED, QUIET PISTON-TYPE, CHROME-PLATED FLUSHOMETER VALVE WITH A POLISHED EXTERIOR. COMPLETE WITH CHLORAMINE-RESISTANT, FILTERED PISTON KIT. THE VALVE INCORPORATES A BATTERY-POWERED SOLENOID ACTUATOR, AN AUTOMATIC SENSOR WITH A MANUAL OVERRIDE PUSH BUTTON, AND A ROBUST VANDAL-RESISTANT METAL COVER. BATTERY POWERED SOLENOID ACTUATOR, AUTOMATIC SENSOR WITH MANUAL OVERRIDE PUSH BUTTON, AND ROBUST VANDAL RESISTANT METAL COVER. ZURN MODEL# Z5956SS-EL-AM ELONGATED, 1" HIGH EXTRA HEAVY DUTY, PREMIUM WHITE, OPEN FRONT TOILET SEAT, LESS COVER, WITH STAINLESS STEEL CHECK HINGE.
LAVATORY	P-2B	ADA ACCESSIBLE TOILET ROOM LAVATORY	1-½"	1-½"	½"	½"	½"	ZURN MODEL# Z5341 WALL-MOUNTED CONCEALED CARRIER ARM LAVATORY – SINGLE HOLE 20" X 18" VITREOUS CHINA WALL-MOUNTED LAVATORY WITH SINGLE FAUCET HOLE. PROVIDED WITH HANGER PLATE AND HOLES FOR CONCEALED ARM CARRIER SYSTEMS, FRONT OVERFLOW. ZURN MODEL# Z6950-XL-S-F ZURN HYDRO-X POWER SENSOR FAUCETS. CHROME-PLATED CAST BRASS SENSOR FAUCET WITH INFRARED PROXIMITY SENSOR. A STANDARD 0.5 GPM FLOW CONTROL AND MOUNTING HARDWARE. ZURN MODEL# P6900-TMV-1-XL THERMOSTATIC LEAD FREE VALVE MEETS ASSE 1070. ZURN MODEL# Z8746-PC, CHROME PLATED CAST BRASS OPEN GRID DRAIN STRAINER, AND CHROME PLATED CAST BRASS ELBOW. FURNISHED WITH 1-1/4 17 GAUGE CHROME PLATED TUBULAR BRASS OFFSET TAILPIECE FOR SINK DEPTH TO 2-1/2. ZURN MODEL# Z8700-PC TO Z8708-PC, CHROME-PLATED CAST BRASS (COPPER ALLOY) BODY P-TRAP WITH CLEANOUT, TUBULAR BRASS WALL BEND AS SPECIFIED, DIE-CAST NUTS, AND SHALLOW ESCUTCHEON WITH COMPRESSION INLET. ZURN MODEL# Z8800-XL-LR-PC TO Z8809-XL-LRLK-PC TWO ZURN CHROME PLATED, SOLID BRASS ANGLE STOPS WITH ROUND WHEEL HANDLES OR LOOSE KEY AS SPECIFIED, TWO 12" FLEXIBLE CHROME PLATED COPPER LAVATORY RISERS COMPLETE WITH TWO CHROME PLATED STEEL FLANGES. ZURN MODEL# Z8808-XL-LR-PC TO Z8809-XL-LRLK-PC INCLUDE ST1027MM CHROME PLATED COPPER EXTENSION TUBES AND DEEP BELL STEEL FLANGES. TRUEBRO MODEL# 2018-AS-L LAV SHIELD ENCLOSURE. ZURN MODEL# Z1231 LAVATORY SUPPORT SYSTEM WITH CONCEALED ARMS. COMPLETE WITH DURA-COATED RECTANGULAR STEEL UPRIGHTS WITH WELDED FEET, CAST IRON ADJUSTABLE HEADERS, CONCEALED ARMS, STEEL SLEEVES, ALIGNMENT TRUSS, AND MOUNTING FASTENERS. REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHT.
WATER COOLER	P-3A	BI-LEVEL WATER COOLER WITH BOTTLE FILL STATION	2"	1-½"	½"	--	--	FURNISH AND INSTALL ELKAY MODEL# LZSTL8WSLP FILTERED BI-LEVEL SELF-CONTAINED WALL HUNG ELECTRIC REFRIGERATED WATER COOLER AT 8-GPH CHILLING CAPACITY AT 50 DEG. F WATER, LIGHT GRAY GRANITE FINISH, LEAD FREE, RATED 370-WATTS, 115-VOLTS, SINGLE PHASE, WITH EASY TOUCH FRONT AND SIDE PUSHBAR CONTROLS. FLEXI-GUARD SAFETY BUBBLER AND MODEL EZH2O BOTTLE FILLER STATION LOCATED ON THE LEFT SIDE (LOW-HI) ADA COOLER. WEIGHT 98-LBS. INSTALL ADA COOLER PER GUIDELINES 32" FROM FLOOR TO ORIFICE HEIGHT. FURNISH WITH MODEL# MLP200 BI-LEVEL IN WALL CARRIER.
WALL HYDRANT	P-4D	WALL HYDRANT (INTERIOR)	--	--	¾"	--	--	ZURN MODEL# Z1335CI-CL-34FS ENCASED, ECOLOTROLTM, LEAD-FREE, ANTI-SIPHON, MODERATE CLIMATE / INTERIOR WALL HYDRANT FOR FLUSH INSTALLATION. HYDRANT FEATURES ALL-BRONZE INTERIOR COMPONENTS WITH 1/2 TURN LONG-LIFE CERAMIC DISC CARTRIDGE, 3/4" FEMALE SOLDER INLET CONNECTION, AND 3/4" MALE HOSE CONNECTION. HYDRANT FURNISHED WITH TYPE 304 STAINLESS STEEL FLANGED HOUSING WITH LOCKING HINGED COVER STAMPED "WATER" AND INCLUDES OPERATING KEY.
CLEANOUT	P-5A	FLOOR CLEAN-OUT	--	--	--	--	--	ZURN MODEL# ZN1400-BZ1-VP CLEAN-OUT, DURA-COATED CAST IRON BODY WITH BOTTOM OUTLET, WITH GAS AND WATER TIGHT THREADED ABS TAPERED PLUG, POLISHED NICKEL BRONZE TOP AND VANDAL-PROOF SCREWS. (CLEANOUT SIZE TO MATCH PIPE SIZE)
CLEANOUT	P-5B	WALL CLEAN-OUT	--	--	--	--	--	ZURN MODEL# Z1468-VP WALL CLEAN-OUT, ROUND STAINLESS STEEL WALL ACCESS COVER COMPLETE WITH SECURING SCREW AND BRONZE RAISED HEX HEAD PLUG. (CLEANOUT SIZE TO MATCH PIPE SIZE)
ARRESTOR	P-6A	WATER HAMMER ARRESTOR	--	--	¾"	--	--	OATEY QUIET PIPES HAMMER ARRESTORS SIZE A-F. ARRESTOR CHAMBERS SHAL BE SPECIFICALLY SIZED TO ACCOMMODATE AND DISSIPATE ENERGY GENERATED BY SUCH VALVES AND FAUCETS. ARRESTORS SHALL BE EFFECTIVE WHEN INSTALLED ANY ANGLE. ARRESTOR SHALL BE LEAD-FREE, MADE OF COPPER AND INCLUDE POLYPROPYLENE PISTON WITH TWO NBR O-RINGS. ARRESTORS SHALL BE ANSI/ASSE1010-200 CERTIFIED AND APPROVED FOR INSTALLATION WITH NO ACCESS PANEL REQUIRED. ARRESTOR BODY:COPPER(TYPE K). PISTON:POLYPROPYLENE WITH TWO NBR O-RINGS PISTON LUBRICATION: DOW CORNING MOLYKOTE 111. FITTINGS AVAILABLE: MALES SWEAT/PRESS,FEMALE CPVC,MIP,F1807 PEX & F1960 PEX(NO LEAD BRASS C46400). TEMPERATURE RANGE:33ºF-180ºF.MAX WORKING PRESSURE: 0-400 PSI. ANSI/ASSE1010-2004CUPC,PDI WH-201-2017.
FLOOR DRAIN	P-7E	LOW PROFILE ADJUSTABLE FLOOR DRAIN	4"	2"	--	--	--	ZURN MODEL# FD-2322-ST LOW PROFILE ADJUSTABLE FLOOR DRAIN, RECOMMENDED FOR FINISHED FLOOR AREAS WHERE IS NOT REQUIRED. THE DRAIN IS DESIGNED FOR FOOT TRAFFIC AND LIGHT CART APPLICATIONS. COMPLETE WITH CAST IRON BODY AND ADJUSTABLE NICKEL BRONZE STRAINER ASSEMBLY. 1/2" P-TRAP PRIMER CONNECTION WITH PLUG. OPTIONS CHROME PLATED, POLISHED BRASS, 6" DIAMETER NICKEL HEAD ASSY., VANDAL PROOF. FURNISH AND INSTALL WITH J.R. SMITH MODEL# 2692-04 QUAD CLOSE TRAP SEAL.
SERVICE SINK	P-8A	FLOOR MOUNTED SERVICE SINK	3"	2"	½"	½"	--	ZURN MODEL# Z1996-36 MOP SERVICE BASIN 24"X36"X10", MOLDED HIGH DENSITY COMPOSITE BASIN WITH AN INTERGRALLY MOLDED, SELF-DRAINING MOP SHELF, PVC DRAIN BODY, STAINLESS STEEL STRAINER & 3" GASKETED OUTLET CONNECTION. CERTIFICATIONS: MEETS ANSI Z124, CSA LISTED , AND IAPMO LIST UNDER FILE#3561. ZURN MODEL# Z843M6-XL POLISHED CHROME-PLATED CAST BRASS 8" SINK FAUCET, LEAD FREE W/ QUARTER TURN CERAMIC DISC CARTRIDGES, 3/8" SHORT SWIVEL INLETS PROVIDING ADJUSTABLE CENTERS FROM 7-1/4" TO 8-3/4", INTEGRAL SERVICE STOPS & A 6" CENTERLINE CAST BRASS SPOUT W/ CHEMICAL RESISTANT VACUUM BREAKER, 3/4" HOSE THREADED OUTLET, PAIL HOOK AND ADJUSTABLE WALL BRACE. UNIT IS FURNISHED W/ 6" VANDAL-RESISTANT COLOR-CODED METAL WRIST BLADE HANDLES.



1 CLEANOUT ASSEMBLY DETAIL

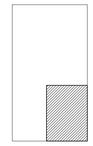
SCALE: N.T.S.

REV. 1/2020

REV.	DATE	ITEM

NOTICE

THESE DRAWINGS ARE BASED ON CONSTRUCTION DRAWINGS NOT PREPARED BY BBS ARCHITECTS, LANDSCAPE ARCHITECTS AND ENGINEERS, PC. AND, THEREFORE, MAY NOT REPRESENT THE CONDITIONS AS CONSTRUCTED AT THE TIME. ALL EXISTING CONDITIONS SHOWN ARE REPRESENTED AS SUGGESTIVE INFORMATION AS THEY MAY NOT HAVE BEEN BUILT AND DETAILED PER THE ORIGINAL DOCUMENTS OR PER THE OWNER'S INFORMATION.



KEY PLAN

NOT TO SCALE

PROJECT

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
ADMINISTRATION BUILDING
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE

PLUMBING DEMOLITION / NEW PLUMBING WORK

DRAWING BY: CMW

CHECK BY: CMW

NOTICE

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DISTRICT BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT PHASE 2 - BOND IMPROVEMENTS

DWG TITLE PLUMBING DEMOLITION & NEW WORK

SCALE: AS NOTED

DATE: APRIL 2024

BID PICK-UP: FEBRUARY 24, 2025

FILE No: 23-131C ADMIN.

P6.01

ELECTRICAL CONSTRUCTION NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NEC, APPLICABLE LOCAL CODES, STATE CODES, SCHOOL WORKING RULES AND SCHEDULE DIRECTIVES, AND THE ENGINEER'S SPECIFICATIONS.
2. THE VOLTAGE CHARACTERISTIC OF EXISTING BUILDING IS 208Y/120V, 3-PASE, 4-WIRE. THE VOLTAGE CHARACTERISTIC OF THE PROPOSED ADDITION SHALL BE 480/277V, 3-PHASE 4-WIRE WITH 208/120V DERIVED FROM STEP DOWN TRANSFORMERS. , ALL EQUIPMENT SHALL BE COMPATIBLE WITH THESE CHARACTERISTICS.
3. THE DRAWINGS SHOW SCHEMATICALLY, THE APPROXIMATE LOCATION OF ALL EQUIPMENT, CONDUITS, DEVICES, ETC. THE EXACT LOCATION OF WHICH SHALL BE SUBJECT TO APPROVAL BY THE ARCHITECT/OWNER WHO RESERVES THE RIGHT TO MAKE PRIOR TO INSTALLATION, ANY REASONABLE CHANGES IN LOCATION INDICATED WITHOUT EXTRA COST TO THE OWNER. CONTRACTOR SHALL VERIFY ALL INDICATED OR APPROXIMATED DIMENSIONS DRAWN OR DENOTED.
4. ELECTRICAL CONTRACTOR SHALL EXAMINE THE SITE TO VERIFY WORK TO BE PERFORMED AS SHOWN ON DRAWINGS AND SPECIFICATIONS BEFORE SUBMITTING HIS BID. ANY DISCREPANCY BETWEEN DRAWINGS/SPECIFICATIONS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO ARCHITECT/ENGINEERS ATTENTION BEFORE BID SUBMITTAL.
5. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LABOR SERVICE MATERIALS, EQUIPMENT, AND RELATED ITEMS TO COMPLETE THE WORK OF THIS DIVISION, AS REQUIRED BY THE NATIONAL ELECTRIC CODE, AND ALL STATE AND LOCAL AUTHORITIES HAVING JURISDICTION.
6. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL ELECTRICAL HARDWARE SHOWN ON THESE DRAWINGS AND RELATED DETAIL MATERIALS NOT SPECIFICALLY SHOWN OR SPECIFIED.
7. ELECTRICAL CONTRACTOR SHALL PAY ANY FEES APPLICABLE TO ELECTRICAL WORK, SUCH AS, BUT NOT LIMITED TO, THE POWER COMPANY, TELEPHONE COMPANY, CATV, CERTIFIED ELECTRICAL INSPECTORS, ALARM AND FIRE PROTECTION COMPANIES.
8. THE ELECTRICAL CONTRACTOR SHALL REFER TO ALL OTHER DRAWINGS IN BID PACKAGE AND PERFORM THE WORK (INCLUDE IN HIS BID) INDICATED AS ELECTRICAL CONTRACTOR (E.C.) WORK.
9. ALL WORK SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND DIRECTIVES OF THE SCHOOL DISTRICT BUILDINGS AND GROUNDS DEPARTMENT.
10. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL OBTAIN AN INSPECTION CERTIFICATE AND PAY ASSOCIATED FEE. SUBMIT A PHOTOCOPY OF THIS CERTIFICATE TO THE ENGINEER WITH FINAL PAYMENT APPLICATION.
11. ELECTRICAL CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND THEIR INSTALLATION TO BE FREE OF DEFECTS FOR A PERIOD AS DEFINED IN SECTION 1700 OF THE PROJECT MANUAL.
12. A COMPLETE SYSTEM OF WIRING, WITH ALL FEEDERS, MAINS, AND BRANCHES AS SHOWN ON THE DRAWINGS, SHALL BE FURNISHED AND INSTALLED FROM THE MAIN DISTRIBUTION BOARD TO THE PANELS OUTLETS, MOTORS, AND APPURTENANCES.
13. PROVIDE IDENTIFICATION FOR ALL PANEL AND MOTOR FEEDER CABLES IN PULL BOXES AND AT TERMINATIONS. ANY CONDUCTOR VOLTAGES HIGHER THAN 240 VOLTS SHALL BE MARKED ON DEVICES AND JUNCTION BOXES.
14. FURNISH AND INSTALL ALL WIRING OF ANY VOLTAGE OR PURPOSE AS SHOWN ON THE DRAWINGS.
15. ALL BRANCH CIRCUITS SHALL HAVE INDIVIDUAL NEUTRALS. SHARING COMMON NEUTRALS AMONG BUNDLED CIRCUITS IS SPECIFICALLY DISALLOWED UNLESS OTHERWISE NOTED.
16. PULL/JUNCTION BOXES SHALL BE PROVIDED WHERE INDICATED OR AS OTHERWISE REQUIRED TO FACILITATE THE PROPER INSTALLATION OF WIRES AND CABLES. CONDUITS MAY BE INCREASED IN SIZE FOR CONSTRUCTION CONVENIENCE.
17. FURNISH AND INSTALL ALL DISCONNECT DEVICES AND SAFETY SWITCHES AS SHOWN ON THE DRAWINGS AND/OR AS REQUIRED TO CONFORM WITH REQUIREMENTS.
18. FURNISH AND INSTALL ALL INDICATED LIGHTING FIXTURES AND MOUNTING HARDWARE AS REQUIRED FOR A COMPLETE INSTALLATION.
19. ELECTRICAL CONTRACTOR SHALL PROVIDE TO SCHOOL 5 PERCENT SPARE LAMPS (MINIMUM QUANTITY 1) OF EACH TYPE SPECIFIED WITH NEW FIXTURES.
20. PROVIDE ALL WIRING, PANEL BOARDS, SWITCHES, FUSES, EQUIPMENT, AND ALL INCIDENTAL MATERIALS REQUIRED TO SUPPLY TEMPORARY AND PERMANENT ELECTRICAL NEEDS FOR THE WORK INVOLVED, ALL IN ACCORDANCE WITH OSHA, LOCAL, STATE AND UNDERWRITERS REQUIREMENTS.
21. ALL WIRING TO BE 1#12+1#12(N)+1#12(G)-3/4"C., OR STEEL JACKETED MC CABLE (WHERE CODE PERMITTED), UNLESS OTHERWISE SPECIFIED ON DRAWINGS. RUN BRANCH CIRCUITS IN DROPPED CEILINGS, VOIDS, & CHASES. CONDUITS MAY BE SURFACE MOUNTED IN MECHANICAL SPACES UNLESS OTHERWISE NOTED. CONDUITS IN PUBLIC AREAS SHALL BE CONCEALED IN HUNG CEILINGS, EMBEDDED IN SLAB OR MASONRY WALLS, EXCEPT WHERE SURFACE MOUNTED RACEWAY IS SPECIFIED. ALUMINUM JACKETED MC CABLE IS NOT ACCEPTABLE.
22. ALL CONNECTIONS AND/OR SPLICES SHALL BE MADE ONLY IN ACCESSIBLE JUNCTION BOXES.
23. ALL COUPLINGS AND CONNECTORS FOR USE WITH EMT SHALL BE COMPRESSION TYPE. SET SCREW TYPE OR INDENT TYPE FITTINGS WILL NOT BE ACCEPTED.
24. ALL CONNECTIONS TO CONDUIT RUN UNDERGROUND SHALL BE MADE WATERTIGHT. ALL METALLIC CONDUIT INSTALLED IN EARTH FILL, AS WELL AS UNDERGROUND, SHALL BE PAINTED WITH (2) COATS OF ASPHALTUM PAINT OR EQUAL.
25. WIRING INSTALLED IN CEILINGS SHALL BE HUNG INDEPENDENT OF CEILING SYSTEM AND SECURELY TIED TO BUILDING STEEL.
26. ALL LOW VOLTAGE (FIRE ALARM, PA INTERCOM, PHONE, DATA, ETC.) WIRING INSTALLED IN OPEN AREAS SHALL BE IN METALLIC RACEWAY IN MECHANICAL AREAS, GYMNASIUMS, ART ROOMS, STOREROOMS, ETC., AND IN SURFACE MOUNTED RACEWAY IN PUBLIC AREAS. LOW VOLTAGE WIRE INSTALLED IN DROPPED CEILINGS SHALL BE BUNDLED TOGETHER AND SUPPORTED BY BUILDING STEEL. LOW VOLTAGE WIRE SHALL NOT BE SUPPORTED WITH BRANCH CIRCUITS OR FEEDER CIRCUITS AND SHALL NOT BE SUPPORTED BY CONDUIT, PIPES, ETC.. LOW VOLTAGE WIRING NOT INSTALLED IN CONDUITS, SHALL BE PLENUM RATED.
27. CONDUITS SHALL BE SECURED IN PLACE AND PROTECTED WHERE NECESSARY TO PREVENT DAMAGE DURING CONSTRUCTION.
28. FURNISH AND INSTALL ALL HARDWARE TO PROPERLY SUPPORT ALL CONDUITS NOT INSTALLED IN CONCRETE SLABS OR UNDERGROUND.
29. ALL CONDUITS OR MC CABLE SHALL BE EQUIPPED WITH AN INSULATING/CHAFE GUARD GROMMET AT WIRE EXIT/ENTRANCE. MC CABLE SHALL USE MC STYLE BUSHINGS. BX OR OTHER BUSHINGS ARE SPECIFICALLY DISALLOWED.
30. WHERE AN EXISTING CONDUIT OR CABLE IS REQUIRED TO BE REMOVED BUT SERVES AND EXISTING PIECE OF EQUIPMENT WHICH IS TO REMAIN OPERABLE, THE ELECTRICAL CONTRACTOR SHALL REROUTE SAID CONDUIT OR CABLE OR PROVIDE A NEW SOURCE OF POWER (APPROVED BY ENGINEERING) TO THIS EQUIPMENT AS A PART OF THIS CONTRACT.
31. ALL PANELS, SWITCHES, DISCONNECT STARTERS, OR OTHER ELECTRIC SYSTEM CONTROLS SHALL BE STENCILED WITH THEIR APPROPRIATE DESIGNATION/FUNCTION. ALL CIRCUIT BREAKERS SHALL BE IDENTIFIED BY A PANEL SCHEDULE OR STENCIL ADJACENT TO THE CIRCUIT BREAKER.
32. ALL CIRCUIT BREAKERS POSITIONS IN ALL PANELS ARE SHOWN FOR ESTIMATE PURPOSES ONLY. EC IS RESPONSIBLE FOR LOAD BALANCING.
33. ALL DEVICES SHALL BE FASTENED IN PLACE SECURELY. GRID MOUNTING LIGHTING FIXTURES SHALL BE SECURED TO GRID WITH CLIPS LISTED FOR THE PURPOSE OR SUSPENDED FROM STRUCTURE PER NEC.
34. WORK WHICH MUST BE DONE IN OCCUPIED AREAS SHALL BE DONE AT SUCH TIMES AS INDICATED IN THE PHASING OF CONSTRUCTION AND AS APPROVED BY THE SCHOOL.
35. WHERE THE ELECTRICAL CONTRACTOR IS INSTRUCTED TO PROVIDE, INSTALL AND WIRE CIRCUIT BREAKER(S) TO AN EXISTING PANEL AND THAT PANEL DOES NOT HAVE THE ROOM TO INSTALL REQUIRED CIRCUIT BREAKERS, THE ELECTRICAL CONTRACTOR SHALL REMOVE (3) ADJACENT 1P CIRCUIT BREAKERS AND PROVIDE A 3P, 60A BREAKER IN THEIR PLACE FOR SUB FEED TO A SURFACE MOUNTED 1OOA,3~,4W,24 POLE SUB PANEL AND ESTABLISH OVERFLOW CIRCUITS IN NEW SUB PANEL, EACH WITH REQUIRED CIRCUIT BREAKERS. PROVIDE (3) 1P, AMPERAGE AS BEFORE CIRCUIT BREAKERS FOR DISCONNECTED CIRCUITS IN MAIN PANEL AND RECONNECT THEM IN SUB PANEL. SUB PANEL FEED TO BE 3#6+1#6(N)+1#10(G)-1"C.
36. SELECTED RECEPTACLES AS SHOWN ON DRAWINGS MAY BE GFI PROTECTED BY CONNECTING TO GFCI RECEPTACLE FIRST IN CIRCUIT. ALL RECEPTACLES THAT ARE PROTECTED FROM AN UPSTREAM GFCI UNIT SHALL BE VISABLY LABELED AS SUCH. GFCI RECEPTACLE SHALL BE SPEC GRADE AND RATED 20A, WITH OPERATING NOTIFICATION INDICATING LIGHT.
37. ALL DEVICES ADDRESSED BY ADA REGULATIONS SHALL BE INSTALLED AT ADA COMPLIANT HEIGHT AND LOCATIONS.
38. ALL NEW LIGHTING OR EXISTING LIGHTING HAVING SWITCHING REARRANGEMENT SHALL BE EQUIPPED WITH CODE COMPLIANT ENERGY CONSERVATION CONTROLS. SUCH CONTROL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
39. REMOVAL OF ELECTRICAL ITEMS INCLUDES THEIR DISPOSAL. THE EXCEPTION WILL BE TO TURN OVER TO THE OWNER ITEMS, IF ANY, THEY SPECIFY TO BE RETAINED IN THEIR INVENTORY. PCB OR ASBESTOS BEARING MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH LAWS AND REGULATIONS.
40. EC SHALL PROVIDE & WIRE WEATHERPROOF GFCI RECEPTACLES ON ALL APPLICABLE ROOFTOP UNITS AS PART OF HIS BID. SEE MECHANICAL EQUIPMENT SCHEDULES FOR UNITS WITH SERVICE RECEPTACLES FACTORY INSTALLED.
41. UNLESS OTHERWISE NOTED, STARTERS AND DISCONNECTS FOR MECHANICAL EQUIPMENT SHALL BE FURNISHED BY THE MECHANICAL CONTRACTOR.. COORDINATE WITH THE MECHANICAL CONTRACTOR FOR ALL POWERED MECHANICAL EQUIPMENT. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO INSTALL ALL MOTOR STARTERS AND ASSOCIATED POWER WIRING FROM SOURCE TO UNIT VIA STARTERS AND DISCONNECTS. THE LOCATIONS OF MOTOR STARTERS SHALL BE DETERMINED BY THE MECHANICAL CONTRACTOR IN THE FIELD AND SUBMITTED TO THE ENGINEER FOR APPROVAL UNLESS IT IS SPECIFIED ON THE DRAWINGS. THE ELECTRICAL CONTRACTOR SHALL REFER TO THE MECHANICAL DRAWINGS, EQUIPMENT SCHEDULES & NOTES AND INCLUDE IN HIS BID PRICE ALL ELECTRICAL WORK ASSOCIATED WITH THEIR INSTALLATION, .AND THE REMOVAL OF ANY STARTERS/DISCONNECTS NO LONGER REQUIRED.

DEMOLITION NOTES:

1. THE ITEMS SPECIFICALLY SHOWN ON DEMOLITION DRAWING/S ARE TO BE ADDRESSED BY THE ELECTRICAL CONTRACTOR. THE ITEMS ARE TO BE TREATED AS NOTED AND RANGE FROM DIRECT REMOVAL AND DISPOSAL, OR REMOVAL, STORAGE, AND REINSTALLATION/RELOCATION, OR TEMPORARY REMOVE/STORAGE, AND REINSTALLATION IN SAME LOCATION.
2. MANY OTHER ELECTRIC ITEMS EXIST THAT ARE NOT SHOWN INCLUDE, BUT ARE NOT LIMITED TO, SWITCHES, RECEPTACLE, FLOOR OUTLETS, LOW VOLTAGE JACKS, LOW VOLTAGE DEVICES AND WIRING, TELEPHONE PUNCH DOWN BLOCKS, AND OUT OF SERVICE ITEMS. ALL SUCH ITEMS SHALL BE PERMANENTLY DE-ENERGIZED, DISCONNECTED, AND OTHERWISE MADE SAFE FOR DEMOLITION BY NON-ELECTRIC DEMOLITION WORKERS. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL ELECTRIC DEVICES, OF ANY VOLTAGE OR FUNCTION, THAT ARE TO BE DEMOLISHED ARE SAFE AND ADVISE THE DEMOLITION CONTRACTOR WHEN THIS IS SO.
3. AFTER THE ELECTRICAL CONTRACTOR HAS DISCONNECTED ELECTRIC SUPPLIES TO ITEMS TO BE DEMOLISHED, HE SHALL ADVISE THE GENERAL CONTRACTOR OF ANY ELECTRIC ITEMS TO BE RETAINED FOR FUTURE USE AND THEREFOR NOT TO BE DEMOLISHED. THE GENERAL CONTRACTOR SHALL THEN PERFORM ALL WORK ZONE DEMOLITION. THIS MATTER APPLIES TO ALL ELECTRIC ITEMS, OF ANY VOLTAGE OR PURPOSE.
4. THE SPECIAL/SPECIFIC ITEMS SHOWN ON THE DRAWING FOR ELECTRICAL CONTRACTOR TO ACT ON WERE FOUND BY SURVEY. NUMEROUS LOCATIONS WERE BLOCKED BY FURNITURE, ETC. AND ADDITIONAL EQUAL TYPE ITEMS MAY BE PRESENT. THE ELECTRICAL CONTRACTOR SHALL ALLOW FOR THIS IN HIS BID PRICE AND ATTEND TO THOSE EQUAL OR SIMILAR DEVICES AS MAY BE DISCOVERED.
5. REMOVAL ITEMS THAT ARE LISTED AS TO BE TURNED OVER TO OWNER'S INVENTORY SHALL BE DISCUSSED WITH THE DISTRICT BUILDINGS AND GROUNDS MANAGER. THOSE ITEMS THAT THE OWNER DECLINES SHALL THEN BE DISPOSED OF BY THE CONTRACTOR IN THE MANOR OF OTHER PERMANENT REMOVALS. ANY PCB BEARING FLUORESCENT FIXTURES SHALL BE DISPOSED OF PER REGULATIONS.
6. RETAIN EXISTING RECEPTACLES IN WALLS THAT WILL NOT BE IN CONFLICT WITH NEW CONSTRUCTION. RETAIN LIGHT SWITCH LOCATIONS THAT WILL NOT BE IN CONFLICT WITH NEW CONSTRUCTION. INSTALL BLANKING PLATE COVERS OVER THE UNUSED PORTION OF GANG BOXES HAVING MORE GANG POSITIONS THAN NEEDED FOR NEW SWITCHES.
7. LIGHT FIXTURES ARE TO BE REMOVED AS GENERAL, NON ELECTRIC, CONTRACTOR DEMOLITION. ELECTRICAL CONTRACTOR RESPONSIBLE TO SAFE OFF LIGHTUING CIRCUITS FOR REMOVAL BY OTHERS. NO SPECIFIC QUANTITIES OR LOCATIONS ARE SHOWN. RETURN WHATEVER QUANTITY, IF ANY, OF THESE TO OWNER'S INVENTORY IF HE SO SPECIFIES OR THEY ARE OTHERWISE TO BE DISPOSED OF. ELECTRICAL CONTRACTOR SHALL EXAMINE FIXTURES FOR PRESENCE OF PCB'S AND SPECIAL DISPOSAL.
8. THE ELECTRICAL CONTRACTOR SHALL COVER ALL BACK BOXES IN THE WALL THAT BECOME EXPOSED DUE TO DEVICE REMOVALS. THIS INSTRUCTION ALSO APPLIES TO EXPOSED ELECTRICAL BACK BOXES AS MAY EXIST AT THE SITE PRIOR TO THIS PROJECT. THE COVER SHALL BE BRUSHED ALUMINUM WITH CHAMFERED EDGES AND COVER THE HOLE COMPLETELY WITH AT LEAST 3/4" EXTRA MARGIN ON ALL SIDES. MOUNT THE COVER WITH SCREWS TO MATCH THE ORIGINAL PATTERN.
9. IT IS EXPECTED THAT STRUCTURAL DEMOLITION BY THE GENERAL CONTRACTOR WILL CAUSE VARIOUS ELECTRIC SUPPLIES, OF VARIOUS VOLTAGES AND PURPOSES, TO BE CUT AND RENDER SOME DEVICES TEMPORARILY INACTIVE. IT IS THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO RECONSTRUCT AND RECONNECT SUCH ELECTRIC SOURCES WHEN THE NEW STRUCTURE IS BUILT. NOTE THAT MOST REINSTALLED ITEMS WILL BE IN DIFFERENT LOCATIONS FROM THE REMOVAL LOCATION. THE ELECTRICAL CONTRACTOR SHALL MAKE ALL REQUIRED CIRCUIT EXTENSIONS OR MODIFICATIONS TO PROVIDE SERVICE TO A REINSTALLED ITEM AS RELOCATED. PROVIDE ALL REQUIRED CIRCUIT EXTENSIONS AS REQUIRED TO RESTORE SERVICE TO DEVICES. NOTE THAT THIS REQUIREMENT ALSO APPLIES TO THE ROOMS AND ELECTRICAL ITEMS WITHIN THAT ARE NOMINALLY NOT IN CONTRACT. SUCH RESTORATION OF SERVICE, IF NEEDED, IS SPECIFICALLY IN THE ELECTRICAL CONTRACTOR'S CONTRACT.
10. IT SHALL BE THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL ELECTRICAL DEVICES, FROM DAMAGES DURING CONSTRUCTION, WHICH ARE EITHER INDICATED TO REMAIN, AND/OR TO BE REMOVED AND REINSTALLED THROUGHOUT ALL CONSTRUCTION AREAS. DEVICES SHALL INCLUDE BUT WILL NOT BE LIMITED TO: SMOKE DETECTORS, EMERGENCY LIGHTS, EXIT SIGNS, OCCUPANCY SENSORS, SPEAKERS, LIGHT FIXTURES, SWITCHES, RECEPTACLE, ETC. IN THE EVENT OF DAMAGES INCURRED DUE TO CONSTRUCTION ACTIVITIES, THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE ANY DAMAGED DEVICES AT NO ADDITIONAL COST TO OWNER.
11. ALL SYSTEM ASSOCIATED WITH THE DEVICES SCHEDULED TO BE REMOVED, STORED AND PROTECTED SHALL BE TESTED BY THE MANUFACTURER'S CERTIFIED TESTING VENDOR PRIOR TO ANY DEMOLITION ACTIVITY. ANY DEVICE WHICH FAILS THE TEST SHALL BE REPLACED WITH A FORM, FIT AND FUNCTION COMPONENT PER UNIT PRICES, AND SUCH DEVICES ARE NOT INCLUDED IN THIS RESPONSIBILITY STATEMENT, BUT ALSO SUCH INSTALLATION SHALL BE IN THE ELECTRICAL CONTRACTOR'S BASE BID. THE ELECTRICAL CONTRACTOR SHALL RE-TEST ALL SUCH SYSTEM COMPONENTS BY A MANUFACTURER CERTIFIED TESTING VENDOR OF SUCH SYSTEM OF ALL PREVIOUSLY TESTED SYSTEM COMPONENTS AFTER ALL WORK BY ALL TRADES HAS BEEN COMPLETED, AND ALL SYSTEM COMPONENTS HAVE BEEN INSTALLED. ANY COMPONENT WHICH FAILS SHALL BE REPLACED, AND PROGRAMMED IF NECESSARY BY THE ELECTRICAL CONTRACTOR. ALL SUCH REPLACEMENT AND PROGRAMMING COSTS SHALL BE ELECTRICAL CONTRACTOR'S RESPONSIBILITY. ALL COSTS ASSOCIATED WITH THE TESTING OF AFFECTED SYSTEM SUCH AS BUT NOT LIMITED TO FIRE ALARM, PUBLIC ADDRESS, INTERCOM, TELEPHONE, AND SECURITY SYSTEMS SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. ALL EQUIPMENT, DEVICES, WIRING AND THEIR ASSOCIATED MATERIAL SPECIFIED TO REMAIN, WHICH IS NOT STORED AND PROTECTED, SHALL BE PROTECTED DURING THE DEMOLITION ACTIVITIES, AND ALL TRADES SHALL BE INFORMED OF SUCH COMPONENTS. ANY OF SUCH COMPONENTS WHICH BECOME DAMAGED DURING DEMOLITION SHALL BE REPLACED FORM, FIT AND FUNCTION BY THE ELECTRICAL CONTRACTOR AT HIS EXPENSE.

ABBREVIATIONS

E, EX	EXISTING
ETR	EXISTING TO REMAIN
PSEGLI	PSE&G LONG ISLAND (UTILITY CO.)
SM, S.M.	SURFACE MOUNTED
U.O.N.	UNLESS OTHERWISE NOTED
EC, E.C.	ELECTRICAL CONTRACTOR
GC, G.C.	GENERAL CONTRACTOR
MC, M.C.	MECHANICAL CONTRACTOR
PC, P.C.	PLUMBING CONTRACTOR
TYP.	TYPICAL
REQ'D	REQUIRED
O.C.	ON CENTER
CKT	CIRCUIT
AFF	AWAY FROM FLOOR
CB	CIRCUIT BREAKER
REC.	RECEPTACLE
ACT	ABOVE COUNTERTOP

LINE DESIGNATIONS

(solid line)	EXISTING TO REMAIN DEVICES
(dashed line)	DEVICES TO BE REMOVED. PULL BACK ALL ASSOCIATED CONDUIT AND WIRING AND REMOVE UNLESS OTHERWISE NOTED ON THE PLANS.
(solid line)	NEW DEVICES

TEMPORARY POWER CONSTRUCTION NOTES:

1. THE ELECTRICAL CONTRACTOR SHALL PROVIDE TEMPORARY POWER AND LIGHT IN THE NEW AREAS 'D', AND 'E' AND THE RECONSTRUCTED AREAS OF THE EXISTING BUILDING.
2. ALL TEMPORARY POWER PANELS AND FUSED SWITCHES OUTSIDE SHALL BE NEMA 3R CONSTRUCTION AND LOCKABLE. ALL OUTSIDE RECEPTACLES SHALL BE WATERPROOF AND HAVE A COVER THAT ENCLOSES THE PLUGGED IN CORDS WHILE IN SERVICE AS INTERMATIC WP120C. NON-WATERPROOF GEAR IN A HOUSING IS NOT ACCEPTABLE.
3. ALL RECEPTACLES SHALL BE GFCI PROTECTED AND MOUNTED 3'-0" ABOVE FINISHED FLOOR. PROVIDE WORK BLOCKING AS REQUIRED. ALL RECEPTACLES OUTLETS SHALL BE 2 GANG DOUBLE DUPLEX.
4. TEMPORARY LIGHTING SHALL BE CONSTRUCTED OF SINGLE AND DOUBLE 100 WATT CLEAR INCANDESCENT LAMPS, OR EQUIVALENT, AND WATERPROOF RUBBER SOCKETS, SPLICED WITH WATERPROOF CONNECTORS ON FESTOONED ROMEX-TYPE WIRE. ADEQUACY OF ALL TEMPORARY LIGHTING CONFIGURATIONS SHALL BE AS DETERMINED BY THE CONSTRUCTION MANAGER. PRE ASSEMBLED TEMPORARY LIGHTING IS DISALLOWED. TAPS AND SPLICES SHALL BE MADE WITH SCOTCH LOCK CONNECTORS, RUBBER TAPE, AND THEM PVC COATED. THE CONNECTORS SHALL BE FILLED WITH PENETROX. A PLASTIC SHAPE ON CAGE/GUARD SHALL PROTECT EACH SOCKET AND LAMP. NOMINAL SPACING BETWEEN LAMP CLUSTER IS 16 FEET. MOUNT LIGHTS EIGHT FEET ABOVE FINISHED FLOOR IN TYPICAL LOCATIONS AND 10 FEET ABOVE FINISHED FLOOR IN CORRIDOR. PROVIDE NIGHT LIGHTING CIRCUIT, WHICH SHALL OPERATE CONTINUOUSLY. ALL LAMPS SHALL BE 130 VOLT, ROUGH SERVICE RATED. TEMPORARY LIGHTS SHALL BE TO OSHA STANDARDS. ALTERNATE FIXTURES SHALL BE 400W CONSTRUCTION SITE STYLE
5. PROVIDE HOOK UPS TO JOB TRAILER FOR ALL TRADES. USE SITE POWER AS SOURCE. OWNER PAYS FOR POWER CONSUMPTION.
6. WIRING SHALL BE 1#12+1#12(N)+1#12(G) ROMEX STYLE. CIRCUITS SHALL BE OPERATED A MAXIMUM OF 15 AMPS OR 1800 WATTS (18 100 WATT LAMPS), SWITCHING SHALL BE DONE VIA THE SWITCH RATED 20A, 10 CIRCUIT BREAKERS. SEGREGATE THE NIGHT LIGHTS AND RECEPTACLES IN THE LOWER PART OF THE POWER PANELS AND LABEL THESE "DO NOT
7. TURN OFF" . CIRCUIT HOME RUNS CONDUCTORS SHALL INCREASE ONE WIRE SIZE EVERY 100 FEET I.E. #10 CONDUCTORS. WIRING WITHIN THE ROOM AREA SHALL BE MADE WITH #12 CONDUCTORS.
8. THE ELECTRICAL CONTRACTOR SHALL PREPARE EACH PANEL SCHEDULE.
9. A LENGTH OF GREENFIELD FLEX CONDUIT AT PINCH POINTS SHALL PROTECT ALL WIRE, SUCH AS WHERE WIRING PASSED THROUGH A DOORWAY. WIRING SHALL BE SUPPORTED FROM ANCHORS INSTALLED BY THE ELECTRICAL CONTRACTOR FOR THE PURPOSE OF ATTACHMENT TO PROJECT. ALL ELECTRICAL HARDWARE SHALL BE NEW FOR THIS PROJECT.
10. ALL WIRING SHALL BE INSTALLED SO AS NOT TO CAUSE TRIPPING HAZARD OR SIMILAR OBSTRUCTION.
11. POWER PANELS SHALL BE EQUIPPED WITH 42 1P, 20A CIRCUIT BREAKERS AND ALL CIRCUIT BREAKERS NOT IN SERVICE SHALL BE LABELED SPARE. AT THE OWNERS OPTION PANEL AND CIRCUIT BREAKERS SHALL BE TURNED OVER TO OWNERS INVENTORY AT CONCLUSION OF THE PROJECT. ALL ELECTRICAL HARDWARE SHALL BE NEW FOR THIS PROJECT.
12. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF TEMPORARY LIGHTING AND POWER SYSTEMS DURING, AND AFTER INSTALLATION, UP TO THE TIME OF BENEFICIAL OCCUPANCY, AND TIME OF REMOVAL. REPAIRS SHALL BE MADE WITHIN 24 HOURS OF THE REPORTED OUTAGE, OR AS DIRECTED BY THE CONSTRUCTION MANAGER. ELECTRICAL CONTRACTOR SHALL COMMENCE WORK ON THIS PROJECT WITH A GROSS OF SPARE CONSTRUCTION BULBS AT HIS IMMEDIATE DISPOSAL.
13. REMOVAL OF THE TEMPORARY POWER AND LIGHTING SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR WHEN THE PROJECT IS COMPLETE. ALL EQUIPMENT, WIRING SUPPORTS, CONNECTORS, ETC. SHALL BE REMOVED FROM OWNER'S PROPERTY AFTER PROJECT IS COMPLETE. INCLUDE STATEMENT OF REMOVAL WITHIN CLOSE OUT DOCUMENTS, REQUIRED FOR FINAL PAYMENT.
14. PROVIDE THE TEMPORARY ELECTRICAL SERVICE TO THE CONSTRUCTION TRAILERS SHALL BE AS PER USERS REQUIREMENTS OF THE TRADES. TEMPORARY SERVICES ARE REQUIRED PER SPECIAL CONDITIONS OF THE PROJECT.
15. ALL TEMPORARY POWER WORK SHALL BE COORDINATED WITH THE CONSTRUCTION MANAGER SPECIAL EMPHASIS SHALL BE EXERCISED FOR TERRAZZO MACHINES AND ITS ELECTRICAL REQUIREMENT.

FIRE STOP NOTES:

1. ALL CONDUIT AND CABLE PENETRATIONS THROUGH FIRE RATED WALLS, FLOORS OR OTHER STRUCTURES SHALL BE FIRE STOPPED.

2. THE FIRE STOP MATERIALS SHALL BE HILTI TYPE FS-657 FIRE BLOCK, FS-ONE SEALANT, CP-672 JOINT SPRAY, CP-601S ELASTOMERIC SEALANT, 6P-606 FLEXIBLE SEALANT, CP-643 OR CP-642 COLLAR, CP-618 PUTTY STICK, OR FS-635 TROWEL ABLE COMPOUND, AS SUITABLE.

3. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF PRODUCTS SPECIFIED OR EQUAL.

4. FIRE STOP MATERIALS OTHER THAN HILTI SHALL INCLUDE FULL TECHNICAL DATA WITH SHOP DRAWINGS TO DEMONSTRATE EQUALITY WITH THE SPECIFIED FIRE STOPS AND STATEMENT FROM MANUFACTURER THAT THEY MEET OR EXCEED THE PRODUCTS SPECIFIED HERE.

5. ALL SYSTEMS SHALL HAVE THEIR OWN SLEEVE THROUGH FIRE RATED WALLS. IE FIRE ALARM, PUBLIC ADDRESS, TELEPHONE, DATA, POWER AND LIGHTING.

FIRE ALARM SYSTEM LEGEND

SYMBOL	DEVICE DESCRIPTION
FACP	NEW INTELLIGENT ADDRESSABLE FIRE ALARM CONTROL PANEL W/ VOICE EVACUATION AND AUDIBLE NOTIFICATION. PROVIDE FRAMED BLDG GRAPHIC MAP WITHIN SIGHT OF PANEL
RAP	NEW REMOTE ANNUNCIATOR PANEL OR EQUAL. E.C. TO PROVIDE FRAMED BLDG GRAPHIC MAP WITHIN SIGHT
FSD	FIRE ALARM SHUT DOWN
S	NEW SMOKE DETECTOR W/ BASE
C OR CO	NEW CARBON MONOXIDE DETECTOR WITH SOUNDER BASE. CONNECT TO ASSOCIATED UNIT WITH SOUNDER BASE FOR SIMULTANEOUS LOCAL ALARM.
	NEW CARBON MONOXIDE SYSTEM AMBER COLOR VISUAL NOTIFICATION DEVICE.
P	NEW MANUAL PULL STATION. PROVIDE WITH NON-ALARMED STI STOPPER II LIFT COVER (OR SIMILAR)
	NEW DUCT TYPE SMOKE DETECTOR W/ HOUSING AND REMOTE LED INDICATOR
	NEW SPEAKER NOTIFICATION DEVICE - WALL MOUNT.
	NEW SPEAKER/STROBE NOTIFICATION DEVICE - WALL MOUNT.
	NEW SPEAKER NOTIFICATION DEVICE - CEILING MOUNT.
	NEW SPEAKER/STROBE NOTIFICATION DEVICE - CEILING MOUNT.
	NEW STROBE NOTIFICATION DEVICE. WALL MOUNTED.
	NEW STROBE NOTIFICATION DEVICE. CEILING MOUNTED.
	NEW HORNSTROBE NOTIFICATION DEVICE
M	NEW 24V ELECTROMAGNETIC DOOR HOLDER - GC FURNISH & MOUNT. EC TO WIRE. REFER TO FIRE ALARM DEVICE NOTES ON E5.01 FOR ADDITIONAL INFORMATION
	EXISTING FIRE ALARM BELL TO BE REMOVED. INSTALL BLANK COVER PLATE.
	NEW FIRE ALARM RELAY
	EXISTING BATTERY OPERATED CO DETECTOR TO REMAIN UNLESS OTHERWISE NOTED
AHU R	NEW AIR HANDLING UNIT. REFER TO MECHANICAL DWG. FOR ADDITIONAL INFORMATION ANNOTATION 'R' - UNIT TO HAVE RELAY SHUTDOWN. REQUIRED ON ALL FANS OVER 1000 CFM
WS	WATERFLOW SWITCH FOR NEW SPRINKLER SYSTEM (BY FIRE SPRINKLER CONTRACTOR)
TS	TAMPER SWITCH FOR NEW SPRINKLER SYSTEM (BY FIRE SPRINKLER CONTRACTOR)
ANSUL	EXISTING ANSUL SYSTEM TO REMAIN.
RC	FIRE ALARM - BEAM DETECTOR RECEIVER
SP	FIRE ALARM - BEAM DETECTOR TRANSMITTER
S.W.G.	STEEL WIRE GUARD.
W.P.	WEATHER PROOF.
W.M.	WALL MOUNT.
E, EX	EXISTING TO REMAIN
AOR	AREA OF RESCUE
AOR-PS	AREA OF RESCUE POWER SUPPLY
AOR-MCP	AREA OF RESCUE MAIN CONTROL PANEL

BASE BID IS GAMEWELL FCI-E3 SYSTEM WITH VOICE EVACUATION.
REFER TO SPECIFICATIONS AND TO NOTES ON DWG. E5.01 FOR PART NUMBERS AND ADDITONAL INFORMATION

MISCELLANEOUS

SYMBOL	DESCRIPTION
S	CEILING MOUNTED PUBLIC ADDRESS SPEAKER.
S	WALL MOUNTED PUBLIC ADDRESS SPEAKER
	HORN LOUDSPEAKER SUBSCRIPT 'WP' INDICATES OUTDOOR WEATHERPROOF HORN SPEAKER
VC	WALL MOUNTED VOLUME CONTROL FOR LOCAL PUBLIC ADDRESS SPEAKER
	WIRELESS CLOCK

ITEMS IN ABOVE LEGENDS MARKED WITH SUBSCRIPTS ON THE PLANS ARE DENOTED AS FOLLOWS:
(E) - EXISTING ITEM TO REMAIN
(RL) - EXISTING ITEM TO BE RE-INSTALLED AND RELOCATED
(RR) - REMOVE AND RE-INSTALL TO ACCOMMODATE NEW CONSTRUCTION
NO SUBSCRIPT - NEW ITEM TO BE FURNISHED AND INSTALLED

ELECTRICAL SYMBOL LEGEND

SYMBOL	DESCRIPTION
	SINGLE POLE CIRCUIT 2-#12, #12G, ["C UNLESS OTHERWISE NOTED
	TWO POLE CIRCUIT 3-#12, #12G, ["C UNLESS OTHERWISE NOTED
	THREE POLE CIRCUIT 4-#12, #12G, ["C UNLESS OTHERWISE NOTED
	SINGLE RECEPTACLE, NEMA 5-20R W/ STAINLESS STEEL FACEPLATE
	GROUND FAULT CIRCUIT INTERRUPTER 20A, 125V SINGLE RECEPTACLE, WITH STAINLESS STEEL FACEPLATE FOR KITCHEN EQUIPMENT.
M	DUPLEX RECEPTACLE, 125V, 20A W/ STAINLESS STEEL FACEPLATE. M DESIGNATES TEACHING MONITOR RECEPTACLE. COORDINATE EXACT MOUNTING HEIGHT WITH ARCHITECTURAL PLANS
	QUADRUPLEX RECEPTACLE - (2)-GANG DUPLEX RECEPTACLES PER ABOVE W/ STAINLESS STEEL FACEPLATE
W.P.	GROUND FAULT CIRCUIT INTERRUPTER 20A, 125V DUPLEX RECEPTACLE, WITH STAINLESS STEEL 302/304 FACEPLATE FOR MECHANICAL SPACES, BOILER ROOM, CORRIDORS, OUTDOORS, ETC. 'W.P.' ANNOTATION - IN RAINPROOF & IN-USE COVER
	GROUND FAULT CIRCUIT INTERRUPTER 20A, 125V QUADRUPLEX RECEPTACLE, 2 GANG WITH STAINLESS STEEL 302/304 FACEPLATE OR EQUAL
277, 1~	30A-TWISTLOCK RECEPTACLE, SPECIAL VOLTAGE & PHASE PER LABEL
	SINGLE, DUPLEX, QUADRUPLEX RECEPTACLE MOUNTED IN SERVICE PEDESTAL BOX, HUBBEL #SA6685 OR SA6687, SS13 OR SS23 BLANK PLATE IN REAR AND PLATE
	DUPLEX RECEPTACLE WITH USB PORTS, 125V, 20A WITH STAINLESS S
	STUB-UP CONDUIT FROM THE FLOOR
M	MOTOR, NO. INDICATES HORSEPOWER
	UNFUSED DISCONNECT SWITCH, SIZE PER PLAN
F	FUSED DISCONNECT SWITCH, SIZE AND FUSE PER PLAN
T	TRANSFORMER, VOLTAGE, PHASE, KVA PER PLAN
	PANEL BOARD, MOUNTING PER SCHEDULE
J J	JUNCTION BOX CLG MOUNT, WALL MOUNT
RPC1-1	PANEL 'RPC1' - POLE POSITION '1'
SC211-1	CONTACTOR 'SC211' - CONTACT '1'
	POWER ONLY DUPLEX FLOOR BOX CAST IRON WHEN INSTALLED IN CONC. SLAB. COVER COLOR AND TYPE AS APPROVED BY ARCHITECT
WAC	POWER ONLY DUPLEX RECEPTACLE MOUNTED ABOVE CEILING LOCATION FOR LIGHTING CONTROLLER
	POWER ONLY DUPLEX FLOOR BOX CAST IRON WHEN INSTALLED IN CONC. SLAB. COVER COLOR AND TYPE AS APPROVED BY ARCHITECT
WB	POWER/DATA COMBO BOX. REFER TO TECHNOLOGY DRAWINGS

S^a_{3K}	WALL SWITCH W/ STAINLESS STEEL FACEPLATE FACEPLATE
	LOWER CASE ALPHA SUPERSCRIPT - CONTROLS CORRESPONDINGLY LABELLED FIXTURES IN ROOM
	SUBSCRIPTS:
	(NONE) = SINGLE POLE 20A, HEAVY DUTY SPEC GRADE SWITCH,
	MCS= MASTER CONTROL SWITCH, ASCO 216B89, BY PLUMBING CONTRACTOR
	K = KEY SWITCH
	3 = 20A THREE WAY SWITCH
	4 = 20A FOUR WAY SWITCH
	D = WALLBOX SLIDE DIMMER COMPATIBLE W/ FIXTURE DIMMING BALLAST
	DIG# = DIGITAL SWITCH, # - INDICATES NUMBER OF BUTTONS
	VS/OS = DUAL TECH WALL SWITCH VACANCY OR OCCUPANCY SENSOR -
	M= MOMENTARY CONTACT SWITCH - MODEL # GMDS-W OR EQUAL
	WS = PRESET WALLSTATION

OS VS	CEILING MOUNTED OCCUPANCY (OS)/VACANCY(VS) SENSOR, LOW VOLTAGE, DUAL TECHNOLOGY, COMPLETE W/ POWER PACK(S) AS REQUIRED. EATON GREENGATE OAC-DT-2000-R OR EQUAL SUBSCRIPTS: VS - PROGRAM FOR MANUAL ON MODE OS - PROGRAM FOR AUTOMATIC ON MODE U - ULTRASONIC TECHNOLOGY ONLY
PS	DAYLIGHT SENSOR PHOTOCELL - COMPATIBLE W/ ROOM CONTROLS
RC	ROOM CONTROLLER, EATON SERIES OR EQUAL. MOUNT ABOVE CLG UNLESS OTHERWISE NOTED.
SP	SWITCHPACK MOUNT ABOVE CLG UNLESS OTHERWISE NOTED
PW	POWERPACK MOUNT ABOVE CLG UNLESS OTHERWISE NOTED
WSP	WIRELESS RELAY SWITCHPACK, MOUNT ABOVE CEILING. 0-10V DIMMING, 20A LOAD, 120/277V
WAC	WIRELESS WAVELINX CONTROLLER OR APPROVED EQUAL.
LPA-1-G-a	FOR LIGHTING FIXTURES - INDICATES PANELBOARD 'LPA', POLE POSITION '1', FIXTURE TYPE 'G' CONTROLLED BY SWITCH 'a' ' 'EX' CIRCUIT DESIGNATION INDICATES CONNECTION TO EXISTING ROOM LIGHTING CIRCUIT -INCLUDES ANY NECESSARY WIRING EXTENSIONS. 'NL' NIGHT LIGHT DESIGNATION INDICATED FIXTURES TO BE UNSWITCHED AND CIRCUITED AHEAD OF ALL SWITCHING DEVICES.
G R	EMERGENCY SHUT-OFF MUSHROOM TYPE PUSH BUTTON 'G'-GAS SHUTOFF. PC TO FURNISH EC TO WIRE, REFER TO PLUMBING DRAWINGS 'W'- WATER SHUTOFF. PC TO FURNISH EC TO WIRE, REFER TO PLUMBING DRAWINGS 'E'-ELECTRICAL SHUTOFF 'H'- MOTORIZED HOIST SHUTOFF SUBSCRIPT 'R'- INCLUDES KEY RESET
EPO	EMERGENCY POWER OFF BUTTON
	RETRACTABLE INDUSTRIAL CORD REEL, 20A, 125V, 25' CORD LENGTH, DOUBLE GFI RECEPTACLE END. SEE ALSO MOUNTING DETAIL ON DWG. E0.02
	DATA & POWER SURFACE RACEWAY DROP - NUMBER OF TRIANGLES INDICATES NUMBER OF DATA DROPS - PROVIDE (2) DUPLEX RECEPTACLES PER DATA DROP. SEE ALSO TECH. PLANS.
	ELECTRONIC SMARTBOARD - REFER TO TECH. DRAWINGS FOR DETAILS
FB	NEW POWER & DATA FLOOR BOX, CAST IRON WHEN INSTALLED IN CONC. SLAB (2) DUPLEX RECEPTACLES PER DATA JACK ( ) SEE E9.XX, E10.XX FOR DETAILS
	EXISTING PROJECTOR TO BE REMOVED AND RE-INSTALLED UPON CONSTRUCTION COMPLETION
FSD	FIRE/SMOKE DAMPER - FURNISHED AND INSTALLED BY MC. EC TO WIRE. SEE MECH DRAWINGS FOR EXACT LOCATIONS.
RWB	DATA & POWER RECESSED WALL BOX - NUMBER OF TRIANGLES INDICATES NUMBER OF DATA DROPS. SEE ALSO TECH. PLANS.
PT	DATA & POWER FLOOR MOUNTED POKE THROUGH. SEE TECH PLANS FOR ADDITIONAL INFO.
G	GAS SYSTEM TEACHER EMERGENCY SHUT AND KEY RESET PC TO FURNISH, EC TO WIRE AND INSTALL - REFER TO PLUMBING DRAWINGS FOR LOCATIONS AND ADDITIONAL INFORMATION

SIMILAR SYMBOLS USED ON DEMO PLANS. ALL ITEMS SHOWN ON DEMO PLAN TO BE REMOVED ENTIRELY UNLESS OTHERWISE NOTED.

SOUND SYTEM

SYMBOL	DESCRIPTION
ER	FLOOR/WALL RACK
S#	SPEAKERS
S	MONITOR SPEAKER OUTPUT JACK PLATE
ANT	ANTENNA
A	AUDIO INPUT JACK PLATE
AV	HDBASET TRANSMITTER JACK PLATE - HOUSE CENTER STAGE APRON 2 GANG BOX
M	MICROPHONE INPUT JACK PLATE
X	DIGITAL MIXER JACK PLATE F.O.H. MIX BOOTH
VC	REMOTE CONTROL JACK PLATE
SW	SUBWOOFERS
FB	FOLDBACK (STAGE MONITOR) LOUDSPEAKERS
P	12K LASER PROJECTOR
LA	COLUMN/LINE ARRAY LOUDSPEAKERS
CF	CENTER FILL LOUDSPEAKER
CS	CEILING SPEAKERS

REV.	DATE	ITEM

PROJECT: BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
ADMINISTRATION BUILDING
TOWN OF BEDFORD / WESTCHESTER COUNTY

DWG TITLE: GENERAL NOTES, SYMBOLS AND ABBREVIATIONS

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SCALE:	AS NOTED
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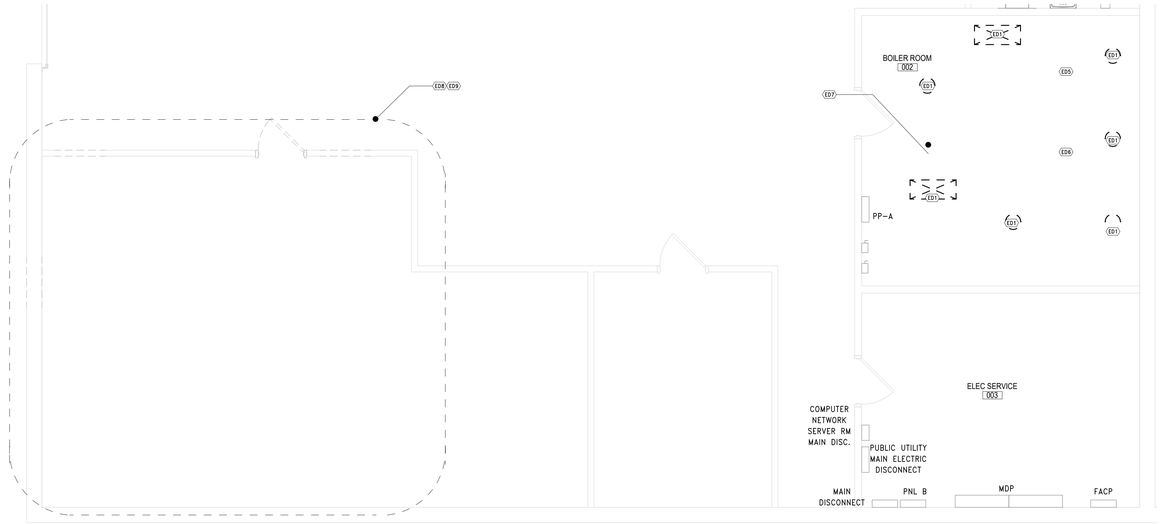
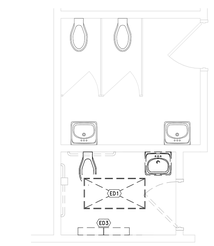
E0.01



3 PARTIAL BASEMENT PLAN - DEMOLITION

SCALE: 1/4" = 1'-0"



4 PARTIAL FIRST FLOOR PLAN - TOILET DEMO

SCALE: 1/4" = 1'-0"

KEY NOTES

E1	CONNECT PROPOSED FIXTURES TO EXISTING POWER BRANCH CIRCUIT AND ASSOCIATED CONTROLS. EXTEND EXISTING CONDUIT AND WIRING AS NECESSARY MATCHING EXISTING SIZE(S) AND TYPE(S).
E2	RELOCATE POWER PANELS TO PROPOSED LOCATION. PROVIDE SPLICE BOX SIZED PER NEC REQUIREMENTS AND EXTEND MAIN POWER FEEDERS AND BRANCH CIRCUIT CONDUIT AND WIRING MATCHING EXISTING SIZE(S) AND TYPE(S).
E4	UNDER ALTERNATE #E-1: RE-USE BRANCH CIRCUIT PREVIOUSLY CONNECTED TO REMOVED BOILER #1 AND CONNECT NEW BOILER #2.
E5	BASE BID: RE-USE BRANCH CIRCUIT PREVIOUSLY CONNECTED TO REMOVED BOILER #2 AND CONNECT NEW BOILER #1.
E6	UTILIZE SPACE IN MAIN DISCONNECT PANEL AND PROVIDE 208/120V, 100A-3P CIRCUIT BREAKER FOR PROPOSED PANEL BP-1. FEEDERS TO PANEL SHALL BE (3)#1, #6G. IN 1-1/2" EMT CONDUIT.
E7	PROVIDE 208/120V, 3PH, 4-WIRE, 100A-3P 24-POLE SURFACE MOUNTED PANELBOARD.
E8	CONNECT PROPOSED FIXTURES TO EXISTING POWER BRANCH CIRCUIT. EXTEND EXISTING CONDUIT AND WIRING AS NECESSARY MATCHING EXISTING SIZE(S) AND TYPE(S).
ED1	DISCONNECT AND REMOVE LIGHTING FIXTURES. MAINTAIN ALL ASSOCIATED CONTROLS AND BRANCH CIRCUIT FOR RE-USE WITH NEW LIGHTING FIXTURES IN THIS SPACE. REFER TO NEW WORK PLAN.
ED3	DE-ENERGIZE, DISCONNECT, REMOVE AND POWER PANEL. PULL BACK AND REMOVE MAIN PANEL FEEDERS BACK TO SOURCE PANEL LOCATION. MAINTAIN BRANCH CIRCUIT WIRING FOR EXISTING TO REMAIN DEVICES CONNECTED TO PANEL. CONTRACTOR SHALL FIELD VERIFY WHICH CIRCUITS ARE TO REMAIN OPERATIONAL.
ED5	UNDER ALTERNATE #E-1: DE-ENERGIZE AND DISCONNECT BOILER #2 TO BE REMOVED (BY OTHERS). MAINTAIN DISCONNECTING MEANS AND ALL ASSOCIATED BRANCH CIRCUIT CONDUIT AND WIRING.
ED6	BASE BID: DE-ENERGIZE AND DISCONNECT BOILER #1 TO BE REMOVED (BY OTHERS). MAINTAIN DISCONNECTING MEANS AND ALL ASSOCIATED BRANCH CIRCUIT CONDUIT AND WIRING.
ED7	REMOVE ALL RECEPTACLES IN BOILER ROOM SPACE. FIELD VERIFY EXACT RECEPTACLE LOCATIONS. PULL BACK AND REMOVE ASSOCIATED BRANCH CIRCUIT CONDUIT AND WIRING.
ED8	DISCONNECT AND REMOVE ALL LIGHTING AND ASSOCIATED CONTROLS WITHIN INDICATED AREA. MAINTAIN BRANCH CIRCUIT POWER WIRING FOR RE-USE.
ED9	DISCONNECT AND REMOVE ALL ELECTRICAL DEVICES (RECEPTACLES, DISCONNECTS, HARDWIRED CONNECTIONS) WITHIN INDICATED AREA. PULL BACK AND REMOVE ASSOCIATED BRANCH CIRCUIT CONDUIT AND WIRING.

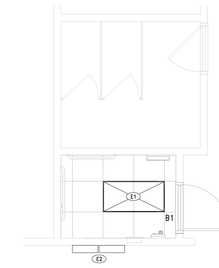
SHEET NOTES

A. ALL DEVICES SHOWN AS DASHED LINES ARE TO BE DEMOLISHED. REMOVE ASSOCIATED BRANCH CIRCUIT CONDUIT AND WIRING BACK TO NEAREST ACTIVE SOURCE.

B. ALL DEVICES SHOWN AS GREY/HALFTONED LINES ARE TO REMAIN UNDISTURBED. COORDINATE ALL DEMOLITION WORK AROUND THESE DEVICES. IF NECESSARY TO REMOVE OR RECIRCUIT DEVICES, TO ALLOW FOR ARCHITECTURAL OR MECHANICAL WORK, DEVICES SHALL BE REINSTALLED AND RECONNECTED.

C. ALL TELEPHONE VOIP CABLING SHALL BE ROUTED TO NEAREST MDF PANEL. REFER TO TECHNOLOGY DETAILS AND NOTES ON E6.01.

D. ALL PROPOSED BREAKERS SHALL MATCH PANEL TYPE AND AIC RATING.

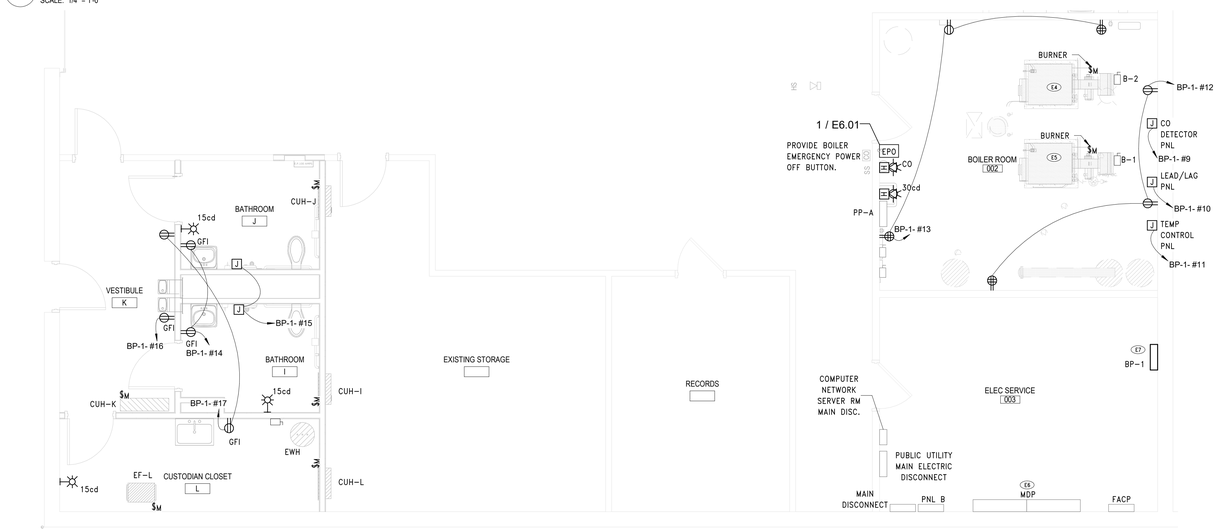


5 FIRST FLOOR

SCALE: 1/4" = 1'-0"

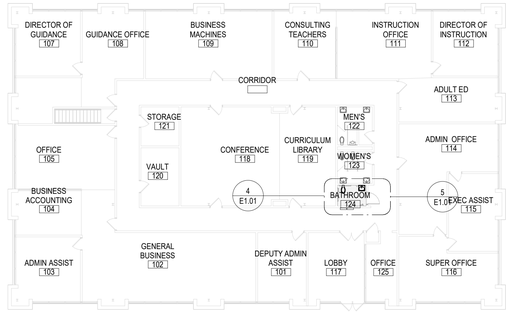
2 BASEMENT PLAN - PROPOSED LIGHTING

SCALE: 1/4" = 1'-0"



1 PROPOSED POWER - LOWER LEVEL

SCALE: 1/4" = 1'-0"



OVERALL FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"

OVERALL BASEMENT PLAN

SCALE: 1/16" = 1'-0"

REV.	DATE	ITEM

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
ADMINISTRATION BUILDING
TOWN OF BEDFORD / WESTCHESTER COUNTY

PROJECT

PROPOSED FIRST FL PLAN

DWG TITLE

DRAWING BY: EEA

CHECKED BY: EEA

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SED No.	66-01-02-06-0-008-014
DISTRICT	BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT	PHASE 2 - BOND IMPROVEMENTS ADMINISTRATION BUILDING
DWG TITLE	PROPOSED FIRST FL PLAN
SCALE:	AS NOTED
DATE:	FEBRUARY 24, 2025
BID PICK UP:	FEBRUARY 24, 2025
FILE No.	23-131C ADMIN.

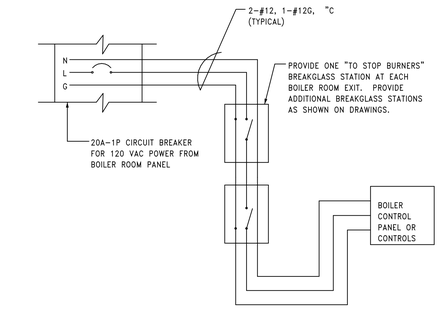
E1.01

LIGHTING FIXTURE SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	WATTAGE / CCT / LAMP / CRI	VOLTAGE	REMARKS
A1-EM	LED LINEAR BAY LIGHTING FIXTURE WITH EM BATTERY PACK, 14,000 LUMENS PACKAGE, DLC LISTING AND FROSTED ACRYLIC LENS	COOPER METALUX	4ILED-LD5-14-W-FL-UNV-L835-EL14W	98W/3500/LED/85+	UNV	
A2	2'X2' LED TROFFER WITH DLC LISTING AND 4300 LUMENS PACKAGE	COOPER METALUX	22EN-LD2-43-UNV-L835-CD1-U	38W/3500/LED/85+	UNV	
A2-EM	SAME AS A2 WITH EMERGENCY OPTION	COOPER METALUX	22EN-LD2-43-UNV-EL7W-L835-CD1-U	38W/3500/LED/85+	UNV	
B1	2'X4' LED TROFFER WITH EM BATTERY PACK, DLC LISTING AND 5400 LUMENS PACKAGE	COOPER METALUX	24EN-LD2-54-UNV-EL7W-L835-CD1-U	43W/3500/LED/85+	UNV	
C1	6" DOWNLIGHT	COOPER HALO	PR6-FS24-D010	39W/3500/LED/85+	UNV	

Electrical Equipment Schedule

TAG	DESCRIPTION	VOLTAGE	PHASE	AMPS - (FLA/MCA)	POWER PANEL	CIRCUIT NUMBER	BREAKER RATING	WIRE	PROVIDE DISCONNECT	DISCONNECT	Notes
B-1	BOILER	208 V	3	7.8 FLA	BP-1	3,5,7	20A-3P	(3)#12, #12G. IN 3/4" C.	Yes	30A NEMA 1	
B-1 BURNER	BURNER	120 V	1	10 FLA	BP-1	1	20A-1P	(2)#12, #12G. IN 3/4" C.	Yes	MOTOR RATED TOGGLE SWITCH	
B-2 (ADD ALTERNATE)	BOILER	208 V	3	7.8 FLA	BP-1	4,6,8	20A-3P	(3)#12, #12G. IN 3/4" C.	Yes	30A NEMA 1	
B-2 BURNER (ADD ALTERNATE)	BURNER	120 V	1	10 FLA	BP-1	2	20A-1P	(2)#12, #12G. IN 3/4" C.	Yes	MOTOR RATED TOGGLE SWITCH	
CUH-I	CABINET UNIT HEATER	208 V	1	9.6 FLA	BP-1	19,21	20A-2P	(2)#12, #12G. IN 3/4" C.	Yes	MOTOR RATED TOGGLE SWITCH	
CUH-J	CABINET UNIT HEATER	208 V	1	9.6 FLA	BP-1	18,20	20A-2P	(2)#12, #12G. IN 3/4" C.	Yes	MOTOR RATED TOGGLE SWITCH	
CUH-K	CABINET UNIT HEATER	208 V	1	14.4 FLA	BP-1	26,28	25A-2P	(2)#10, #10G. IN 3/4" C.	Yes	MOTOR RATED TOGGLE SWITCH	
CUH-L	CABINET UNIT HEATER	208 V	1	9.6 FLA	BP-1	22,24	20A-2P	(2)#12, #12G. IN 3/4" C.	Yes	MOTOR RATED TOGGLE SWITCH	
EF-L	EXHAUST FAN	120 V	1	1 FLA	BP-1	29	15A-1P	(2)#12, #12G. IN 3/4" C.	Yes	MOTOR RATED TOGGLE SWITCH	
EWH	ELECTRIC WATER HEATER	208 V	3	16.7 FLA	BP-1	23,25,27	25A-3P	(3)#10, #10G. IN 3/4" C.	Yes	30A NEMA 1	



1 BOILER EPO
SCALE: NTS

Branch Panel: BP-1

Location: ELEC SERVICE 003 **Volts:** 120/208 Wye **A.I.C. Rating:**
Supply From: **Phases:** 3 **Mains Type:** MCB
Mounting: SURFACE **Wires:** 4 **Mains Rating:** 100 A

CKT	Circuit Description	Trip	Poles	A		B		C		Poles	Trip	Circuit Description	CKT
1	B-1 BURNER (SHUNT TRIP CB)	20 A	1	1200 VA	1200 VA					1	20 A	B-2 BURNER (SHUNT TRIP CB)	2
3	B-1	20 A	3			941.9 VA	941.9 VA			3	20 A	B-2	4
5	--	--	--					941.9 VA	941.9 VA	--	--	--	6
7	--	--	--	941.9 VA	941.9 VA					--	--	--	8
9	CO DETECTOR PNL	20 A	1			900 VA	900 VA			1	20 A	LEAD/LAG PNL	10
11	TEMP CONTROL	20 A	1					900 VA	720 VA	1	20 A	CONVINIENCE RECEPT	12
13	CONVINIENCE RECEPT	20 A	1	900 VA	360 VA					1	20 A	RECEPT - TOILET RM BASEMENT	14
15	HAND DRYERS	20 A	1			1800 VA	180 VA			1	20 A	WATER COOLER	16
17	GEN RECEPT	20 A	1					360 VA	1000 VA	2	20 A	CUH-J	18
19	CUH-I	20 A	2	1000 VA	1000 VA					--	--	--	20
21	--	--	--			1000 VA	1000 VA			2	20 A	CUH-L	22
23	EWH	25 A	3					2000 VA	1000 VA	--	--	--	24
25	--	--	--	2000 VA	1500 VA					2	25 A	CUH-K	26
27	--	--	--			2000 VA	1500 VA			--	--	--	28
29	EF-L	15 A	1					1200 VA					30
31													32
33													34
35													36
37													38
39													40
41													42
			Total Load:	11044 VA		11164 VA		9064 VA					
			Total Amps:	95 A		96 A		76 A					

Load Classification	Connected Load	Demand Factor	Estimated Demand	Panel Totals	
Equipment	4500 VA	100.00%	4500 VA		
Motor	12600 VA	100.00%	12600 VA	**Total Conn. Load:**	31271 VA
Receptacle	2520 VA	100.00%	2520 VA	**Total Est. Demand:**	31271 VA
Power	11651 VA	100.00%	11651 VA	**Total Conn. Current:**	87 A
				Total Est. Demand Current:	87 A

Notes:

Branch Panel: PNL B

Location: ELEC SERVICE 003 **Volts:** 120/208 Wye **A.I.C. Rating:**
Supply From: **Phases:** 3 **Mains Type:** MCB
Mounting: SURFACE **Wires:** 4 **Mains Rating:** 100 A

CKT	Circuit Description	Trip	Poles	A		B		C		Poles	Trip	Circuit Description	CKT
1	Spare	100 A	3	0 VA	900 VA					1	20 A	SECRETARY AND MEETING RECEPT	2
3	--	--	--			0 VA	1080 VA			1	20 A	OFFICE D RECEPT	4
5	--	--	--					0 VA					6
7					1080 VA					1	20 A	OFFICE C RECEPT	8
9													10
11													12
13	Spare	20 A	3	0 VA	0 VA					3	200 A	Spare	14
15	--	--	--			0 VA	0 VA			--	--	--	16
17	--	--	--					0 VA	0 VA	--	--	--	18
			Total Load:	1980 VA		1080 VA		0 VA					
			Total Amps:	18 A		10 A		0 A					

Notes:

REV.	DATE	ITEM

NOTICE

THESE DRAWINGS ARE BASED ON CONSTRUCTION DRAWINGS NOT PREPARED BY BBS ARCHITECTS, LANDSCAPE ARCHITECTS AND ENGINEERS, PC AND, THEREFORE, MAY NOT REPRESENT THE CONDITIONS AS CONSTRUCTED AT THE TIME. ALL EXISTING CONDITIONS SHOWN ARE REPRESENTED AS SUGGESTIVE INFORMATION AS THEY MAY NOT HAVE BEEN BUILT AND DETAILED PER THE ORIGINAL DOCUMENTS OR PER THE OWNER'S INFORMATION.

PROJECT: BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
ADMINISTRATION BUILDING
TOWN OF BEDFORD / WESTCHESTER COUNTY

DWG TITLE: SCHEDULES

DRAWING BY: Designer
CHECKED BY: Approver

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ARCHITECTS
LANDSCAPE ARCHITECTS
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