

- INDICATES SPOT ELEVATION
- TOP CURB
- BOTTOM CURB
- TOP WALL
- BOTTOM WALL
- TOP OF BANK
- BOTTOM OF BANK
- S.F.W. FINISHED FLOOR
- S.W.W. STONE MASONRY RETAINING WALL
- C.B.W. CONC. BLOCK RETAINING WALL
- C.R.W. CONC. RETAINING WALL
- LEADER DRAIN
- 2" x 4" STORM DRAIN
- CATCH BASIN (TYP.)
- 4" x 4" STORM DRAIN
- 2" x 2" DRAIN INLET
- 1" x 1" DRAIN INLET
- DROP CURB
- IRRIGATION CONTROL BOX
- IRRIGATION CONTROL VALVE
- FIRE HYDRANT
- WATER SHUT OFF VALVE
- MANHOLE (COMMUNICATIONS)
- STORM DRAIN
- MANHOLE (DRAINAGE)
- MANHOLE (ELEC. CON. ED)
- MANHOLE (TYPE UNKNOWN)
- MANHOLE (SEWER)
- SEWER CLEANOUT
- MANHOLE (WATER)
- FLUWING BELLWELL
- MONITORING WELL
- UTILITY POLE
- UTILITY POLE W/ GUY WIRE
- LIGHT POLE
- LIGHT FIXTURE
- GAS VALVE
- ELECTRICAL OUTLET
- CHAIN LINK FENCE
- TRUSS SCISSOR
- PORTABLE TOILET (RESTROOM)
- TRASH DUMPSTER
- DECIDUOUS TREE
- EVERGREEN TREE
- EDGE OF WOODED AREA / BRUSH
- HANDICAP SPACE

Abbreviations & Symbols

1

| No. | Revision/Issue | Date |
|-----|----------------|------|
| 1 | | |

North Direction

Firm Name and Address

Link
Land Surveyors P.C.
21 CORTLAND ST., SUITE 100
MAYWOOD, N.J. 07066
Phone: 945-428-5857
Fax: 945-428-1003

BRUCE J. LINK
NEW YORK STATE LICENSED
LAND SURVEYOR 056042

UNDERGROUND UTILITIES MARK-OUT BY
ENVIROPROBE SERVICES, INC.
81 Marler Avenue, Laurel, N.J.
(609) 658-6504 (800) 567-7472

ENVIROPROBE
SERVICE
INCORPORATED

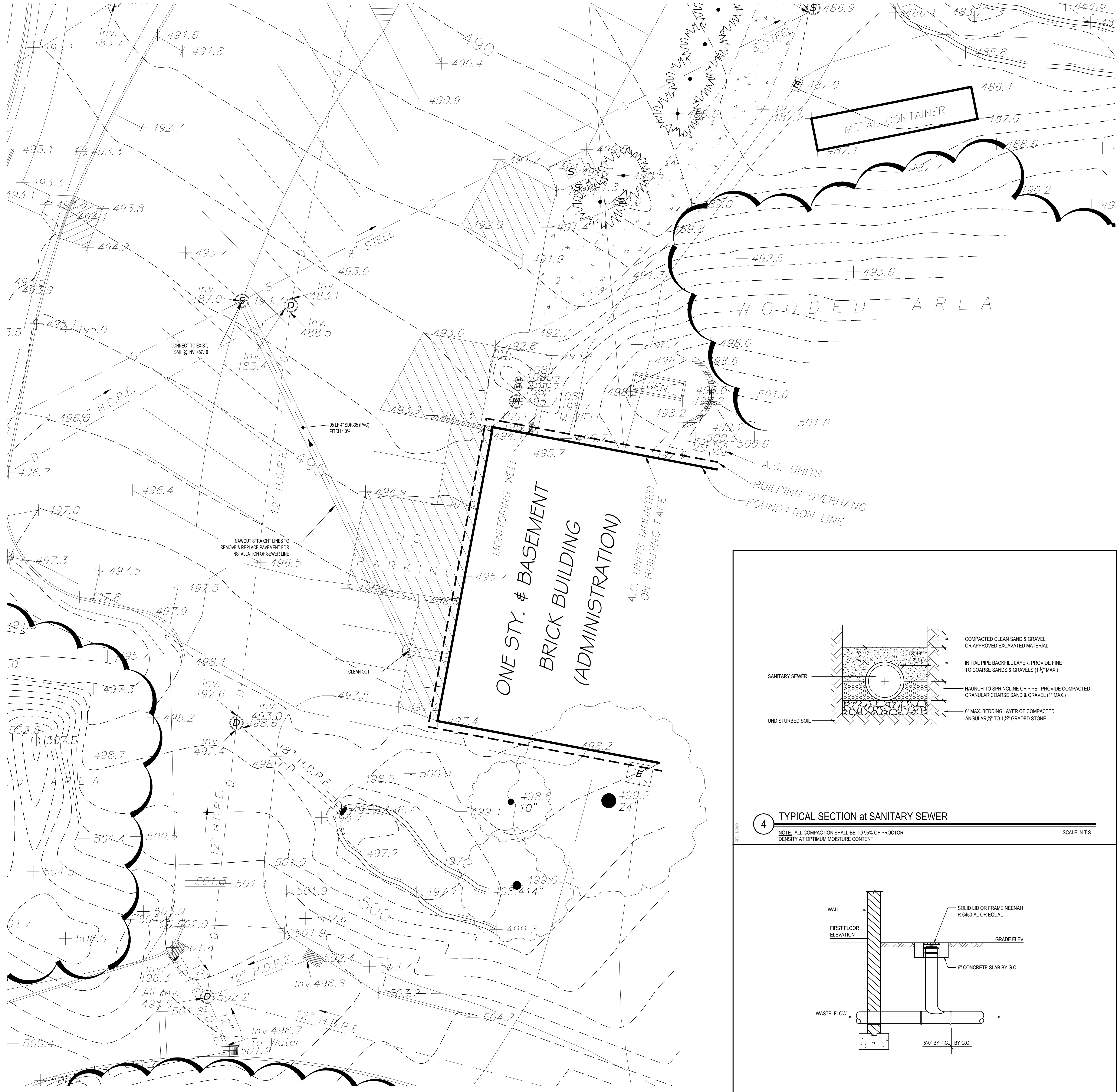
FOX LANE HIGH SCHOOL
&
FOX LANE MIDDLE SCHOOL

632 South Bedford Rd., Bedford, NY 10506

| Project | Sheet |
|----------------|-------|
| RKL JOB # 9241 | 4 |

Date: JUNE 21, 2023

Scale: 1inch = 80 feet



SITE SEWER PLAN

SCALE: 1" = 10'-0"

GENERAL NOTES

- ALL PAVED SURFACES SHALL PITCH 1% MIN. IN THE DIRECTION OF THE NEAREST DRAIN INLET OR THE DIRECTION AS SHOWN ON THE PLANS.
- ALL PAVED SURFACES ON AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM CROSS PITCH OF 2% UNLESS OTHERWISE NOTED. OUTSIDE OF ACCESSIBLE ROUTES THE PITCH SHALL NOT EXCEED 5%.
- INDICATED SPOT GRADES REPRESENT FINISHED GRADES UNLESS OTHERWISE NOTED.
- LANDSCAPED AREAS SHALL BE GRADED FLUSH WITH THE TOP OF CURBS AND PAVEMENTS TO MEET EXISTING GRADE EXCEPT WHERE OTHERWISE NOTED.
- CAUTION SHALL BE EXERCISED DURING GRADING OPERATIONS SO AS NOT TO RAISE OR LOWER GRADE IN THE VICINITY OF EXISTING TREES TO THE EXTENT THAT ROOTS ARE EXPOSED OR BURIED.
- ALL NEW PAVEMENT AREAS TO BE INSTALLED TO SMOOTH, EVEN GRADE. CORRECT LOW SPOTS AND GRADE DISCREPANCIES BY FILLING AND CUTTING AS REQUIRED.
- MEET EXISTING GRADES AT PROPERTY LINES AND LIMIT OF WORK LINES WHERE INDICATED.
- ALL EXISTING UTILITIES MAY NOT BE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES, CLEARLY MARK AND PROTECT DURING EXCAVATION.
- SEE DRAWING CS600 SERIES DRAWINGS FOR PAVING AND DRAINAGE DETAILS.
- DRAINAGE AND SANITARY PIPE LAYING LENGTHS ARE MEASURED TO THE CENTERLINE OF MANHOLES AND TO THE INSIDE FACE OF CATCH BASINS AND DRAIN INLETS.
- CONTRACTOR SHALL CLEAN EXISTING DRAINAGE STRUCTURES AND PIPES TO REMAIN OF ALL SILT AND DEBRIS AS SHOWN.

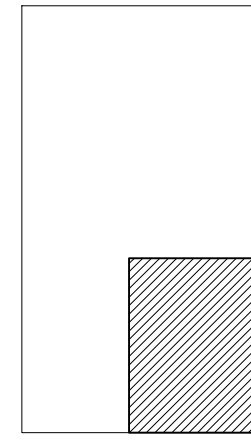
SYMBOL LEGEND

| SYMBOL | DESCRIPTION |
|--------|--|
| | PROPOSED TOPOGRAPHIC CONTOUR |
| | PAVEMENT PITCH DIRECTION |
| | GRADING LIMIT LINE (G.L.L.) |
| | PROPOSED SPOT ELEVATION |
| | EXISTING TOPOGRAPHIC CONTOUR |
| | EXISTING SPOT ELEVATION |
| | NEW ITEM DETAIL TAG - SEE CS600 SERIES |
| | EXISTING DRAINAGE STRUCTURE |

| REV. | DATE | ITEM |
|------|------|------|
| | | |
| | | |
| | | |

NOTICE

THESE DRAWINGS ARE BASED ON CONSTRUCTION DRAWINGS NOT PREPARED BY BBS ARCHITECTS, LANDSCAPE ARCHITECTS AND ENGINEERS, P.C. AND THEREFORE, MAY NOT REPRESENT THE CONDITIONS AS CONSTRUCTED AT THE TIME. ALL EXISTING CONDITIONS SHOWN ARE REPRESENTED AS SUGGESTIVE INFORMATION AS THEY MAY NOT HAVE BEEN BUILT AND DETAIL FOR THE ORIGINAL DOCUMENTS OR PER THE OWNER'S INFORMATION.



KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
ADMINISTRATION BUILDING

TOWN OF BEDFORD / WESTCHESTER COUNTY

SITE SEWER PLAN

PROJECT
DRAWING BY: CTC
CHECK BY: JP

NOTICE
THIS DRAWING, PREPARED FOR THE SPECIFIC PROJECT INDICATED IS AN INSTRUMENT OF SERVICE, AND THE PROPERTY OF BBS ARCHITECTS, LANDSCAPE ARCHITECTS AND ENGINEERS, P.C. IMPROVEMENT OR ANY USE OF THIS DRAWING FOR ANY OTHER PROJECT IS PROHIBITED. ANY ALTERATION OR REPRODUCTION OF THIS DOCUMENT IS ALSO PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT OR ENGINEER.

BBS
ARCHITECTS
LANDSCAPE ARCHITECTS
ENGINEERS

244 EAST MAIN STREET | 187 WOLF ROAD, STE. 205
PATCHOGUE | ALBANY
NEW YORK 11772 | NEW YORK 12205
T. 631.475.0349 | T. 518.621.7650
F. 631.475.0361 | F. 518.621.7655

www.BBSARCHITECTURE.com

SED No: 66-01-02-06-1-008-014
DISTRICT: BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT: PHASE 2 - BOND IMPROVEMENTS
DWG TITLE: SITE SEWER PLAN

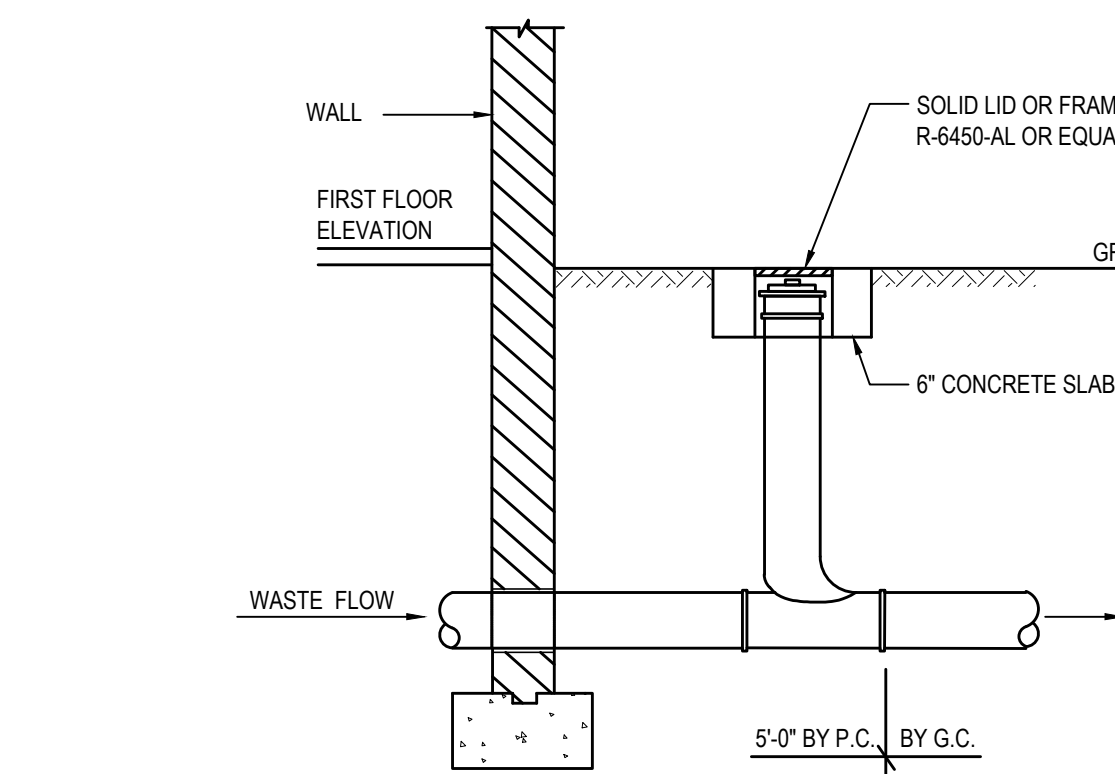
SCALE: AS NOTED
DATE: APRIL 2024
BID PICK-UP: FEBRUARY 24, 2025
FILE No: 23-131C ADMIN

CS4.01

4 TYPICAL SECTION at SANITARY SEWER

NOTE: ALL COMPACTION SHALL BE TO 95% OF PROCTOR DENSITY AT OPTIMUM MOISTURE CONTENT.

SCALE: N.T.S.

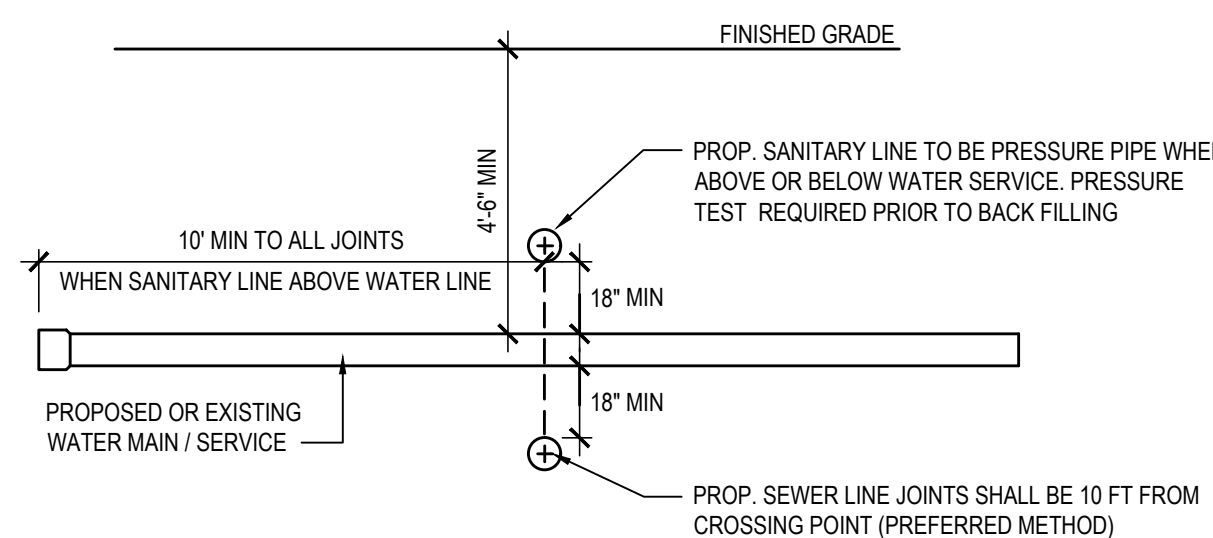


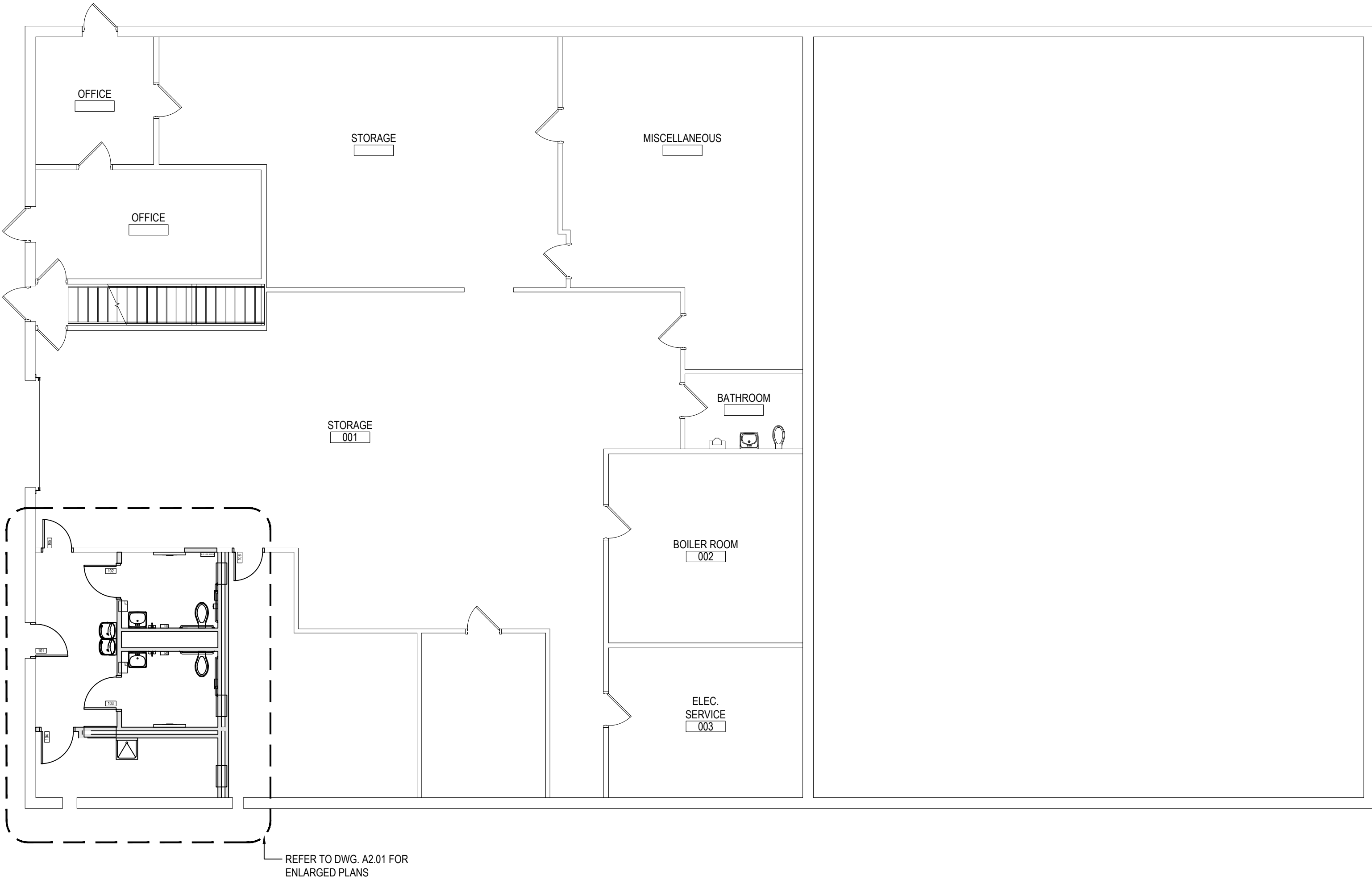
2 CLEANOUT DETAIL

SCALE: N.T.S.

3 SANITARY / WATER CROSSING DETAIL

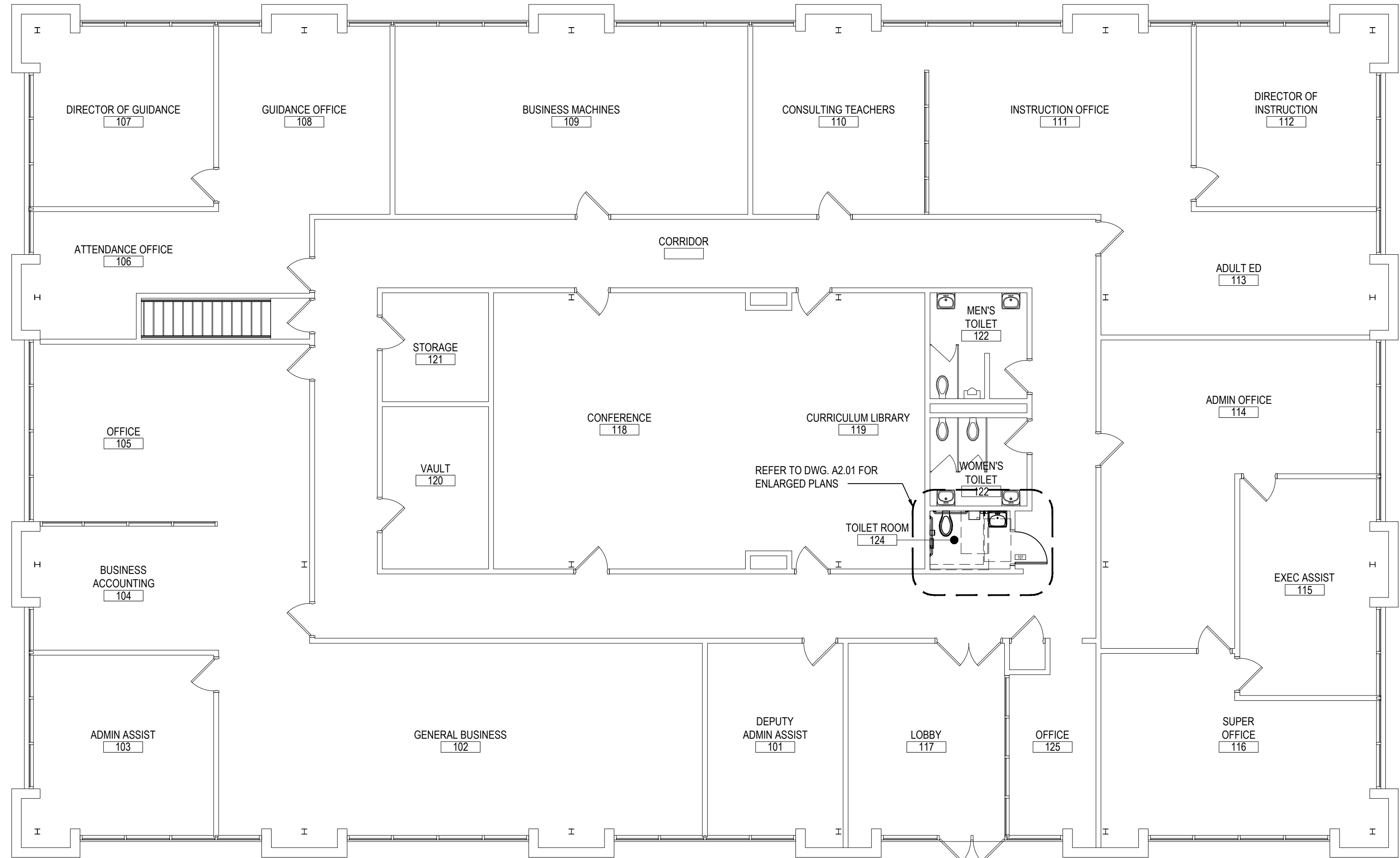
SCALE: N.T.S.





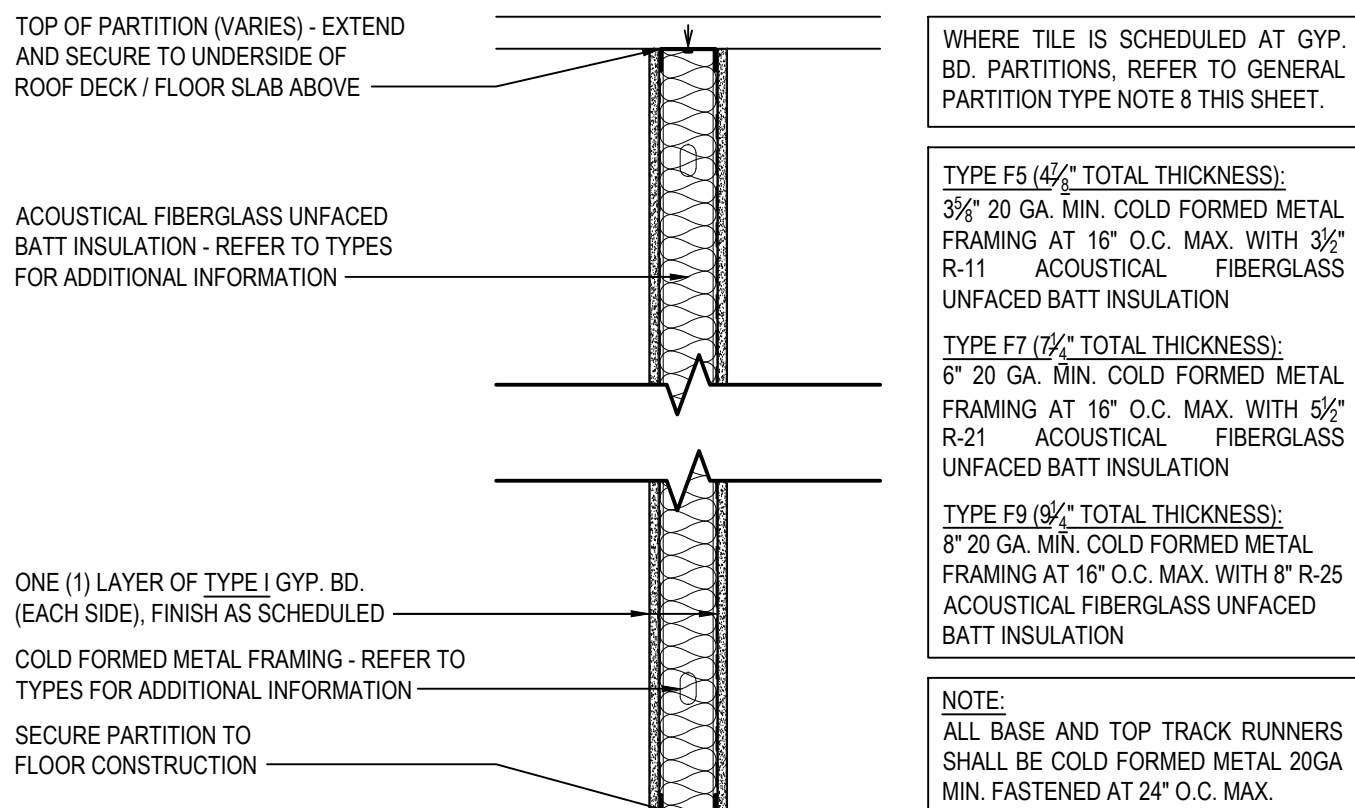
OVERALL BASEMENT FLOOR PLAN

SCALE: 1/8" = 1'-0"



OVERALL FIRST FLOOR PLAN

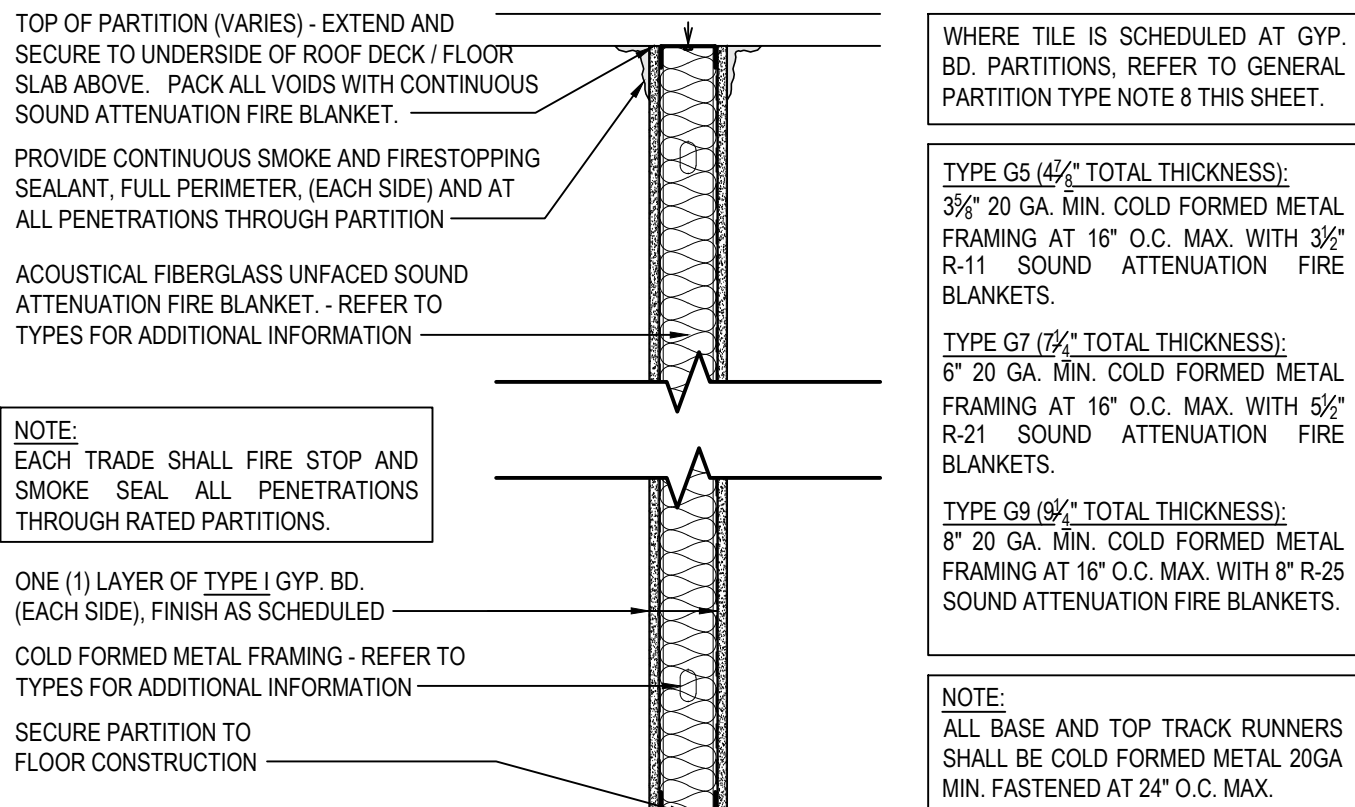
SCALE: 1/8" = 1'-0"



F5 5" NOM. GYP. BD. METAL STUD PARTITION
NON-RATED / NON-BEARING INTERIOR PARTITION

F7 7" NOM. GYP. BD. METAL STUD PARTITION
NON-RATED / NON-BEARING INTERIOR PARTITION, GRAPHIC SIMILAR AS SHOWN

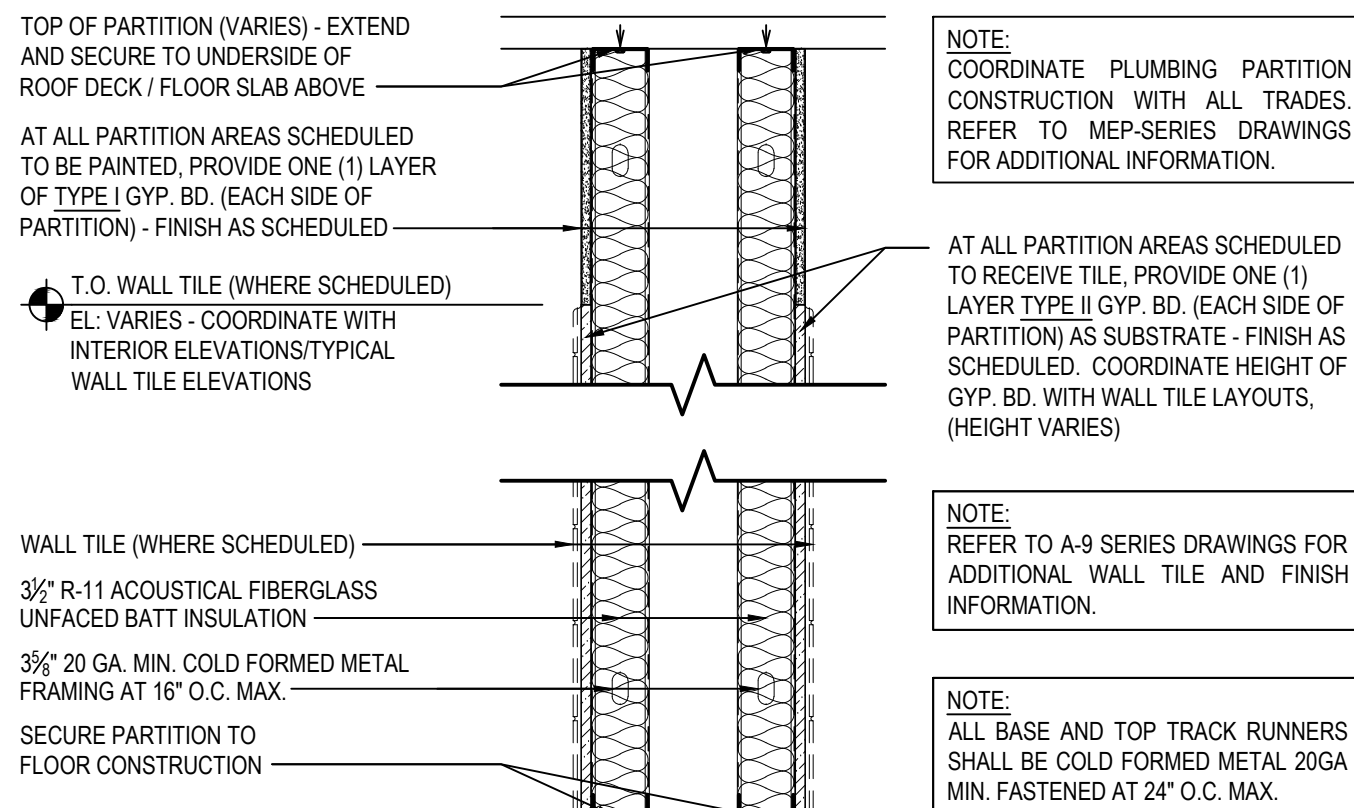
F9 9" NOM. GYP. BD. METAL STUD PARTITION
NON-RATED / NON-BEARING INTERIOR PARTITION, GRAPHIC SIMILAR AS SHOWN



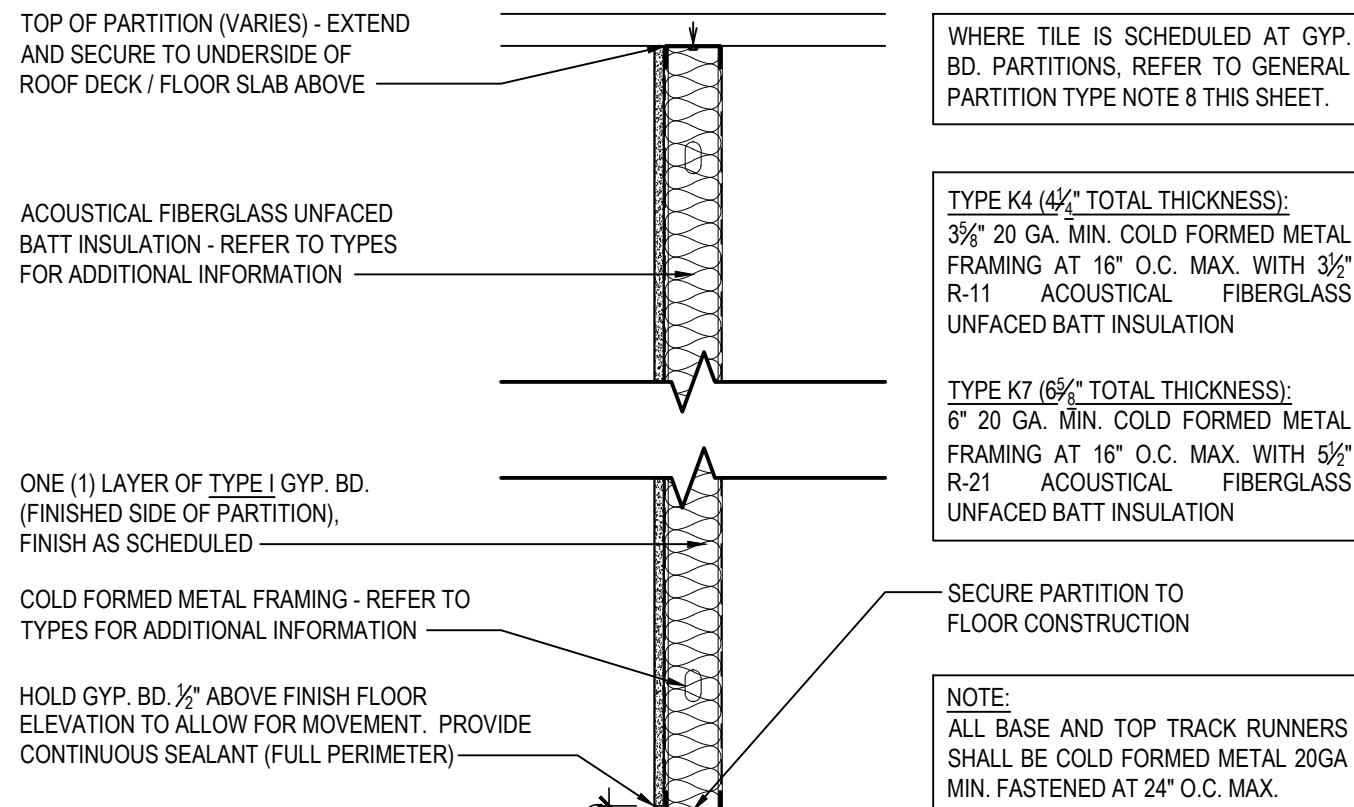
G5 5" NOM. GYP. BD. METAL STUD PARTITION (1-HR RATING)
UL U419 / STC 49, NON-BEARING INTERIOR PARTITION

G7 7" NOM. GYP. BD. METAL STUD PARTITION (1-HR RATING)
UL U419 / STC 49, NON-BEARING INTERIOR PARTITION, GRAPHIC SIMILAR AS SHOWN

G9 9" NOM. GYP. BD. METAL STUD PARTITION (1-HR RATING)
UL U419 / STC 49, NON-BEARING INTERIOR PARTITION, GRAPHIC SIMILAR AS SHOWN

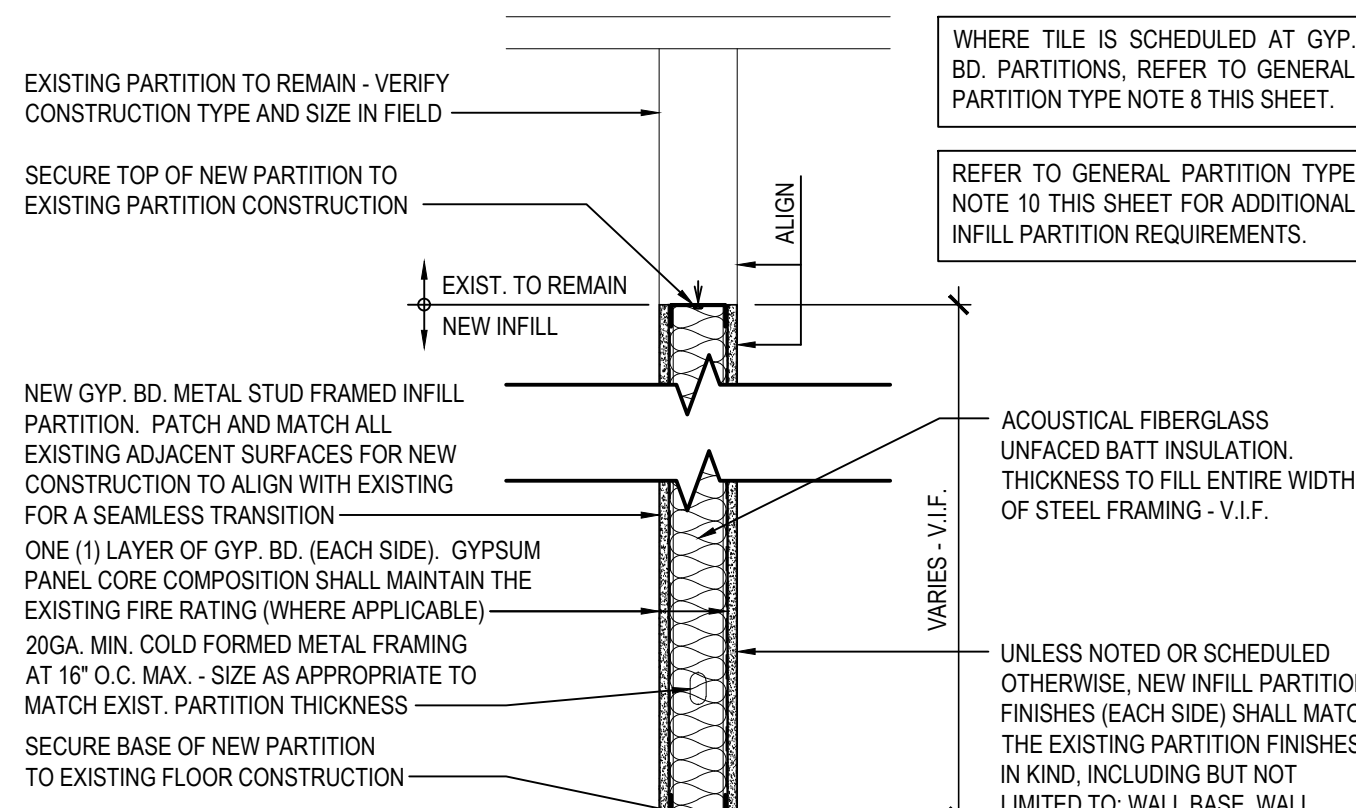


L GYP. BD. METAL STUD PLUMBING PARTITION
REFER TO ENLARGED TOILET ROOM PLANS FOR ADDITIONAL INFORMATION



K4 4" NOM. GYP. BD. METAL STUD PARTITION - SINGLE SIDED

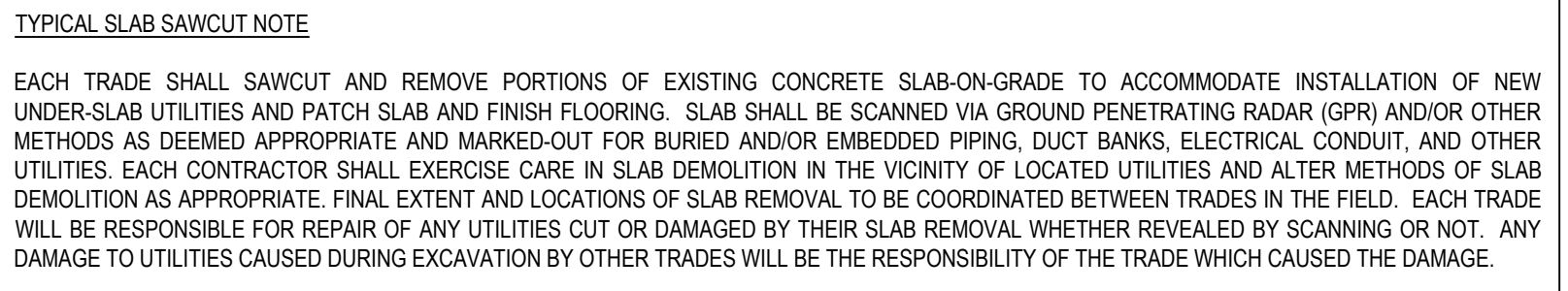
K7 7" NOM. GYP. BD. METAL STUD PARTITION - SINGLE SIDED



O GYP. BD. METAL STUD INFILL PARTITION
CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS IN FIELD

GENERAL PARTITION TYPE NOTES:

- ALL PARTITIONS SHALL EXTEND TO UNDERSIDE OF A FLOOR SLAB OR ROOF DECK UNLESS OTHERWISE NOTED.
- AT ALL PARTITIONS THAT ARE DESIGNATED TO BE FIRE RATED PARTITIONS, PROVIDE CONTINUOUS SMOKE AND FIRESTOPPING SEALANT AT TOPS OF PARTITIONS; AT ALL PENETRATIONS THROUGH RATED PARTITIONS, AND FIRE SAFING JOINT FILLER AT PARTITION TO SLAB/DECK JUNCTION.
- REFER TO CODE COMPLIANCE DRAWINGS FOR LOCATIONS OF ALL FIRE RATED PARTITIONS/ASSEMBLIES AND ADDITIONAL FIRE RATING INFORMATION.
- ALL PARTITIONS SHALL BE FINISHED AS SCHEDULED. ALL FINISHES SHALL BE CONTINUOUS AT ALL PARTITION FACES UNLESS NOTED OTHERWISE. REFER TO A9-SERIES FOR ADDITIONAL FINISH INFORMATION.
- ALL NEW PARTITIONS SHALL BE PREPPED, PRIMED AND PAINTED. REFER TO SPECIFICATION SECTION 090900.
- REFER TO THE PROJECT MANUAL FOR CONTROL AND EXPANSION JOINT REQUIREMENTS FOR ALL MASONRY WALL CONSTRUCTION. GYP. BD. WALL CONSTRUCTION, GYP. BD. LAMINATION, AND PLASTER SURFACING.
- REFER TO SPECIFICATIONS FOR GYPSUM BOARD TYPE DESIGNATIONS AND APPLICABLE LOCATIONS (GYP. BD. TYPE I / TYPE II).
- WHERE METAL STUD FRAMED PARTITIONS ARE SCHEDULED TO RECEIVE NEW TILE FINISHES, THE CONTRACTOR SHALL PROVIDE GYPSUM WALL BOARD TYPE II AT THE LOCATIONS TO RECEIVE TILE (ONLY) IN LIEU OF THE SCHEDULED GYP. BD. TYPE FOR A SUITABLE WALL FINISH SUBSTRATE. REFER TO A-9 SERIES FOR ADDITIONAL INFORMATION.
- ALL NEW OPENINGS IN METAL STUD PARTITIONS, INCLUDING BUT NOT LIMITED TO DOORS AND WINDOWS, SHALL RECEIVE THE APPROPRIATE HEADER AS DESIGNED BY THE LIGHT GAUGE FRAMING MANUFACTURER.
- WHERE EXISTING OPENINGS IN EXISTING PARTITIONS ARE SCHEDULED TO BE INFILLED, THE NEW INFILL CONSTRUCTION SHALL MAINTAIN AND MATCH THE EXISTING PARTITION'S FIRE RATING FOR CONTINUITY OF FIRE AND SMOKE PROTECTION - CONTRACTOR TO VERIFY IN FIELD (1-HR MIN. RATING AT CORRIDORS). REFER TO CODE COMPLIANCE DRAWINGS FOR ADDITIONAL INFORMATION.
- AT ALL LOCATIONS WHERE EXISTING PARTITIONS ARE SCHEDULED TO BE PATCHED OR INFILLED, ALL NEW CONSTRUCTION FINISHES SHALL MATCH THE EXISTING ADJACENT SURFACES IN KIND - CONTRACTOR TO VERIFY.
- AT ALL LOCATIONS WHERE NEW WORK IS SCHEDULED, THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING, LATERAL BRACING, AND ADDITIONAL FRAMING AS REQUIRED TO SECURE NEW PARTITIONS TO THE STRUCTURE ABOVE AND TO ACCOMMODATE ALL NEW WALL MOUNTED FIXTURES, ACCESSORIES, EQUIPMENT, ETC.
- WHERE PARTITION TYPES ARE NOT SPECIFICALLY IDENTIFIED IN PLAN, IT IS THE INTENT THAT THE GRAPHICALLY INDICATED WALL TYPE SHALL BE CONTIGUOUS UNTIL INTERRUPTED BY ANOTHER SPECIFIED WALL TYPE.

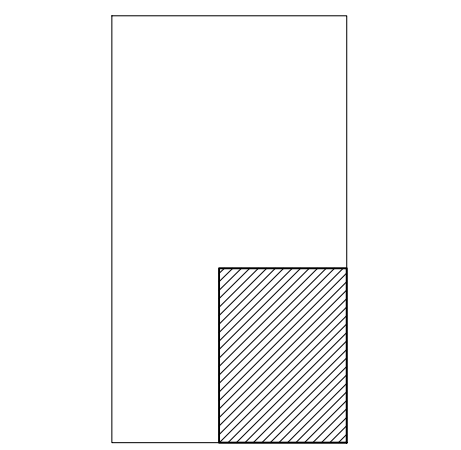


1 TYPICAL SLAB ON GRADE SAWCUT INFILL DETAIL

SCALE: 3/4" = 1'-0"

| REV. | DATE | ITEM |
|------|------|------|
| | | |
| | | |
| | | |
| | | |

NOTICE
THESE DRAWINGS ARE BASED ON CONSTRUCTION DRAWINGS NOT PREPARED BY BBS ARCHITECTS. LANDSCAPE ARCHITECTS AND ENGINEERS, P.C. AND, THEREFORE, MAY NOT REPRESENT THE CONDITIONS AS CONSTRUCTED AT THE TIME. ALL EXISTING CONDITIONS SHOWN ARE REPRESENTED AS SUGGESTIVE INFORMATION AS THEY MAY NOT HAVE BEEN BUILT AND DETAILED PER THE ORIGINAL DOCUMENTS OR PER THE OWNER'S INFORMATION.



KEY PLAN
NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
ADMINISTRATION BUILDING
TOWN OF BEDFORD / WESTCHESTER COUNTY

PROJECT
DRAWING BY: BCM
CHECK BY: PJH

NOTICE
THIS DRAWING, PREPARED FOR THE SPECIFIC PROJECT INDICATED IS AN INSTRUMENT OF SERVICE, AND THE PROPERTY OF BBS ARCHITECTS, LANDSCAPE ARCHITECTS AND ENGINEERS, P.C. ANY REPRODUCTION OR ANY USE OF THIS DRAWING FOR ANY OTHER PROJECT IS PROHIBITED. ANY ALTERATION OR REPRODUCTION OF THIS DOCUMENT IS ALSO PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT OR ENGINEER.

BBS
ARCHITECTS
LANDSCAPE ARCHITECTS
ENGINEERS

244 EAST MAIN STREET
PATCHOGUE
NEW YORK 11772
T. 631.475.0349
F. 631.475.0361

100 GREAT OAKS BLVD.
SUITE 115, ALBANY
NEW YORK 12203
T. 518.621.7650
F. 518.621.7655

www.bbsarchitecture.com

SED No: 66-01-02-06-1-008-014

DISTRICT: BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT: PHASE 2 - BOND IMPROVEMENTS

DWG TITLE: PARTITION TYPES and DETAILS

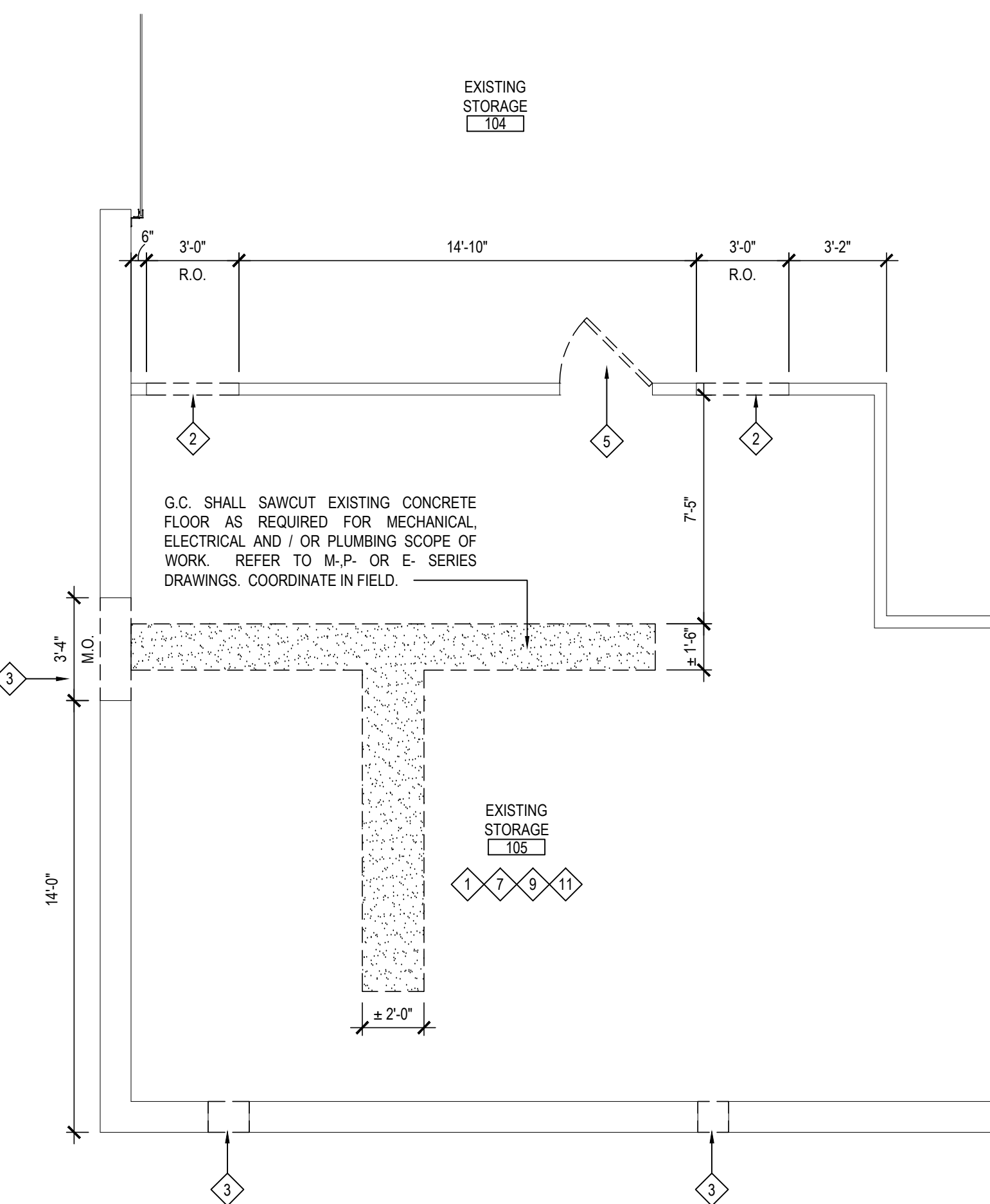
SCALE: AS NOTED

DATE: APRIL 2024

BID PICK-UP: FEBRUARY 24, 2025

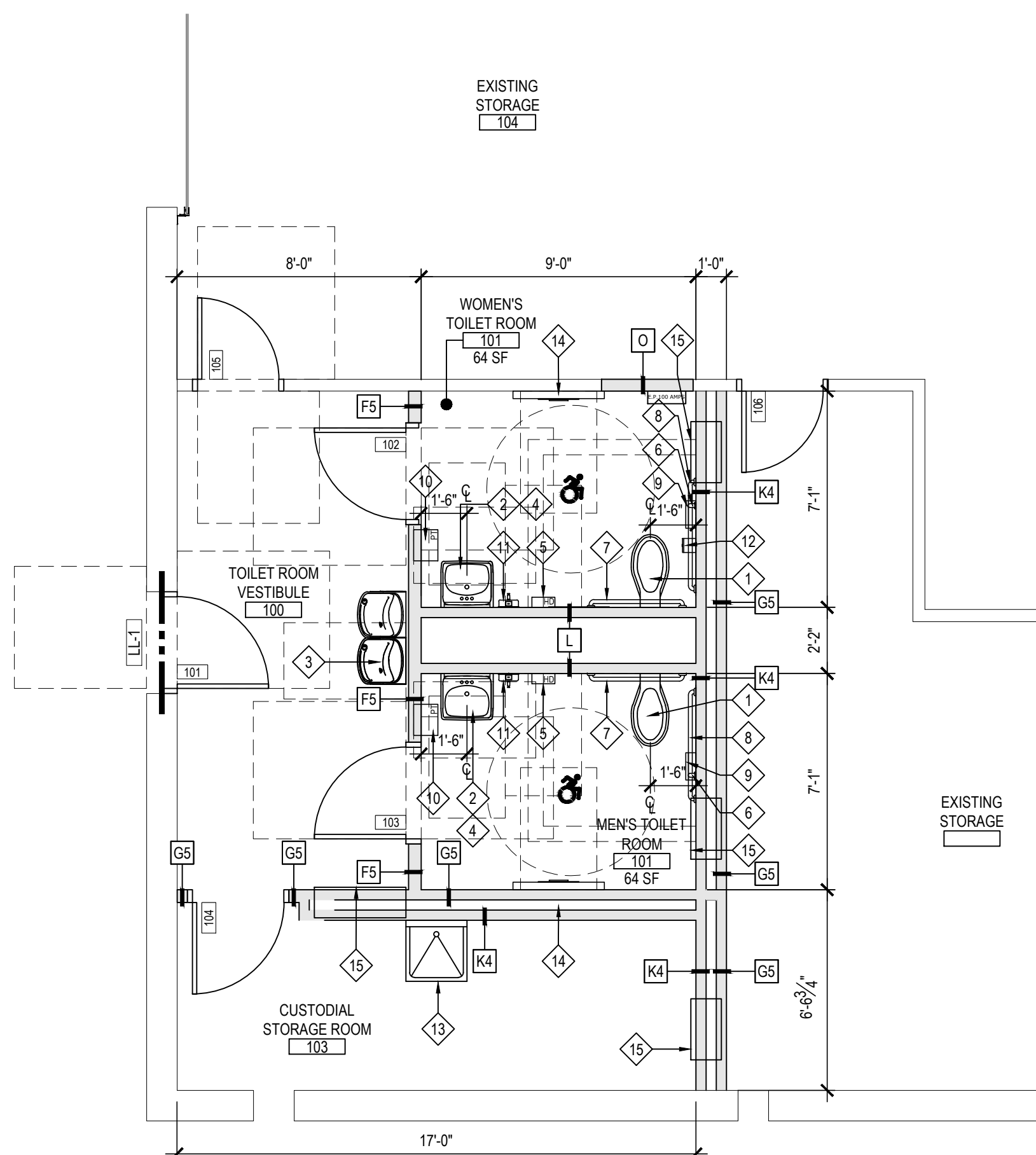
FILE No: 23-131C ADMIN

A2.00



DEMOLITION PLAN

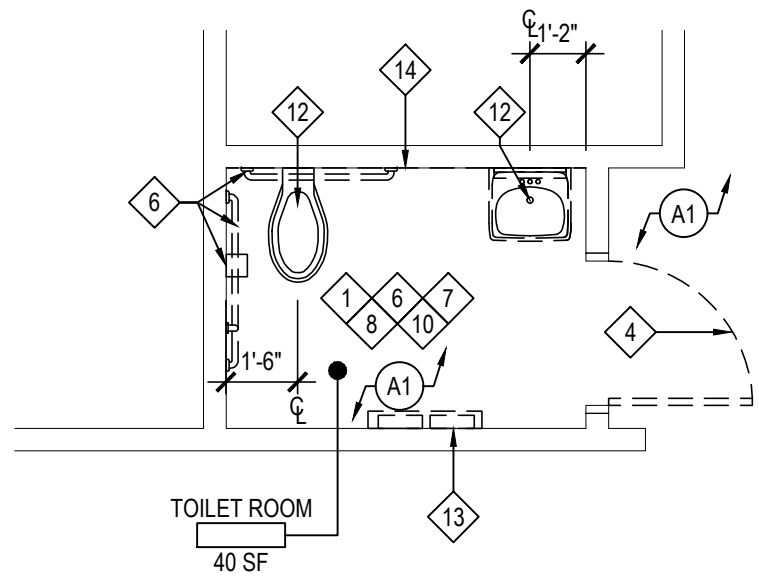
SCALE: 1/4" = 1'-0"



PROPOSED TOILET ROOM PLAN

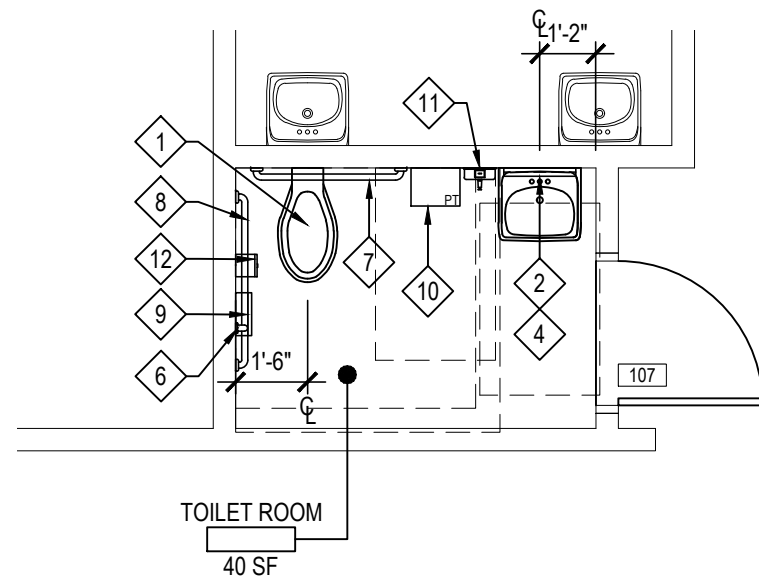
NOTE: USE ADULT HEIGHT FIXTURES.

SCALE: 1/4" = 1'-0"



DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

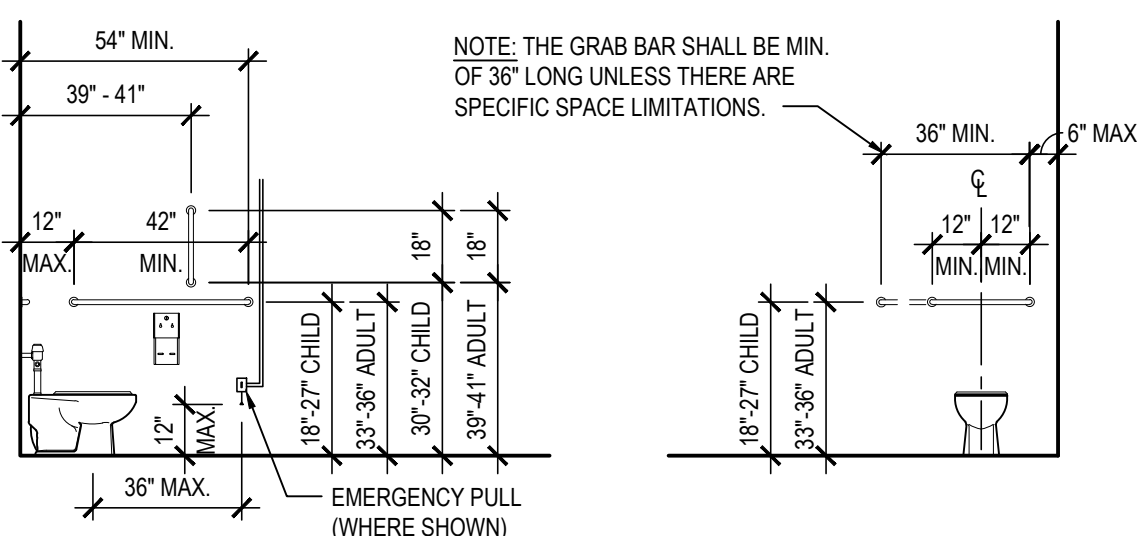


PROPOSED TOILET ROOM PLAN

NOTE: USE ADULT HEIGHT FIXTURES.

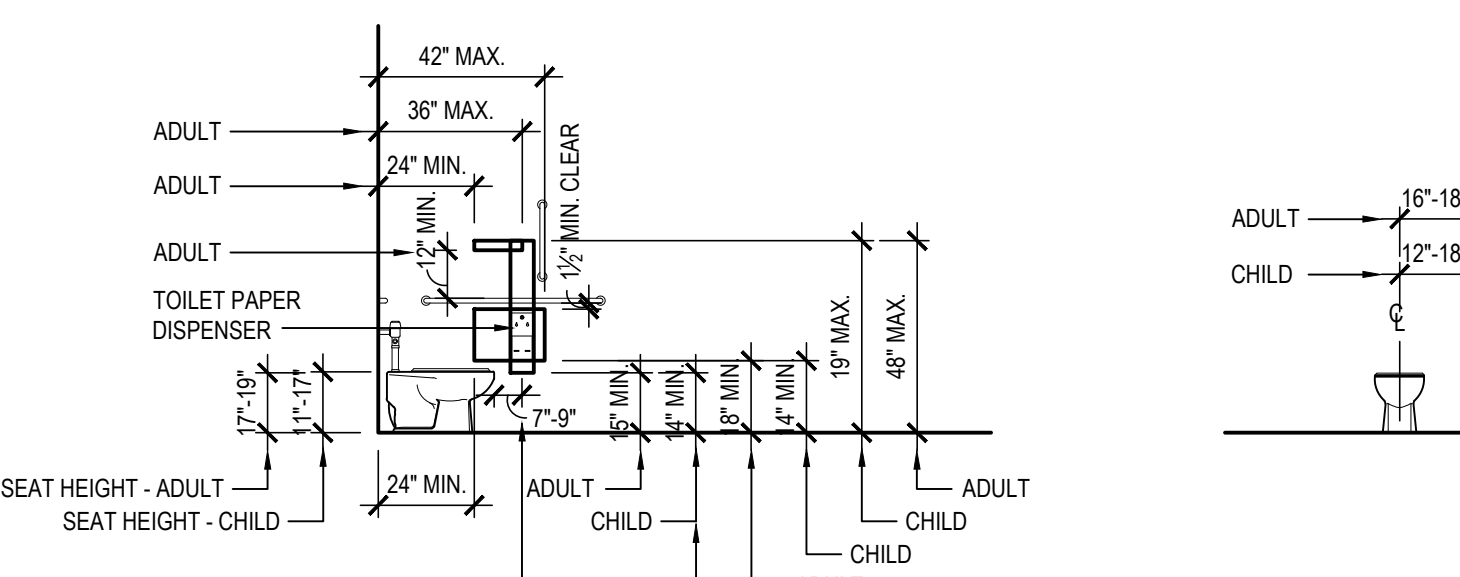
SCALE: 1/4" = 1'-0"

ADA COMPLIANT PLUMBING ELEMENTS MOUNTING STANDARDS



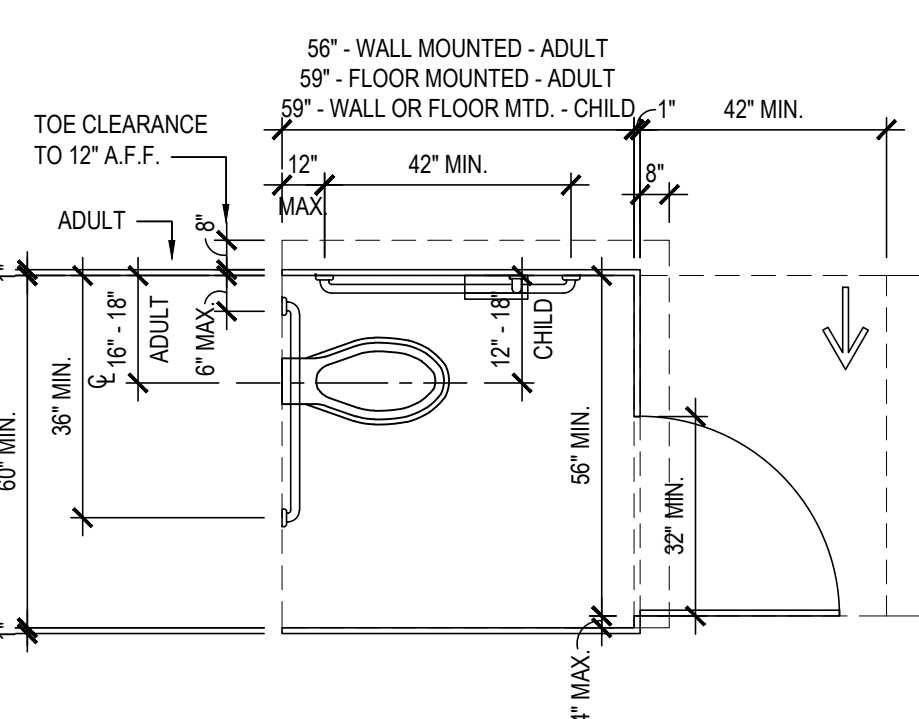
WATER CLOSET GRAB BAR MOUNTING DIMENSIONS

SCALE: 1/4" = 1'-0"



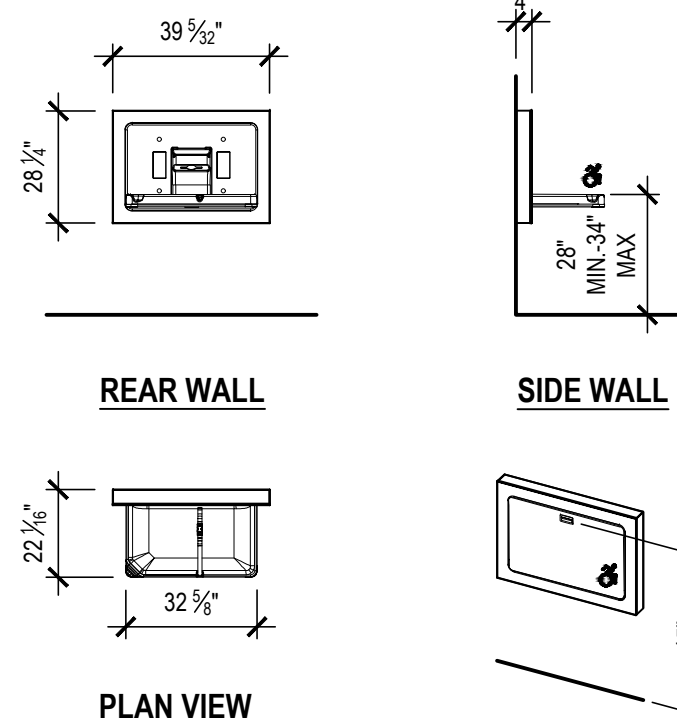
WATER CLOSET SEAT HEIGHT and PROTRUDING DISPENSER OUTLET LOCATIONS

SCALE: 1/4" = 1'-0"



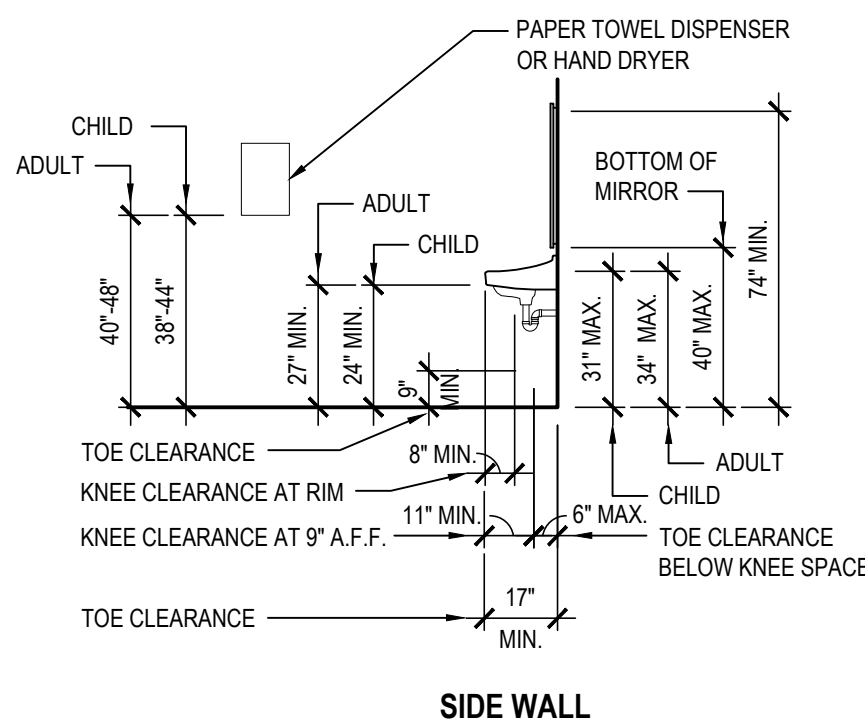
ACCESSIBLE WHEELCHAIR STALL DIMENSIONS

SCALE: 1/4" = 1'-0"



DIAPER CHANGING STATION DIMENSIONS

SCALE: 1/4" = 1'-0"



LAVATORY ACCESSIBLE HEIGHTS and CLEARANCES

HAZARDOUS MATERIALS NOTES

- OWNER HAS EMPLOYED AN ENVIRONMENTAL CONSULTANT TO PERFORM DESIGN-PHASE INSPECTION AND TESTING FOR ASBESTOS, LEAD AND / OR PCBs. SUCH REPORTS ARE CONTAINED IN THE PROJECT MANUAL AND MAY CONTAIN ADDITIONAL REQUIREMENTS BEYOND THOSE SHOWN IN THE CONSTRUCTION DRAWINGS AND DIVISION 1 RELATED SPECIFICATIONS.
- CONSTRUCTION DRAWINGS INDICATE EXTENT OF HAZARDOUS MATERIALS REMOVALS, WHICH MAY BE ASSUMED OR CONFIRMED POSITIVE. CONTRACTOR SHALL VERIFY QUANTITIES OF SUCH MATERIALS AND ACCOUNT FOR THEM IN THE BID.
- CONTRACTOR SHALL EMPLOY A PROPERLY CREDENTIALLED HAZARDOUS MATERIALS SUBCONTRACTOR AS REQUIRED FOR THE SCOPE OF WORK AT HAND.
- ASBESTOS ABATEMENT SHALL BE PERFORMED IN ACCORDANCE WITH NYS INDUSTRIAL CODE RULE 56.
- REMOVAL OF LEAD CONTAINING CONSTRUCTION MATERIALS SHALL BE PERFORMED IN ACCORDANCE WITH FEDERAL HUD REGULATIONS AND THE EPA'S RRP RULE. THE WORK OF THIS PROJECT IS NOT INTENDED TO BE A LEAD ABATEMENT.
- WHERE WORK INVOLVES LEAD CONTAINING CONSTRUCTION MATERIALS, WIPE TESTS WILL BE PERFORMED UPON FINAL CLEANING. FAILURE WILL REQUIRE RE-CLEANING BY THE CONTRACTOR.
- PCB REMOVALS SHALL BE PERFORMED IN ACCORDANCE WITH FEDERAL EPA REGULATIONS AS ENFORCED BY NYS DEC. IF SUCH MATERIALS ALSO CONTAIN ASBESTOS, THEN SUCH MATERIALS SHALL BE HANDLED AND DISPOSED OF PER BOTH NYS DEC AND NYS ICR 56.
- CONTRACTOR SHALL COORDINATE HAZARDOUS MATERIALS REMOVAL ACTIVITIES WITH THE OWNER'S ENVIRONMENTAL CONSULTANT FOR APPROPRIATE PROJECT MONITORING.
- IF ANY SUSPECT MATERIALS ARE DISCOVERED DURING DEMOLITION THAT ARE OUTSIDE OF THE IDENTIFIED SCOPE OF WORK, THE CONTRACTOR SHALL CEASE REMOVAL AND NOTIFY THE ARCHITECT.
- THE FOLLOWING HAZARDOUS MATERIAL REMOVAL KEY NOTES CORRESPOND TO THE CONSTRUCTION DRAWINGS:
(A1) ASBESTOS CONTAINING FLOOR TILE.

DEMOLITION SYMBOL LEGEND

| SYMBOL | DESCRIPTION |
|-----------|--|
| --- | EXISTING CONSTRUCTION TO BE REMOVED (PATCH ALL REMAINING SURFACES) |
| [Pattern] | EXISTING FLOOR SLAB TO BE SAWCUT TO ACCOMMODATE NEW UNDER SLAB UTILITIES. REFER TO SAWCUT DETAIL FOR ADDITIONAL INFORMATION. |
| [Symbol] | KEYED NOTE |
| [Symbol] | DETAIL TAG DETAIL NUMBER DRAWING NUMBER |
| [Symbol] | SECTION / ELEVATION TAG DETAIL NUMBER DRAWING NUMBER |
| [Symbol] | ROOM TAG ROOM NAME ROOM NUMBER ROOM AREA |
| [Symbol] | REVISION CLOUD AND KEYED DESIGNATION. REFER TO DRAWING TITLEBLOCK FOR ADDITIONAL INFORMATION. |

DEMOLITION KEY NOTES

- EXISTING WALL MOUNTED EMERGENCY LIGHTING, CONDUIT, WIRE MOLD, SPEAKERS, ETC. TO BE REMOVED AND DISPOSED OF IN THEIR ENTIRETY BY E.C.
- PORTION OF EXISTING PLASTER / GYPSUM BD. WALL TO BE REMOVED. PREP OPENING
- PORTION OF EXISTING EXTERIOR WALL CONSTRUCTION TO BE SAWCUT, REMOVED AND DISPOSED OF FOR NEW MASONRY OPENING. PROVIDE NEW LINTEL, TOOTH-IN NEW MASONRY.
- EXISTING DOOR TO BE REMOVED AND DISPOSED OF. EXISTING FRAME TO REMAIN. MODIFY FOR NEW DOOR HARDWARE. PREP, PRIME AND PAINT. COLOR AS SELECTED BY ARCHITECT.
- EXISTING DOOR AND HOLLOW METAL FRAME TO BE REMOVED AND DISPOSED OF. PREP OPENING FOR NEW INFILL.
- EXISTING WALL MOUNTED TOILET ROOM ACCESSORIES TO BE REMOVED AND TURNED OVER TO THE DISTRICT.
- EXISTING CEILING MOUNTED EMERGENCY LIGHTING, CONDUIT, WIRE MOLD, SPEAKERS, ETC. TO BE REMOVED AND DISPOSED OF IN THEIR ENTIRETY BY E.C.
- EXISTING ACoustICAL CEILING TILE AND GRID TO BE REMOVED AND DISPOSED OF IN ITS ENTIRETY.
- EACH TRADE SHALL SAWCUT EXISTING CONCRETE FLOOR AS REQUIRED FOR MECHANICAL, ELECTRICAL AND / OR PLUMBING SCOPE OF WORK. REFER TO M-P-OR E-SERIES DRAWINGS. COORDINATE IN FIELD.
- EXISTING VINYL ASBESTOS TILE AND MASTIC TO BE REMOVED AND DISPOSED OF. PREP FLOOR AS REQUIRED FOR SELF-LEVELING FOR NEW FINISH FLOORING.
- PREP FLOOR AS REQUIRED FOR SELF-LEVELING FOR NEW FINISH FLOORING.
- P.C. TO DISCONNECT. G.C. TO DISPOSE OF EXISTING PLUMBING FIXTURES.
- E.C. TO REMOVE AND RELOCATE EXISTING ELECTRICAL PANELS. REFER TO E-SERIES DRAWINGS. G.C. TO REMOVE WOOD CABINET.
- WALL PANELING TO BE REMOVED. PREP WALL FOR NEW FINISH.
- RECESSED CABINET HEATER MY M.C. SEE M-SERIES DRAWINGS.

TOILET FIXTURE MOUNTING HEIGHTS

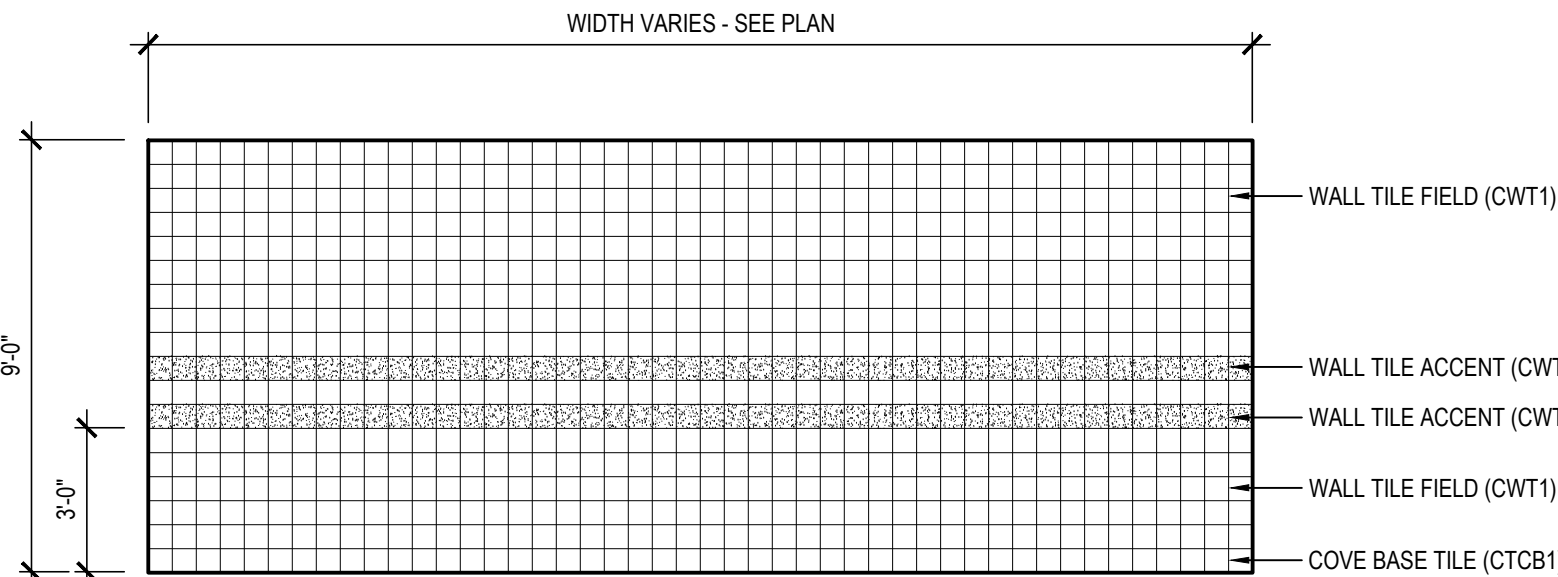
- AT ALL STUDENT USE TOILET FACILITIES, ALL TOILET FIXTURES, URINALS, LAVATORIES, GRAB BARS, ACCESSORIES, ETC. SHALL BE MOUNTED EITHER AT ADULT HEIGHT OR CHILD HEIGHT AS INDICATED ON THE PLANS AND TYPICAL ADA PLUMBING ELEMENTS MOUNTING STANDARDS.
- AT ALL ADULT USE TOILET FACILITIES, ALL TOILET FIXTURES, URINALS, LAVATORIES, GRAB BARS, ACCESSORIES, ETC. SHALL BE MOUNTED AT ADULT HEIGHT AS INDICATED ON THE PLANS AND TYPICAL ADA PLUMBING ELEMENTS MOUNTING STANDARDS.
- THE HEIGHT OF ALL GRAB BAR MUST BE THE SAME WITHIN EACH STALL / ROOM.
- THE CHILD MOUNTING HEIGHT LIMITS APPLY FOR ADA AND NON-ADA LOCATIONS.

TOILET ROOM KEY NOTES

- P.C. TO FURNISH AND INSTALL NEW ADA ACCESSIBLE WATER CLOSET AND FLUSHOMETER.
- P.C. TO FURNISH AND INSTALL NEW ADA ACCESSIBLE LAVATORY, FAUCET AND LAV SHIELD.
- P.C. TO PROVIDE AND INSTALL NEW DRINKING LAVATORY. E.C. TO PROVIDE FINAL POWER CONNECTIONS. COORDINATE IN FIELD.
- G.C. TO FURNISH AND INSTALL NEW MIRROR.
- G.C. TO PROVIDE AND INSTALL NEW ADA COMPLIANT SURFACE MOUNTED HAND DRYER. E.C. TO CONNECT TO NEW OR EXISTING POWER.
- G.C. TO FURNISH AND INSTALL NEW VERTICAL 18" GRAB BAR.
- G.C. TO FURNISH AND INSTALL NEW HORIZONTAL 36" GRAB BAR.
- G.C. TO FURNISH AND INSTALL NEW HORIZONTAL 42" GRAB BAR.
- OWNER TO PROVIDE. G.C. TO FURNISH AND INSTALL NEW TOILET PAPER DISPENSER.
- OWNER TO PROVIDE. G.C. TO FURNISH AND INSTALL NEW RECESSED C-FOLD PAPER TOWEL DISPENSER.
- OWNER TO PROVIDE. G.C. TO FURNISH AND INSTALL NEW WALL MOUNTED SOAP DISPENSER.
- G.C. TO FURNISH AND INSTALL NEW SANITARY NAPKIN WASTE RECEPTACLE.
- P.C. TO FURNISH AND INSTALL NEW SERVICE SINK.
- G.C. TO FURNISH AND INSTALL NEW DIAPER CHANGING STATION.

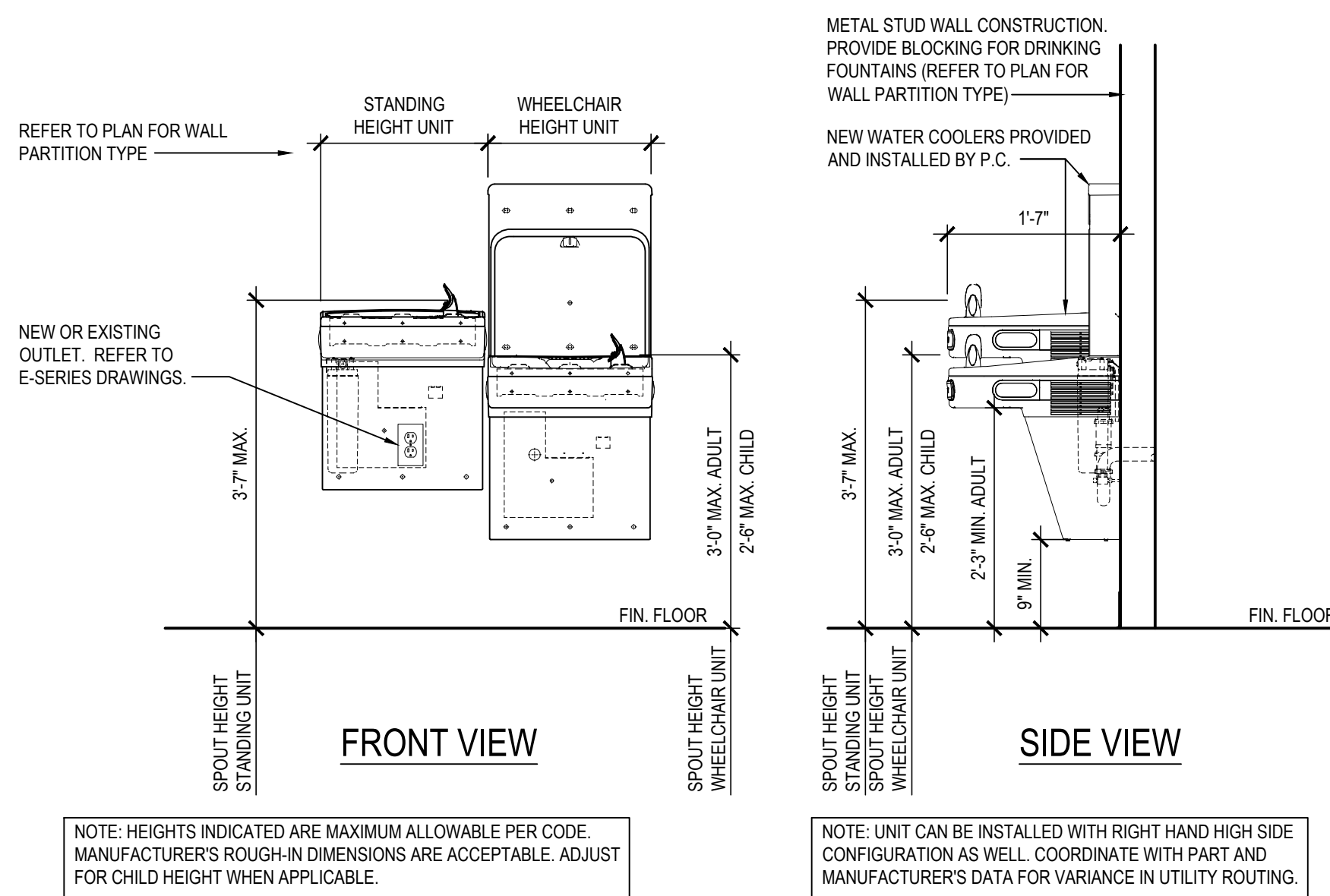
DEMOLITION and REMOVAL NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND REMOVALS. UNLESS NOTED OTHERWISE, MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL DISCONNECTS. G.C. TO COORDINATE DEMOLITION WITH M.C., P.C., AND E.C. REFER TO M-E-P SERIES DEMOLITION DRAWINGS FOR ADDITIONAL INFORMATION AND DEMOLITION SCOPE BY GENERAL CONTRACTOR. NOT SHOWN THIS DRAWING. TYPICAL FOR ALL AREAS OF INTERIOR DEMOLITION AND / OR RECONSTRUCTION.
- ALL OPENINGS IN EXISTING INTERIOR AND EXTERIOR WALLS SHALL BE PATCHED AS REQUIRED AND MASONRY TOOTHED-IN TO MATCH ADJACENT.
- G.C. SHALL PATCH, REPLACE, OR REPAIR DAMAGE CAUSED TO EXIST. FLOOR, WALLS, ROOF, ETC. SHOWN TO REMAIN AS A RESULT OF DEMOLITION TO PRIOR CONDITION OR MATCH ADJACENT NEW CONSTRUCTION.
- G.C. SHALL VERIFY ALL REMOVALS W/ OWNERS REPRESENTATIVE/OWNER, AND M.C., P.C. OR E.C. PRIOR TO COMMENCEMENT.
- NOTED WALL REMOVALS SHALL INCLUDE ALL DOORS, WINDOWS AND FRAMES WHERE SHOWN.
- REFER TO STRUCTURAL DRAWINGS FOR LINTEL SCHEDULE.
- THROUGHOUT ALL AREAS OF WORK, E.C. SHALL ORGANIZE ALL EXISTING WIRES TO REMAIN AT UNDERSIDE OF ROOF DECK ABOVE NEW FINISHED CEILING. SECURE TO BOTTOM OF EXISTING ROOF DECK, STEEL JOISTS, ETC. REFER TO E-SERIES DRAWINGS.



TYPICAL TOILET ROOM ELEVATION

SCALE: 1/4" = 1'-0"



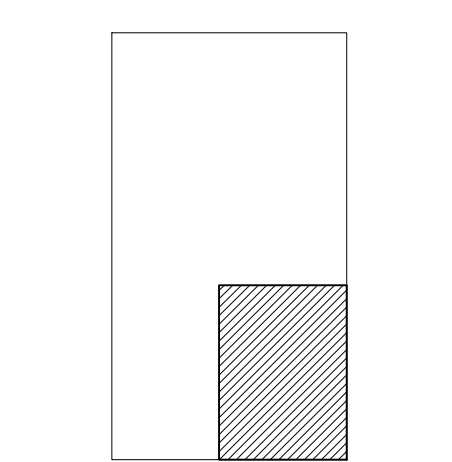
ADA COMPLIANT DRINKING FOUNTAIN/BOTTLE FILL STATION DETAIL

E202" BOTTLE FILLING STATION WITH FILTERED BI-LEVEL LZ COOLER BY 'ELKAY' OR APPROVED EQUAL. SHOWN WITH LEFT HAND HIGH SIDE CONFIGURATION.

SCALE: 3/4" = 1'-0"

| REV. | DATE | ITEM |
|------|------|------|
| | | |
| | | |
| | | |
| | | |

NOTICE
THESE DRAWINGS ARE BASED ON CONSTRUCTION DRAWINGS NOT PREPARED BY BBS ARCHITECTS, LANDSCAPE ARCHITECTS AND ENGINEERS, P.C. AND THEREFORE, MAY NOT REPRESENT THE CONDITIONS AS CONSTRUCTED AT THE TIME. ALL EXISTING CONDITIONS SHOWN ARE REPRESENTED AS SUGGESTIVE INFORMATION AS THEY MAY NOT HAVE BEEN BUILT AND DETAILED PER THE ORIGINAL DOCUMENTS OR PER THE OWNER'S INFORMATION.



KEY PLAN

NOT TO SCALE

PROJECT
BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
ADMINISTRATION BUILDING
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE
TOILET ROOM PLANS and DETAILS

DRAWING BY: BCM
CHECK BY: PJH

NOTICE
THIS DRAWING, PREPARED FOR THE SPECIFIC PROJECT INDICATED IS AN INSTRUMENT OF SERVICE, AND THE PROPERTY OF BBS ARCHITECTS, LANDSCAPE ARCHITECTS AND ENGINEERS, P.C. IMPROVEMENT OR ANY USE OF THIS DRAWING FOR ANY OTHER PROJECT IS PROHIBITED. ANY ALTERATION OR REPRODUCTION OF THIS DOCUMENT IS ALSO PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT OR ENGINEER.

BBS
ARCHITECTS
LANDSCAPE ARCHITECTS
ENGINEERS
244 EAST MAIN STREET
PATCHOGUE
NEW YORK 11772
T. 631.475.0349
F. 631.475.0361

187 WOLF ROAD, STE. 205
ALBANY
NEW YORK 12205
T. 518.621.7650
F. 518.621.7655

www.BBSARCHITECTURE.com

SED No: 66-01-02-06-1-008-014

DISTRICT: BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT: PHASE 2 - BOND IMPROVEMENTS

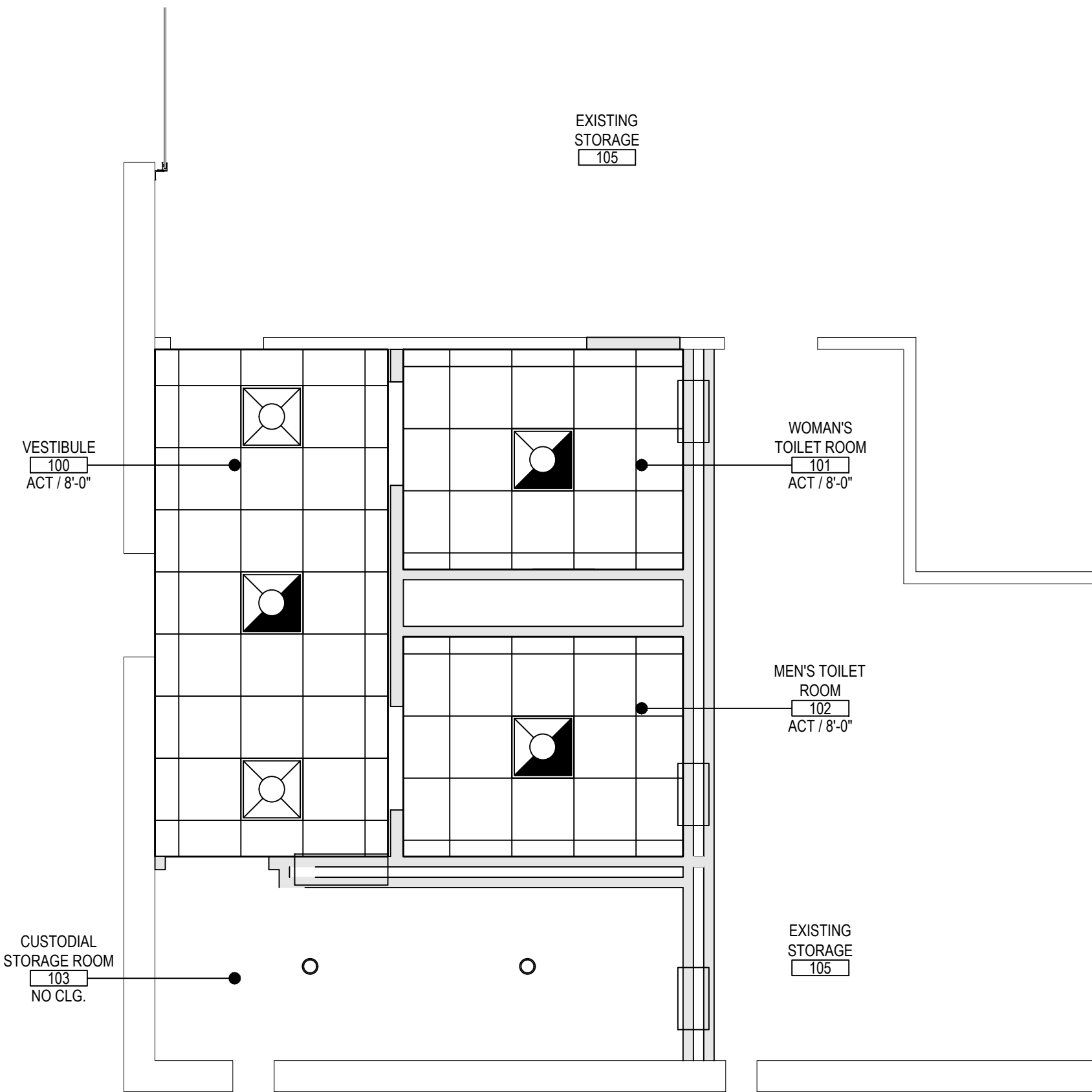
DWG TITLE: TOILET ROOM PLANS and DETAILS

SCALE: AS NOTED

DATE: APRIL 2024

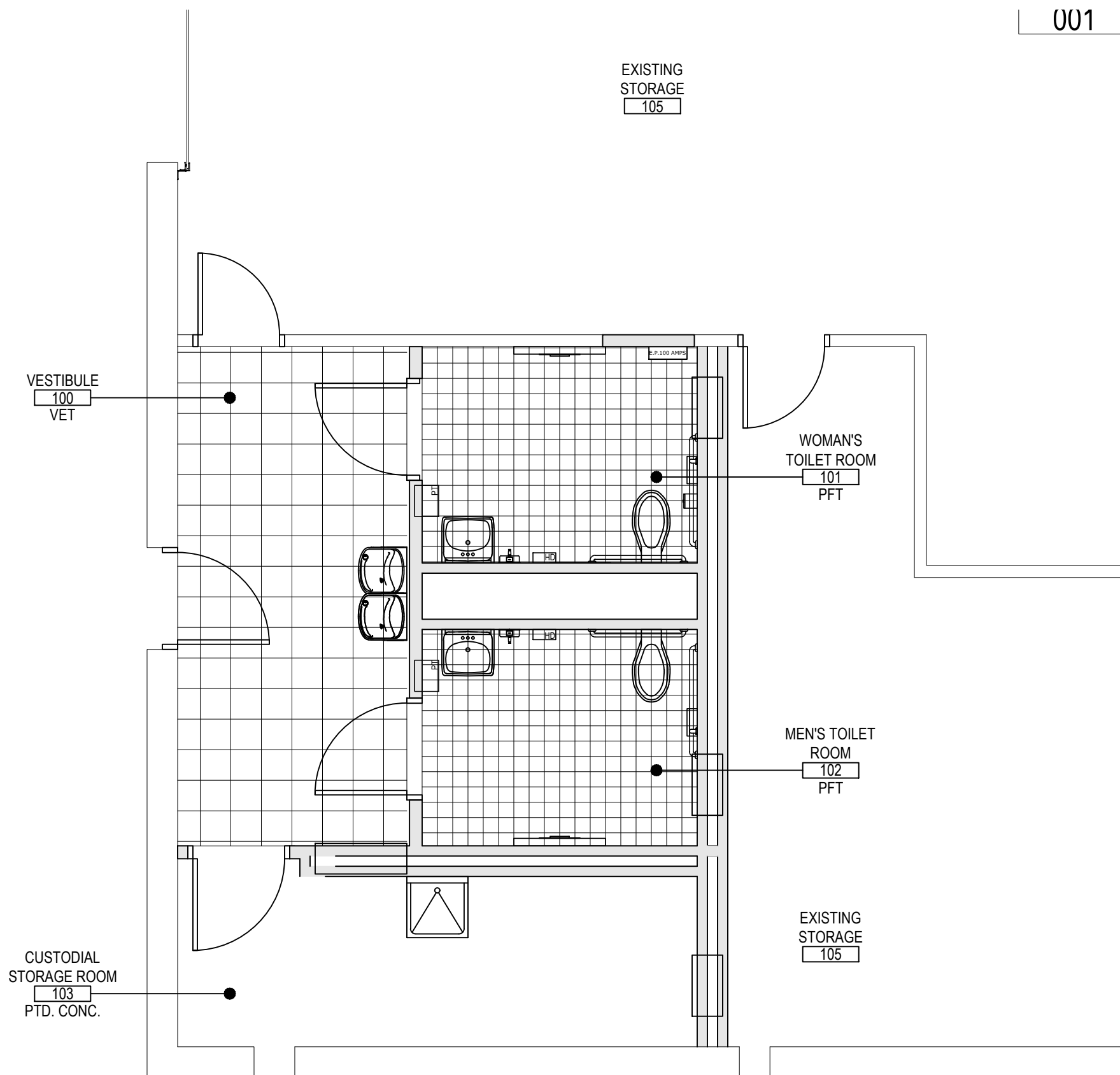
BID PICK-UP: FEBRUARY 24, 2025

FILE No: 23-131C ADMN



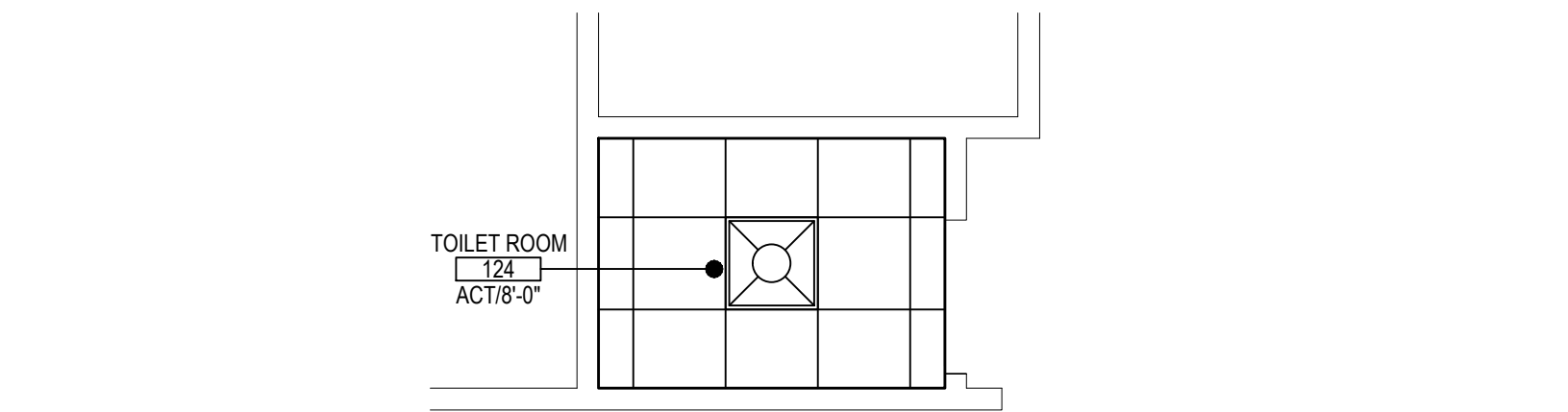
BASEMENT REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



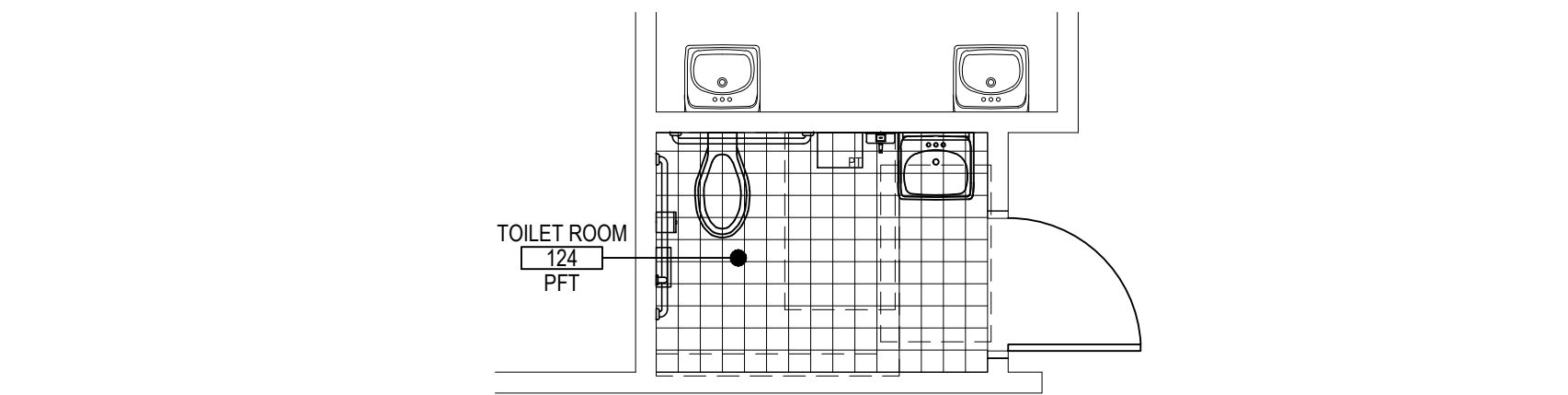
BASEMENT FINISHED FLOOR PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR FINISHED FLOOR PLAN

SCALE: 1/4" = 1'-0"

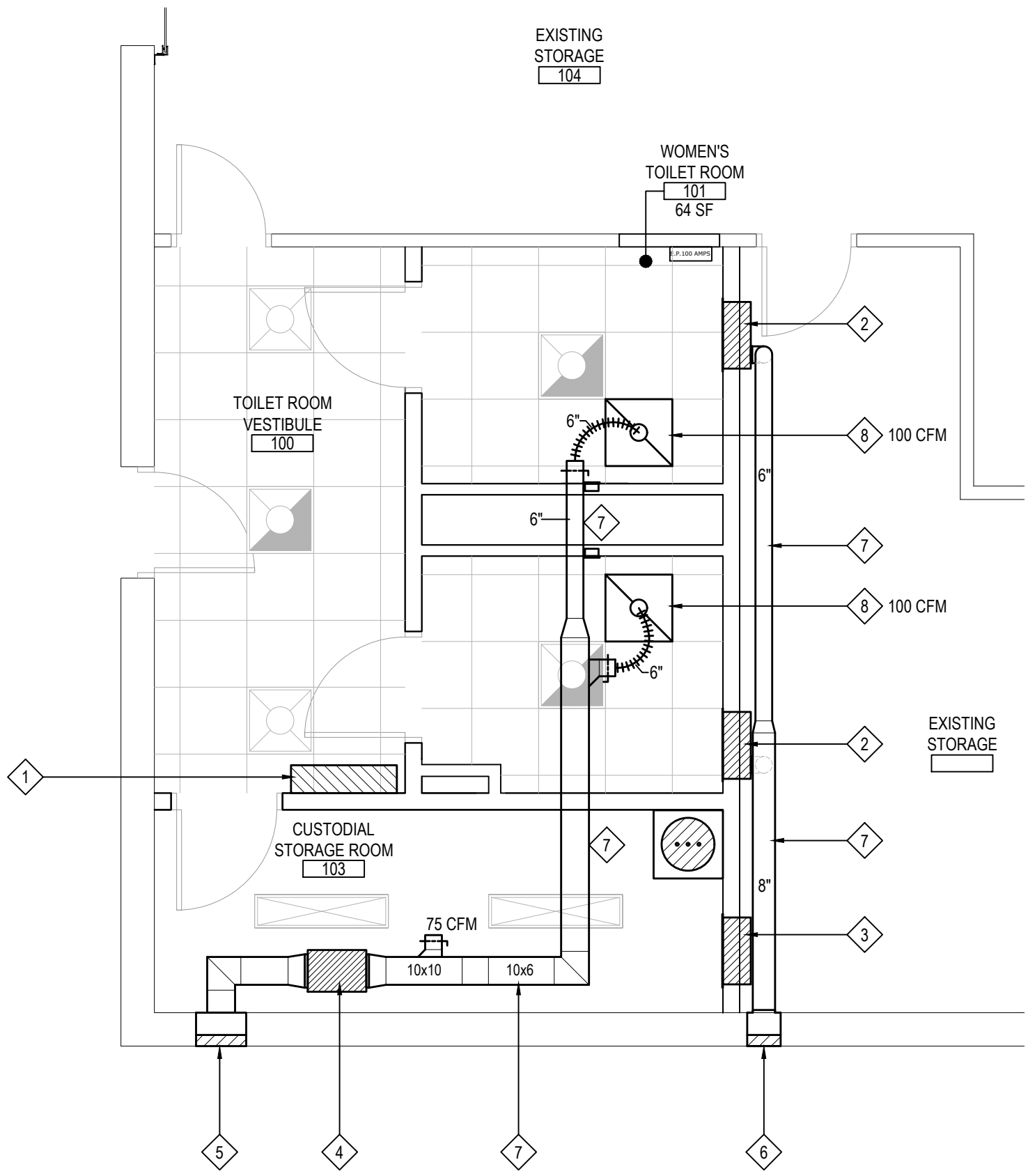
| ABBREVIATIONS | | | |
|---------------|------------------------|------|--------------------------|
| ACT | ACOUSTIC CEILING TILE | VET | VINYL ENHANCED TILE |
| CTILE | CARPET TILE | LVT | LUXURY VINYL TILE |
| PFT | PORCELAIN FLOOR TILE | GYP | GYPSUM BOARD |
| CMU | CONCRETE MASONRY UNIT | RUB | RUBBER FLOOR TILE |
| CTCB | CERAMIC TILE COVE BASE | RCB | RUBBER COVE BASE |
| CWT | CERAMIC WALL TILE | TERR | TERRAZZO / TERRAZZO BASE |
| EPOXY | EPOXY TERRAZZO | VCT | VINYL COMPOSITION TILE |

- FINISH NOTES**
- ALL FINISHED TYPES (STYLE/COLOR/PATTERN) SHALL BE OFF THE STANDARD OF QUALITY INDICATED BY THE PROJECT MANUAL. FINAL STYLE / COLOR / PATTERN TO BE SELECTED BY ARCHITECT.
 - ALL INTERIOR AND EXTERIOR C.M.U. SURFACES SHALL BE PRIMED WITH SHERWIN WILLIAMS PRO INDUSTRIAL HEAVY DUTY BLOCK FILLER B 42 SERIES PRIOR TO FINISH PAINT APPLICATION.
 - ALL NEW BRICK WALLS ARE TO REMAIN NATURAL, CLEANED AND SEALED, IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - CONTRACTOR SHALL PREP, PRIME AND PAINT ALL SHEET METAL PIPE ENCLOSURES (INSTALLED BY M.C.) COLOR AS SELECTED BY ARCHITECT.
 - BEFORE PAINTING, CONCRETE SURFACES MUST CURE 30 DAYS. BLOCK AND PLASTER SURFACES MUST CURE FOR 30 DAYS.
 - REFER TO REFLECTED CEILING PLANS AND FINISH FLOOR PLANS FOR ADDITIONAL INFORMATION.
 - ALL INTERIOR FINISHES IN CORRIDOR SHALL BE 'CLASS - A' RATED.
 - PATCH, REPAIR AND FINISH CEILING, WALLS, AND FLOOR AT POINTS OF DEMOLITION TO MATCH EXISTING. EXISTING FINISHES TO REMAIN.
 - SHOULD ANY FINISH MATERIALS BE DISCONTINUED BY MANUFACTURER, THE CONTRACTOR MUST REPLACE WITH CLOSEST MATCH AT NO ADDITIONAL COST, AND SUBMIT TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
 - AT ROOMS HAVING EXISTING FLOOR TILE TO BE REMOVED AND / OR ABATED, CONTRACTOR SHALL PROVIDE AND INSTALL FLOOR PATCH (PLAN/PATCH PLUS) BY 'MAPEI' OR ARCHITECT APPROVED EQUAL OVER ENTIRE EXISTING SUBSTRATE AND / OR CONCRETE SLAB TO PROVIDE A FLOOR SURFACE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND AS SPECIFIED FOR INSTALLATION OF FINISH FLOORING AS SPECIFIED ON FINISH SCHEDULE.
 - HOLLOW METAL DOOR FRAMES, SIDE LIGHTS AND WINDOW FRAMES SHALL BE PREPARED AND PAINTED AS PER PAINTING SPECIFICATION 099000. (ALL COLORS AS SELECTED BY ARCHITECT.)
 - CONTRACTOR SHALL PREP, PRIME AND PAINT SHEETROCK CEILINGS UNLESS OTHERWISE NOTED.
 - REFER TO FINISH FLOOR PLANS FOR TILE PATTERNS - THE TILE PATTERNS MAY NOT REPRESENT THE FINAL PATTERNS TO BE DESIGNED, INSTALLED AND TURNED OVER TO OWNER. THE BID SHALL BE BASED ON THE TILE MIX AND PERCENTAGES AS INDICATED IN THE PROJECT MANUAL.
 - ALL FINISHES SHALL BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.
 - REFER TO REFLECTED CEILING PLANS, TOILET ROOM TILE PLANS AND FINISHED FLOOR PLANS FOR ADDITIONAL FINISH INFORMATION.
 - NEW TOILET AND URINAL PARTITIONS SHALL BE 1" THICK HDPE AS MANUFACTURED BY SCRANTON, ASI GLOBAL PARTITIONS, OR APPROVED EQUAL. (COLOR AND FINISH TO BE SELECTED BY ARCHITECT).
 - GENERAL CONTRACTOR SHALL PROVIDE TERMINATION STRIPS, RUBBER REDUCERS, EDGE GUARDS, ADAPTERS AND TRANSITIONS BETWEEN DISSIMILAR MATERIALS AND HEIGHT DIFFERENTIALS BOTH TO PROTECT THE FINISH EDGE OR TO PROVIDE AN ADA ACCESSIBLE TRANSITION.

| SYMBOLS LEGEND | |
|----------------|---|
| SYMBOL | DESCRIPTION |
| | ROOM TAG, CEILING TILE TYPE AND FINISH CEILING ELEVATION (A.F.F.) |
| | NO CLG. OPEN TO STRUCTURE AND DECK ABOVE (PAINT) |
| | SUSPENDED ACOUSTICAL CEILING TILE AND GRID |
| | VINYL ENHANCED TILE |
| | PORCELAIN FLOOR TILE |
| | PAINTED CONCRETE |
| | 2x2 RECESSED LED LIGHT FIXTURE MODEL NO. CRUIZE ST 22C22-LD5-24-UNV-LSS5-CD-U |
| | 1' X 4' SURFACE MOUNT LIGHTING FIXTURE |

- TYPICAL REFLECTED CEILING PLAN NOTES**
- CEILING PLANS MAY NOT INDICATE ALL MECHANICAL AND / OR ELECTRICAL CEILING MOUNTED ITEMS. REFER TO M - SERIES AND E - SERIES DRAWINGS FOR ADDITIONAL INFORMATION.
 - CEILING GRID SHALL BE ARRANGED TO BE SPACED EQUALLY IN EACH DIRECTION WITH NO TILE LESS THAN 6" UNLESS OTHERWISE REQUIRED.
 - PROVIDE CEILING EXPANSION JOINT AT ALL NEW TO EXISTING INTERSECTIONS AND WHERE INDICATED ON PLANS.
 - UNLESS OTHERWISE NOTED, ALL SOFFITS AND WINDOW POCKETS SHALL BE 3/4" TYPE 'X' GYP. BOARD OVER 18 GA. COLD FORMED FRAMING AT 16" O.C.
 - ALL AREAS NOTED AS 'OPEN' AND / OR 'NO CEILING (CLG.)' SHALL BE PAINTED - INCLUDING BUT NOT LIMITED TO DECK, STRUCTURE, DUCTWORK, ETC.)
 - ACOUSTICAL CEILINGS SHALL HAVE A FLAME SPREAD OF 25 OR LESS COMPLYING WITH 'ASTM E-84'; SMOKE DEVELOPED RATING OF 80 OR LESS COMPLYING WITH PERFORMANCE REQUIREMENTS AND PHYSICAL CHARACTERISTICS OF THE SPECIFIED CEILINGS AS INDICATED IN THE REFLECTED CEILING PLAN. (ASTM E-1284)
 - ACOUSTICAL CEILINGS SHALL HAVE A MINIMUM NOISE REDUCTION COEFFICIENT (NRC) RATING OF 0.65.

| REV. | DATE | ITEM |
|--|------|------|
| | | |
| | | |
| | | |
| | | |
| NOTICE | | |
| THESE DRAWINGS ARE BASED ON CONSTRUCTION DRAWINGS NOT PREPARED BY BBS ARCHITECTS. LANDSCAPE ARCHITECTS AND ENGINEERS, P.C. AND THEREFORE, MAY NOT REPRESENT THE CONDITIONS AS CONSTRUCTED AT THE TIME. ALL EXISTING CONDITIONS SHOWN ARE REPRESENTED AS SUGGESTIVE INFORMATION AS THEY MAY NOT HAVE BEEN BUILT AND DETAIL FOR THE ORIGINAL DOCUMENTS OR PER THE OWNER'S INFORMATION. | | |
| KEY PLAN | | |
| NOT TO SCALE | | |
| BEDFORD CENTRAL SCHOOL DISTRICT PHASE 2 - BOND IMPROVEMENTS ADMINISTRATION BUILDING TOWN OF BEDFORD / WESTCHESTER COUNTY | | |
| REFLECTED CEILING PLAN and FINISH FLOOR PLAN | | |
| PROJECT | | |
| DRAWING BY: BCM | | |
| CHECK BY: PJH | | |
| NOTICE | | |
| THIS DRAWING, PREPARED FOR THE SPECIFIC PROJECT INDICATED IS AN INSTRUMENT OF SERVICE, AND THE PROPERTY OF BBS ARCHITECTS. LANDSCAPE ARCHITECTS AND ENGINEERS, P.C. IMPROVEMENT OR ANY USE OF THIS DRAWING FOR ANY OTHER PROJECT IS PROHIBITED. ANY ALTERATION OR REPRODUCTION OF THIS DOCUMENT IS ALSO PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT OR ENGINEER. | | |
| BBS ARCHITECTS LANDSCAPE ARCHITECTS ENGINEERS | | |
| 244 EAST MAIN STREET 187 WOLF ROAD, STE. 205 PATCHOGUE ALBANY NEW YORK 11772 NEW YORK 12205 T. 631.475.0349 T. 518.621.7650 F. 631.475.0361 F. 518.621.7655 www.BBSARCHITECTURE.com | | |
| SED No. 66-01-02-06-1-008-014 | | |
| DISTRICT BEDFORD CENTRAL SCHOOL DISTRICT | | |
| PROJECT PHASE 2 - BOND IMPROVEMENTS | | |
| DWG TITLE REFLECTED CEILING PLAN and FINISH FLOOR PLAN | | |
| SCALE: AS NOTED | | |
| DATE: APRIL 2024 | | |
| BID PICK-UP: FEBRUARY 24, 2025 | | |
| FILE No. 23-131C ADMIN. | | |
| A9.01 | | |



PROPOSED TOILET ROOM PLAN - LOWER LEVEL MECHANICAL LAYOUT

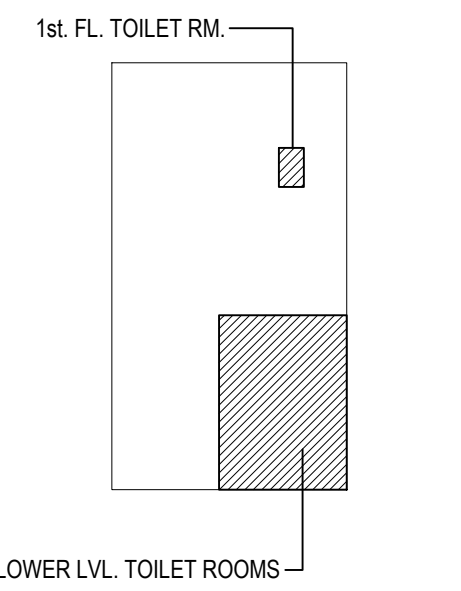
SCALE: 1/4" = 1'-0"

NEW MECHANICAL CONSTRUCTION NOTES

- 1
- MC to provide & install a new electric cabinet unit heater in the vestibule at the location shown. New cabinet unit heater shall be a "Sleipro" #ACBH0381CTW, 3kW, 208v / 1 ph., fully exposed cabinet, arrangement "TF", 300 cfm. New unit to be wired by the EC. Unit shall come with a unit mounted built-in thermostat, on-off switch, unit sub base, & built in disconnect switch. Unit shall have a fully finished cabinet on all sides & back.
- 2
- MC to provide & install a new electric cabinet unit heater at the location shown. New cabinet unit heater shall be a "Sleipro" #ACBH0281CTW, 2kW, 208v / 1 ph., fully recessed cabinet, arrangement "TF", 300 cfm. New unit to be wired by the EC. Unit shall come with a unit mounted built-in thermostat, on-off switch, full recess trim ring & built in disconnect switch. Unit shall have a fully finished cabinet on the front only.
- 3
- MC to provide & install a new electric cabinet unit heater in the Storage / Custodial Room at the location shown. New cabinet unit heater shall be a "Sleipro" #ACBH0281CTW, 2kW, 208v / 1 ph., fully recessed cabinet, arrangement "TF", 300 cfm. New unit to be wired by the EC. Unit shall come with a unit mounted built-in thermostat, on-off switch, recess trim ring, & built in disconnect switch. Unit shall have a fully finished cabinet on the front only.
- 4
- MC shall provide & install a new in-line exhaust fan, mtd. +/- 7'-0" x 11' at the location shown. New fan shall be a "Penn Barry" #SX085S, 1/2 hp, 120v, 435 cfm @ 1" s.p., 5.5 zones. Provide speed control for fan, mtd. in Custodial / Storage room. Provide backdraft damper. Provide a 7 day programmable timer to provide day / night operation of fan, mtd. in Custodial / Sto. room. Provide all supports for fan, tied into structure above. Provide kindorf or other steel rail systems as required to provide support for the fan. Use rubber in shear vibration isolators on hangers & flexible duct connections at inlet & outlet of fan.
- 5
- MC shall provide & install a new 18x12 louver & duct box through the wall where shown. Backing galvanized sheet metal box shall be 18x12 & shall extend completely through the wall. Provide bird screen for louver. Louver to be .081 l. extruded aluminum blades / jambs. Provide louver in color as selected by architect.
- 6
- MC shall provide & install a new 12x12 louver & duct box through the wall where shown. Backing galvanized sheet metal box shall be 12x12 & shall extend completely through the wall. Provide bird screen for louver. Louver to be .081 l. extruded aluminum blades / jambs. Provide louver in color as selected by architect.
- 7
- MC shall provide new ductwork as shown. New galvanized steel ductwork shall be constructed per SMACNA standards. Provide all supports, duct seal, fittings, etc. as required. New ductwork for outdoor air applications must be insulated per the latest edition of the NYS Energy Conservation Code. New exhaust ductwork is not required to be insulated. Provide volume dampers for each diffuser / each point of connection to cabinet unit heaters.
- 8
- MC shall provide a new "Nalor" #4260 egg crate exhaust grille w/ 6" dia. round collar at the locations shown. Provide support for grilles from the structure above (not the ceiling grid). Balance each grille to the value(s) shown on the plan.

| REV. | DATE | ITEM |
|------|------|------|
| | | |
| | | |
| | | |

NOTICE
THESE DRAWINGS ARE BASED ON CONSTRUCTION DRAWINGS NOT PREPARED BY BBS ARCHITECTS, LANDSCAPE ARCHITECTS AND ENGINEERS, P.C. AND, THEREFORE, MAY NOT REPRESENT THE CONDITIONS AS CONSTRUCTED AT THE TIME. ALL EXISTING CONDITIONS SHOWN ARE REPRESENTED AS SUGGESTIVE INFORMATION AS THEY MAY NOT HAVE BEEN BUILT AND DETAILED PER THE ORIGINAL DOCUMENTS OR PER THE OWNER'S INFORMATION.



KEY PLAN
NOT TO SCALE

PROJECT
BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
ADMINISTRATION BUILDING
TOWN of BEDFORD / WESTCHESTER COUNTY

DWG TITLE
LOWER LEVEL MECHANICAL PLAN

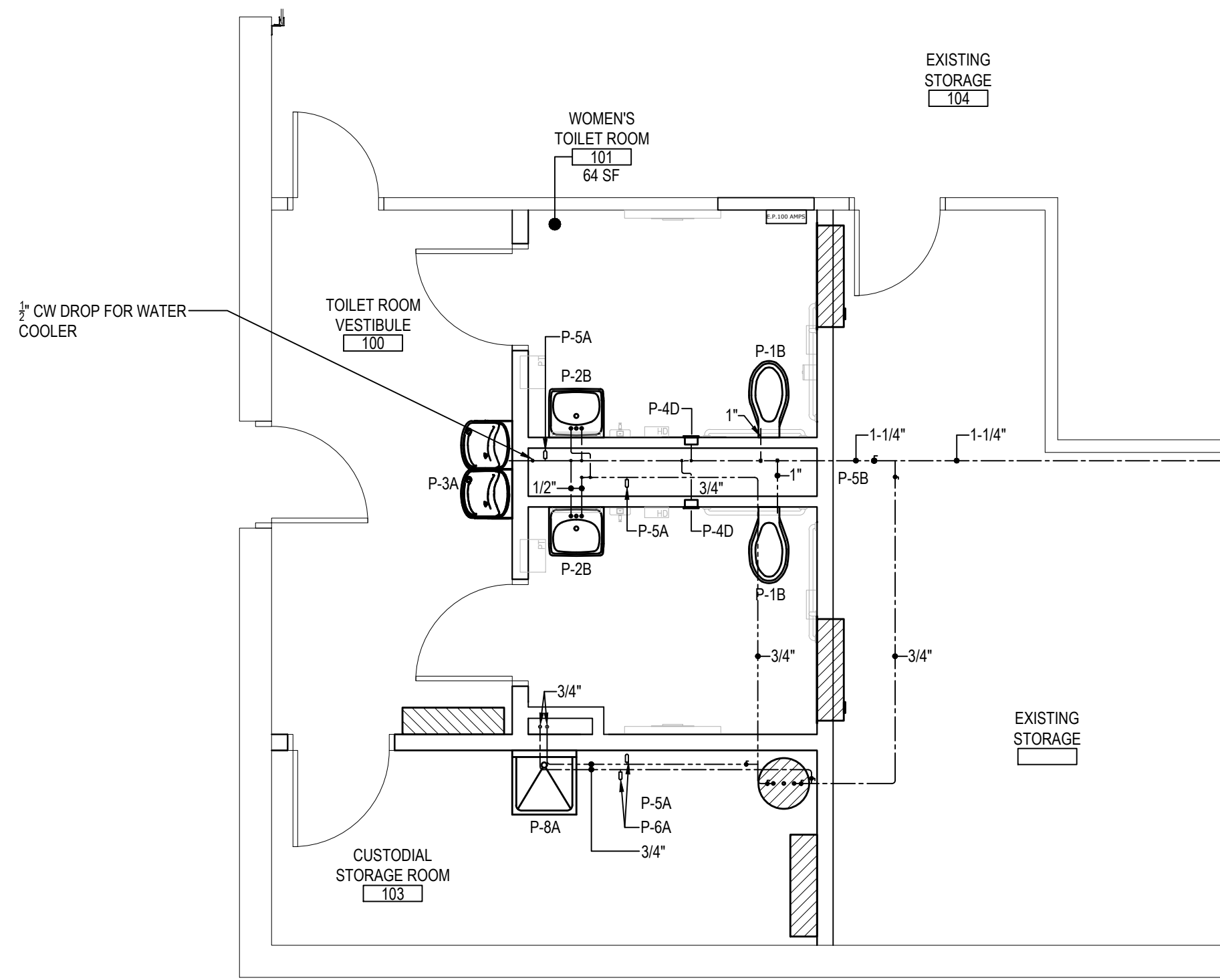
DRAWING BY: BCM
CHECK BY: PJH

NOTICE
THIS DRAWING, PREPARED FOR THE SPECIFIC PROJECT INDICATED IS AN INSTRUMENT OF SERVICE, AND, THE PROPERTY OF BBS ARCHITECTS, LANDSCAPE ARCHITECTS AND ENGINEERS, P.C. IMPROVEMENT OR ANY USE OF THIS DRAWING FOR ANY OTHER PROJECT IS PROHIBITED. ANY ALTERATION OR REPRODUCTION OF THIS DOCUMENT IS ALSO PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT OR ENGINEER.

BBS
ARCHITECTS
LANDSCAPE ARCHITECTS
ENGINEERS
244 EAST MAIN STREET | 187 WOLF ROAD, STE. 205
PATCHOGUE | ALBANY
NEW YORK 11772 | NEW YORK 12205
T: 631.475.0349 | T: 518.621.7650
F: 631.475.0361 | F: 518.621.7655
www.BBSARCHITECTURE.com

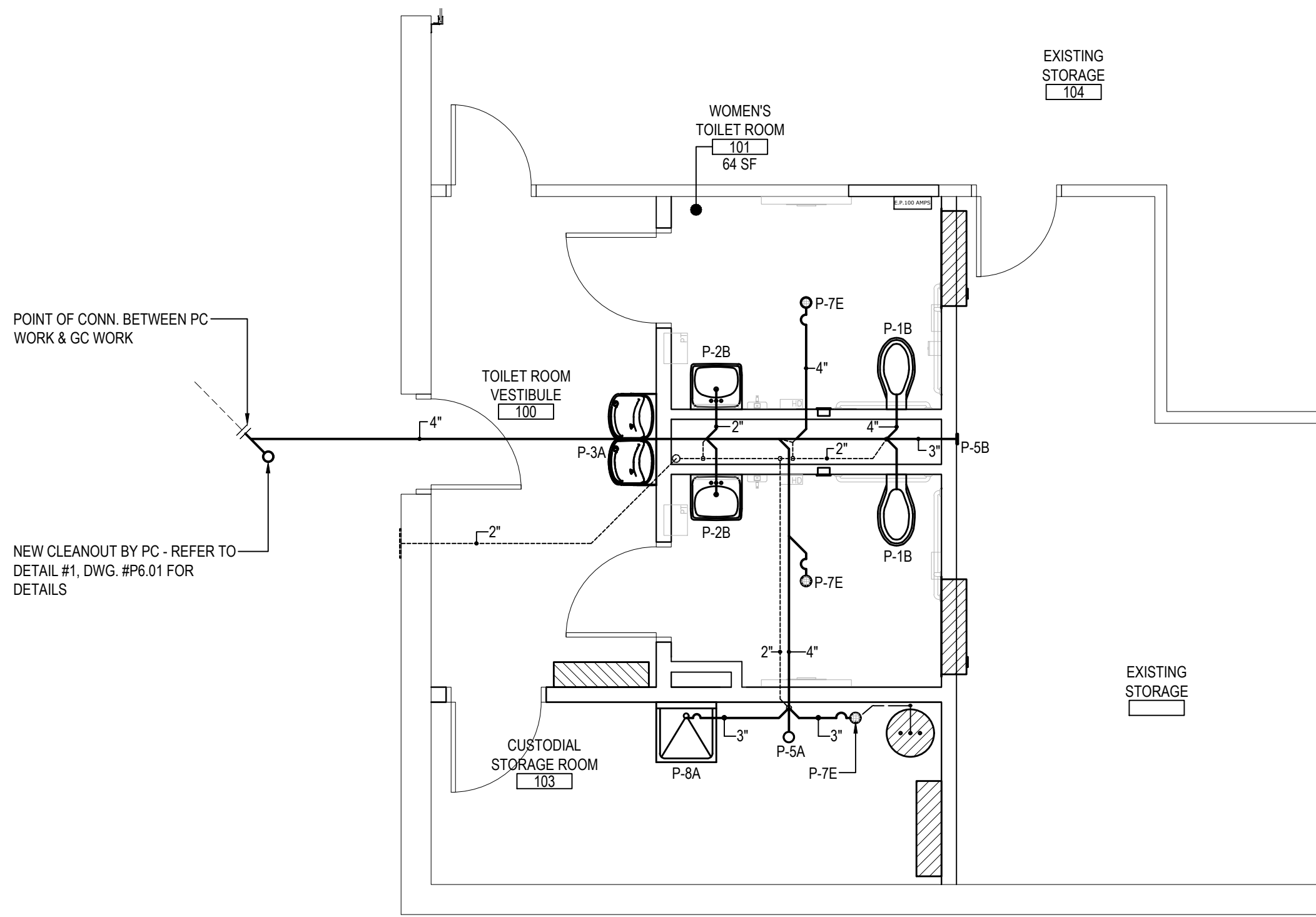
SED No: 66-01-02-06-1-008-014
DISTRICT: BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT: PHASE 2 - BOND IMPROVEMENTS
DWG TITLE: LOWER LEVEL MECHANICAL PLAN
SCALE: AS NOTED
DATE: APRIL 2024
BID PICK-UP: FEBRUARY 24, 2025
FILE No: 23-131C ADMIN

M2.01



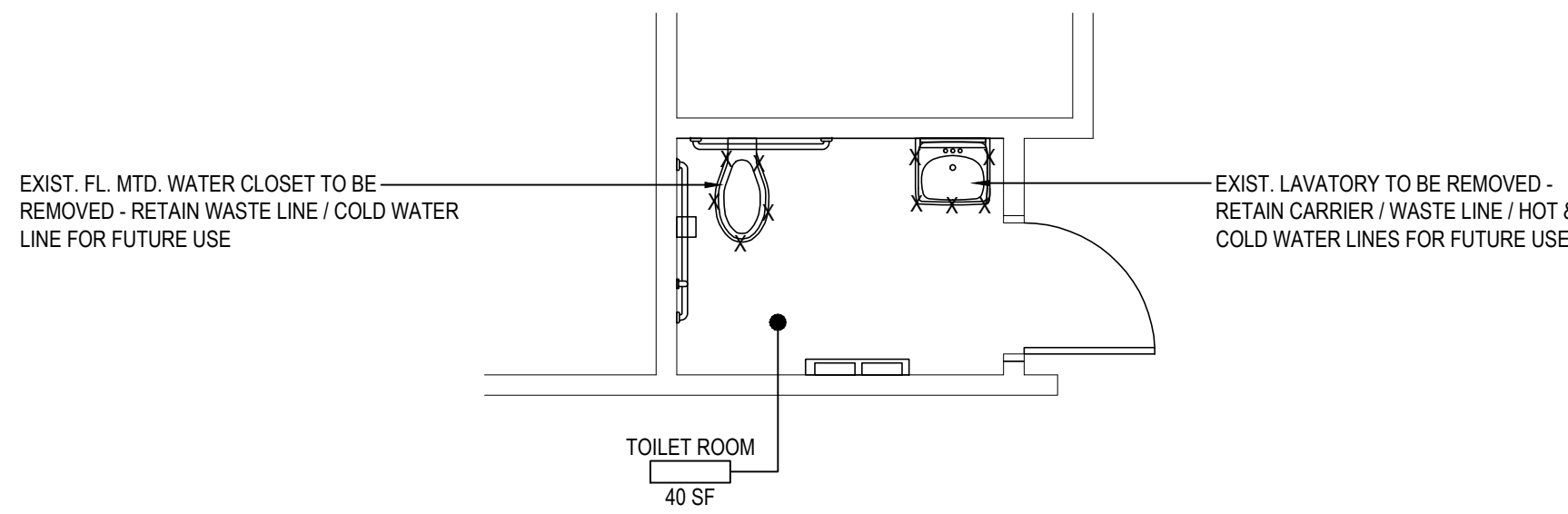
PROPOSED TOILET ROOM PLAN - LOWER LEVEL WATER PIPING LAYOUT

SCALE: 1/4" = 1'-0"



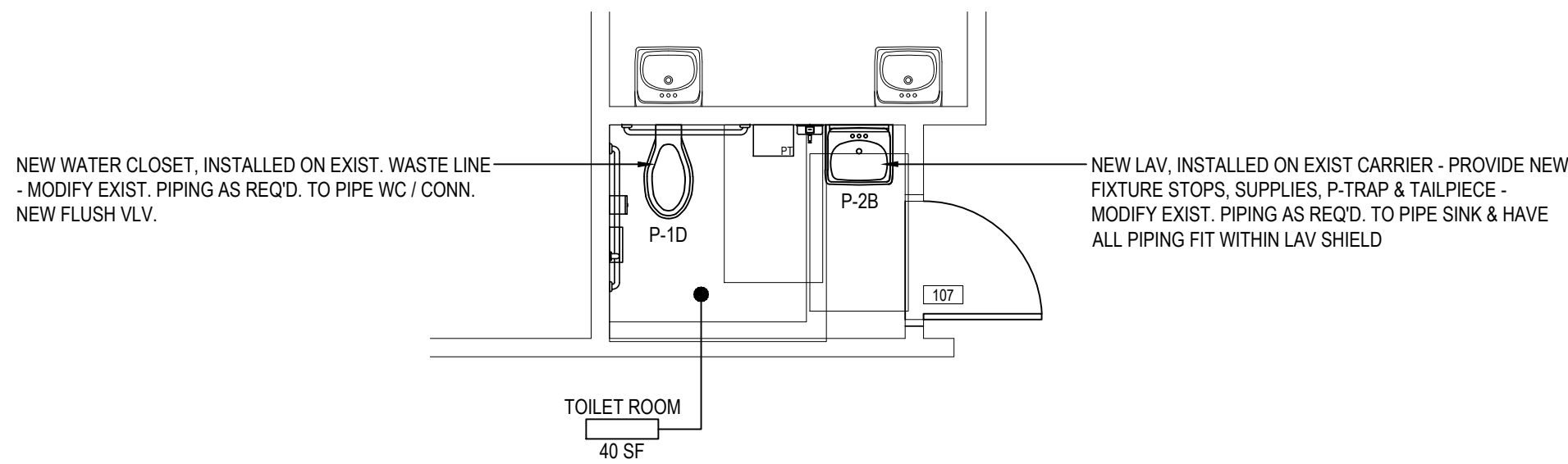
PROPOSED TOILET ROOM PLAN - LOWER LEVEL SANITARY PIPING LAYOUT

SCALE: 1/4" = 1'-0"



DEMOLITION PLAN (1st FLOOR TOILET ROOM)

SCALE: 1/4" = 1'-0"



PROPOSED TOILET ROOM PLAN (1st FLOOR TOILET ROOM)

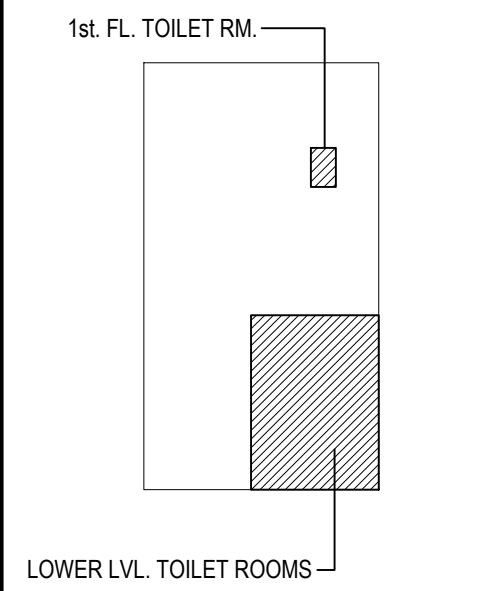
NOTE: USE ADULT HEIGHT FIXTURES.

SCALE: 1/4" = 1'-0"

| REV. | DATE | ITEM |
|------|------|------|
| | | |
| | | |
| | | |

NOTICE

THESE DRAWINGS ARE BASED ON CONSTRUCTION DRAWINGS NOT PREPARED BY BBS ARCHITECTS, LANDSCAPE ARCHITECTS AND ENGINEERS, P.C. AND, THEREFORE, MAY NOT REPRESENT THE CONDITIONS AS CONSTRUCTED AT THE TIME. ALL EXISTING INFORMATION AS THEY MAY NOT HAVE BEEN BUILT AND DETAILED PER THE ORIGINAL DOCUMENTS OR PER THE OWNER'S INFORMATION.



KEY PLAN

NOT TO SCALE

BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
ADMINISTRATION BUILDING
TOWN of BEDFORD / WESTCHESTER COUNTY

PROJECT
DWG TITLE

DRAWING BY: BCM
CHECK BY: PJH

NOTICE

THIS DRAWING, PREPARED FOR THE SPECIFIC PROJECT INDICATED IS AN INSTRUMENT OF SERVICE, AND, THE PROPERTY OF BBS ARCHITECTS, LANDSCAPE ARCHITECTS AND ENGINEERS, P.C. IMPROVEMENT OR ANY USE OF THIS DRAWING FOR ANY OTHER PROJECT IS PROHIBITED. ANY ALTERATION OR REPRODUCTION OF THIS DOCUMENT IS ALSO PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT OR ENGINEER.

BBS
ARCHITECTS
LANDSCAPE ARCHITECTS
ENGINEERS

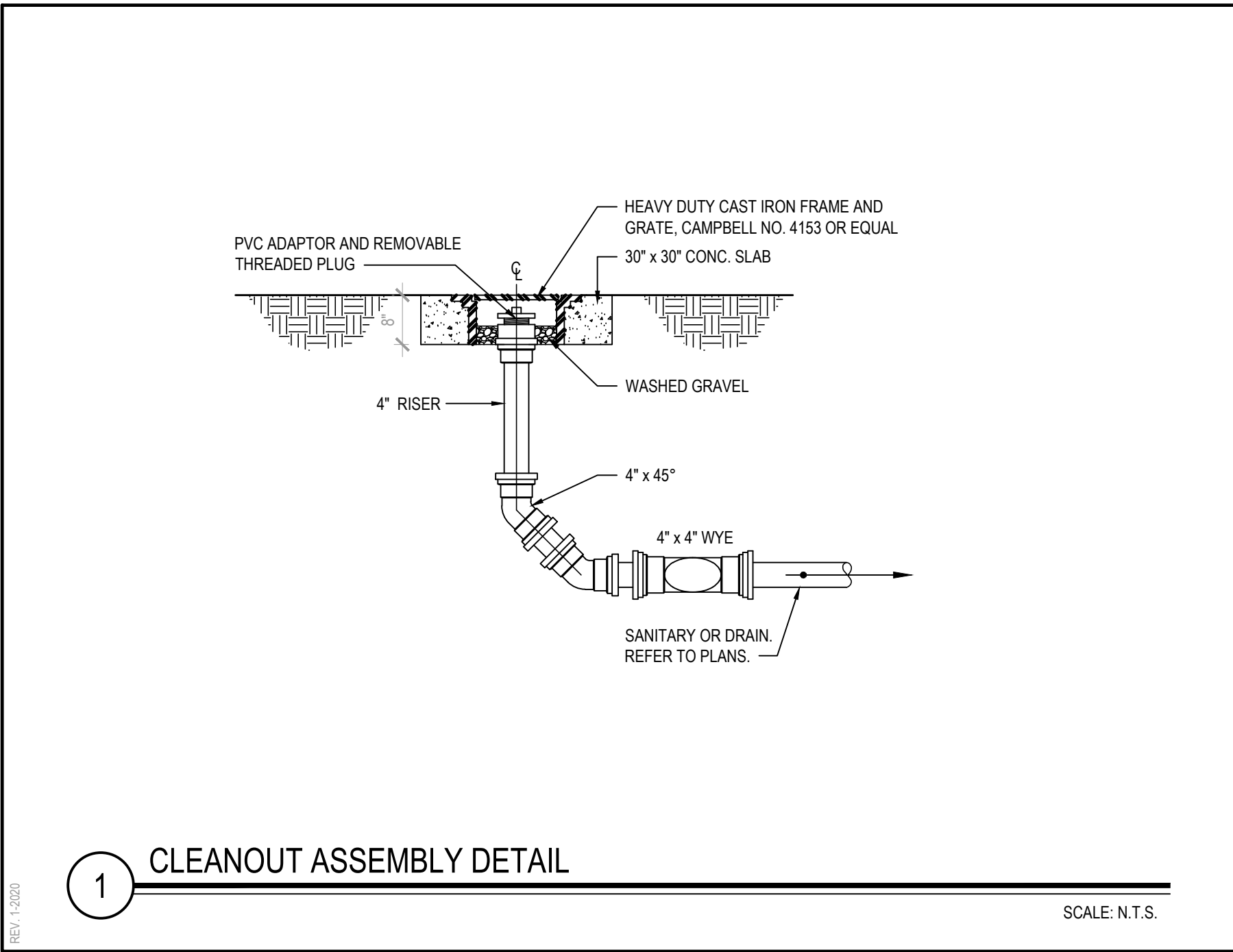
244 EAST MAIN STREET | 187 WOLF ROAD, STE. 205
PATCHOGUE | ALBANY
NEW YORK 11772 | NEW YORK 12205
T: 631.475.0349 | T: 518.621.7650
F: 631.475.0361 | F: 518.621.7655

www.BBSARCHITECTURE.com

| | |
|-------------|---------------------------------|
| SED No. | 66-01-02-06-1-008-014 |
| DISTRICT | BEDFORD CENTRAL SCHOOL DISTRICT |
| PROJECT | PHASE 2 - BOND IMPROVEMENTS |
| DWG TITLE | TOILET ROOM PLANS and DETAILS |
| SCALE | AS NOTED |
| DATE | APRIL 2024 |
| BID PICK-UP | FEBRUARY 24, 2025 |
| FILE No. | 23-131C ADMIN. |

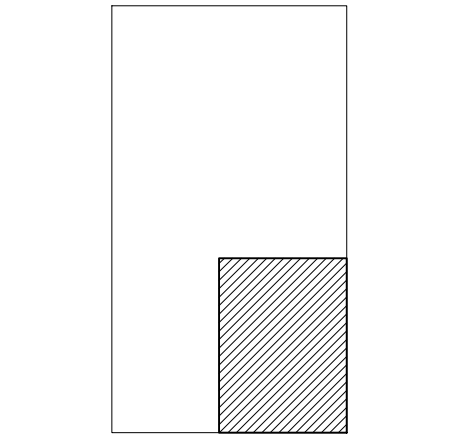
P2.01

| PLUMBING FIXTURE TYPES | | | | | | | | | |
|------------------------|---------|--|-----------|-----------|------------|-----------|----------------|--|--|
| FIXTURE TYPE | TAG NO. | FIXTURE | TRAP SIZE | VENT SIZE | COLD WATER | HOT WATER | TEMPERED WATER | DESCRIPTION | |
| WATER CLOSET | P-1B | ADA ACCESSIBLE WALL MOUNTED WATER CLOSET | 4" | 2" | 1-1/2" | -- | -- | ZURN MODEL# Z5615-BWL-AM, ECOVANTAGE HIGH-EFFICIENCY TOILET SYSTEM VITREOUS CHINA, 1.1 GPF OR GREATER HIGH-EFFICIENCY WALL HUNG TOILET WITH SIPHON JET FLUSHING ACTION, ZURN SHIELD CERAMIC GLAZE AND ELONGATED FRONT RIM WITH 1-1/2" TOP SPUD. ZURN MODEL# Z178200-ONE-LL, EXPOSED, QUIET PISTON TYPE, CHROME-PLATED FLUSHOMETER VALVE WITH A POLISHED EXTERIOR, COMPLETE WITH CHLORAMINE-RESISTANT, FILTERED PISTON KIT. THE VALVE INCORPORATES A BATTERY-POWERED SOLENOID ACTUATOR, AN AUTOMATIC SENSOR WITH A MANUAL OVERRIDE, PUSH BUTTON, AND A ROBUST VANDAL-RESISTANT METAL COVER. ZURN MODEL# Z5956SS-EL-AM, 1" HIGH, IS AN ELONGATED, EXTRA HEAVY DUTY, PREMIUM WHITE, OPEN FRONT TOILET SEAT WITH LESS COVER AND STAINLESS STEEL CHECK HINGE. PROVIDE A WALL CARRIER FOR TOILET SYSTEM. REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHT. | |
| WATER CLOSET | P-1D | ADA ACCESSIBLE FLOOR MOUNTED WATER CLOSET | 4" | 2" | 1-1/2" | -- | -- | ZURN MODEL# Z5665-BWL-L-AM, ECOVANTAGE HIGH-EFFICIENCY TOILET SYSTEM VITREOUS CHINA, 1.1 GPF OR GREATER, 16-3/4" HIGH WITH 1" HIGH TOILET SEAT, FLOOR MOUNTED, BOTTOM OUTLET TOILET WITH SIPHON JET FLUSHING ACTION AND ELONGATED FRONT RIM WITH 1-1/2" SPUD. ZURN MODEL# Z178200-ONE-LL, EXPOSED, QUIET PISTON TYPE, CHROME-PLATED FLUSHOMETER VALVE WITH A POLISHED EXTERIOR, COMPLETE WITH CHLORAMINE-RESISTANT, FILTERED PISTON KIT. THE VALVE INCORPORATES A BATTERY-POWERED SOLENOID ACTUATOR, AN AUTOMATIC SENSOR WITH A MANUAL OVERRIDE, PUSH BUTTON, AND A ROBUST VANDAL-RESISTANT METAL COVER. BATTERY POWERED SOLENOID ACTUATOR, AUTOMATIC SENSOR WITH MANUAL OVERRIDE, PUSH BUTTON, AND ROBUST VANDAL RESISTANT METAL COVER. ZURN MODEL# Z5956SS-EL-AM ELONGATED, 1" HIGH EXTRA HEAVY DUTY, PREMIUM WHITE, OPEN FRONT TOILET SEAT, LESS COVER, WITH STAINLESS STEEL CHECK HINGE. | |
| LAVATORY | P-2B | ADA ACCESSIBLE TOILET ROOM LAVATORY | 1-1/2" | 1-1/2" | 1/2" | 1/2" | 1/2" | ZURN MODEL# Z3341 WALL-MOUNTED CONCEALED CARRIER ARM LAVATORY - SINGLE HOLE 20" X 18" VITREOUS CHINA WALL-MOUNTED LAVATORY WITH SINGLE FAUCET HOLE, PROVIDED WITH HANGER PLATE AND HOLES FOR CONCEALED ARM CARRIER SYSTEMS, FRONT OVERFLOW. ZURN MODEL# Z5956-XL-S-F ZURN HYDRO-X POWER SENSOR FAUCETS, CHROME-PLATED CAST BRASS SENSOR FAUCET WITH INFRARED PROXIMITY SENSOR, A STANDARD 0.5 GPM FLOW CONTROL AND MOUNTING HARDWARE. ZURN MODEL# P6900-TMV-1-XL THERMOSTATIC LEAD FREE VALVE MEETS ASSE 1070. ZURN MODEL# Z8746-PC, CHROME PLATED CAST BRASS OPEN GRID DRAIN STRAINER, AND CHROME PLATED CAST BRASS ELBOW, FURNISHED WITH 1-1/4 17 GAUGE CHROME PLATED TUBULAR BRASS OFFSET TAILPIECE FOR SINK DEPTH TO 2-1/2. ZURN MODEL# Z8700-PC TO Z8709-PC, CHROME-PLATED CAST BRASS (COPPER ALLOY) BODY P-TRAP WITH CLEAN-OUT, TUBULAR BRASS WALL BEND AS SPECIFIED, DIE-CAST NUTS, AND SHALLOW ESCUTCHEON WITH COMPRESSION INLET. ZURN MODEL# Z8800-XL-LR-PC TO Z8809-XL-LR-LK-PC, TWO ZURN CHROME PLATED, SOLID BRASS ANGLE STOPS WITH ROUND WHEEL HANDLES OR LOOSE KEY AS SPECIFIED. TWO 12" FLEXIBLE CHROME PLATED COPPER LAVATORY RISERS COMPLETE WITH TWO CHROME PLATED STEEL FLANGES. ZURN MODEL# Z8808-XL-LR-PC TO Z8809-XL-LR-LK-PC INCLUDE 51(12MM) CHROME PLATED COPPER EXTENSION TUBES AND DEEP BELL STEEL FLANGES. TRUEBRO MODEL# Z016-AS-LAV SHIELD ENCLOSURE. ZURN MODEL# Z1031 LAVATORY SUPPORT SYSTEM WITH CONCEALED ARMS, COMPLETE WITH DURA-COATED RECTANGULAR STEEL UPRIGHTS WITH WELDED FEET, CAST IRON ADJUSTABLE HEADERS, CONCEALED ARMS, STEEL SLEEVES, ALIGNMENT TRUSS, AND MOUNTING FASTENERS. REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHT. | |
| WATER COOLER | P-3A | BI-LEVEL WATER COOLER WITH BOTTLE FILL STATION | 2" | 1-1/2" | 1/2" | -- | -- | FURNISH AND INSTALL ELKAY MODEL# L25TL8W5LP FILTERED BI-LEVEL SELF-CONTAINED WALL HUNG ELECTRIC REFRIGERATED WATER COOLER AT 8-GPH CHILLING CAPACITY AT 50 DEG. F WATER, LIGHT GRAY GRANITE FINISH, LEAD FREE, RATED 370-WATTS, 115-VOLTS, SINGLE PHASE, WITH EASY TOUCH FRONT AND SIDE PUSHBAR CONTROLS, FLEXI-GUARD SAFETY BUBBLER AND MODEL E2H20 BOTTLE FILLER STATION LOCATED ON THE LEFT SIDE (LOW-HI) ADA COOLER, WEIGHT 98-LBS. INSTALL ADA COOLER PER GUIDELINES 32" FROM FLOOR TO ORIFICE HEIGHT. FURNISH WITH MODEL# MLP200 BI-LEVEL IN WALL CARRIER. | |
| WALL HYDRANT | P-4D | WALL HYDRANT (INTERIOR) | -- | -- | 3/4" | -- | -- | ZURN MODEL# Z13350-CL-34FS ENCASED, ECOCLOTROLTM, LEAD-FREE, ANTI-SIPHON, MODERATE CLIMATE / INTERIOR WALL HYDRANT FOR FLUSH INSTALLATION. HYDRANT FEATURES ALL-BRONZE INTERIOR COMPONENTS WITH 1/2 TURN LONG-LIFE CERAMIC DISC CARTRIDGE, 3/4" FEMALE SOLDER INLET CONNECTION, AND 3/4" MALE HOSE CONNECTION. HYDRANT FURNISHED WITH TYPE 304 STAINLESS STEEL FLANGED HOUSING WITH LOCKING HINGED COVER STAMPED "WATER" AND INCLUDES OPERATING KEY. | |
| CLEANOUT | P-5A | FLOOR CLEAN-OUT | -- | -- | -- | -- | -- | ZURN MODEL# ZN1400-BZ-LVP CLEAN-OUT, DURA-COATED CAST IRON BODY WITH BOTTOM OUTLET, WITH GAS AND WATER TIGHT THREADED ABS TAPERED PLUG, POLISHED NICKEL BRONZE TOP AND VANDAL-PROOF SCREWS. (CLEANOUT SIZE TO MATCH PIPE SIZE) | |
| CLEANOUT | P-5B | WALL CLEAN-OUT | -- | -- | -- | -- | -- | ZURN MODEL# Z1468-VP WALL CLEAN-OUT, ROUND STAINLESS STEEL WALL ACCESS COVER COMPLETE WITH SECURING SCREW AND BRONZE RAISED HEX HEAD PLUG. (CLEANOUT SIZE TO MATCH PIPE SIZE) | |
| ARRESTOR | P-6A | WATER HAMMER ARRESTOR | -- | -- | 3/4" | -- | -- | QATEY QUIET PIPES HAMMER ARRESTORS SIZE A-F. ARRESTOR CHAMBERS SHALL BE SPECIFICALLY SIZED TO ACCOMMODATE AND DISSIPATE ENERGY GENERATED BY SUCH VALVES AND FAUCETS. ARRESTORS SHALL BE EFFECTIVE WHEN INSTALLED ANY ANGLE. ARRESTOR SHALL BE LEAD-FREE, MADE OF COPPER AND INCLUDE POLYPROPYLENE PISTON WITH TWO NBR O-RINGS. ARRESTORS SHALL BE ANSISASSE1010-2017 CERTIFIED AND APPROVED FOR INSTALLATION WITH NO ACCESS PANEL. REQUIRED: ARRESTOR BODY COPPER (TYPE K), PISTON POLYPROPYLENE WITH TWO NBR O-RINGS PISTON LUBRICATION: DOW CORNING MOLYKOTE 111. FITTINGS AVAILABLE: MALES SWEAT/PRESS FEMALE CPVC MIP-F1807 PEX & F1960 PEX/NO LEAD BRASS C46400. TEMPERATURE RANGE:33°F-180°F MAX WORKING PRESSURE: 0-400 PSI. ANSISASSE1010-2004CUPC PDI WH-201-2017. | |
| FLOOR DRAIN | P-7E | LOW PROFILE ADJUSTABLE FLOOR DRAIN | 4" | 2" | -- | -- | -- | ZURN MODEL# ED-2322-ST LOW PROFILE ADJUSTABLE FLOOR DRAIN, RECOMMENDED FOR FINISHED FLOOR AREAS WHERE IS NOT REQUIRED. THE DRAIN IS DESIGNED FOR FOOT TRAFFIC AND LIGHT CART APPLICATIONS. COMPLETE WITH CAST IRON BODY AND ADJUSTABLE NICKEL BRONZE STRAINER ASSEMBLY, 1/2" P-TRAP PRIMER CONNECTION WITH PLUG. OPTIONS CHROME PLATED, POLISHED BRASS, 6" DIAMETER NICKEL HEAD ASSY. VANDAL PROOF. FURNISH AND INSTALL WITH J.R. SMITH MODEL# Z692-04 QUAD CLOSE TRAP SEAL. | |
| SERVICE SINK | P-8A | FLOOR MOUNTED SERVICE SINK | 3" | 2" | 1/2" | 1/2" | -- | ZURN MODEL# Z1996-36 MOP SERVICE BASIN 24"X36"X10", MOLDED HIGH DENSITY COMPOSITE BASIN WITH AN INTERGRALLY MOLDED, SELF-DRAINING MCP SHELF, PVC DRAIN BODY, STAINLESS STEEL STRAINER & 3" GASKETED OUTLET CONNECTION. CERTIFICATIONS: MEETS ANSI Z124, CSA LISTED , AND IAPMO LIST UNDER FILE#3561. ZURN MODEL# Z843M6-XL POLISHED CHROME-PLATED CAST BRASS 8" SINK FAUCET, LEAD FREE W/ QUARTER TURN CERAMIC DISC CARTRIDGES, 3/8" SHORT SWIVEL INLETS PROVIDING ADJUSTABLE CENTERS FROM 7-1/4" TO 8-3/4", INTEGRAL SERVICE STOPS & A 6" CENTERLINE CAST BRASS SPOUT W/ CHEMICAL RESISTANT VACUUM BREAKER, 3/4" HOSE THREADED OUTLET, PAIL HOOK AND ADJUSTABLE WALL BRACE. UNIT IS FURNISHED W/ 6" VANDAL-RESISTANT COLOR-CODED METAL WRIST BLADE HANDLES. | |



| REV. | DATE | ITEM |
|------|------|------|
| | | |
| | | |
| | | |
| | | |

NOTICE
THESE DRAWINGS ARE BASED ON CONSTRUCTION DRAWINGS NOT PREPARED BY BBS ARCHITECTS, LANDSCAPE ARCHITECTS AND ENGINEERS, P.C. AND, THEREFORE, MAY NOT REPRESENT THE CONDITIONS AS CONSTRUCTED AT THE TIME. ALL EXISTING CONDITIONS SHOWN ARE REPRESENTED AS SUGGESTIVE INFORMATION AS THEY MAY NOT HAVE BEEN BUILT AND DETAILED PER THE ORIGINAL DOCUMENTS OR PER THE OWNER'S INFORMATION.



KEY PLAN
NOT TO SCALE

PROJECT
BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
ADMINISTRATION BUILDING
TOWN OF BEDFORD / WESTCHESTER COUNTY
DWG TITLE
PLUMBING DEMOLITION / NEW PLUMBING WORK

DRAWING BY: CMW
CHECK BY: CMW

NOTICE
THIS DRAWING, PREPARED FOR THE SPECIFIC PROJECT INDICATED IS AN INSTRUMENT OF SERVICE, AND, THE PROPERTY OF BBS ARCHITECTS, LANDSCAPE ARCHITECTS AND ENGINEERS, P.C. IMPROVEMENT OR ANY USE OF THIS DRAWING FOR ANY OTHER PROJECT IS PROHIBITED. ANY ALTERATION OR REPRODUCTION OF THIS DOCUMENT IS ALSO PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT OR ENGINEER.

BBS
ARCHITECTS
LANDSCAPE ARCHITECTS
ENGINEERS
244 EAST MAIN STREET | 100 GREAT OAKS BLVD.
PATCHOGUE | SUITE 115, ALBANY
NEW YORK 11772 | NEW YORK 12033
T: 631.475.0349 | T: 518.621.7650
F: 631.475.0361 | F: 518.621.7655
www.BBSARCHITECTURE.com

SED No: 66-01-02-06-1-008-014
DISTRICT: BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT: PHASE 2 - BOND IMPROVEMENTS
DWG TITLE: PLUMBING DEMOLITION & NEW WORK
SCALE: AS NOTED
DATE: APRIL 2024
BID PICK-UP: FEBRUARY 24, 2025
FILE No: 23-131C ADMIN

ELECTRICAL CONSTRUCTION NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NEC, APPLICABLE LOCAL CODES, STATE CODES, SCHOOL WORKING RULES AND SCHEDULE DIRECTIVES, AND THE ENGINEER'S SPECIFICATIONS.
2. THE VOLTAGE CHARACTERISTIC OF EXISTING BUILDING IS 208Y/120V, 3-PHASE, 4-WIRE. THE VOLTAGE CHARACTERISTIC OF THE PROPOSED ADDITIONAL WIRING SHALL BE 208Y/120V DERIVED FROM STEP-DOWN TRANSFORMERS. ALL EQUIPMENT SHALL BE COMPATIBLE WITH THESE CHARACTERISTICS.
3. THE DRAWINGS SHOW SCHEMATICALLY, THE APPROXIMATE LOCATION OF ALL EQUIPMENT, CONDUITS, DEVICES, ETC., THE EXACT LOCATION OF WHICH SHALL BE SUBJECT TO APPROVAL BY THE ARCHITECT/OWNER WHO RESERVES THE RIGHT TO MAKE PRIOR TO INSTALLATION, ANY REASONABLE CHANGES IN LOCATION INDICATED WITHOUT EXTRA COST TO THE OWNER. CONTRACTOR SHALL VERIFY ALL INDICATED OR APPROXIMATED DIMENSIONS DRAWN OR DENOTED.
4. ELECTRICAL CONTRACTOR SHALL EXAMINE THE SITE TO VERIFY WORK TO BE PERFORMED AS SHOWN ON DRAWINGS AND SPECIFICATIONS BEFORE SUBMITTING HIS BID. ANY DISCREPANCY BETWEEN DRAWING/SPECIFICATIONS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO ARCHITECT/ENGINEERS ATTENTION BEFORE BID SUBMITTAL.
5. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LABOR SERVICE MATERIALS, EQUIPMENT, AND RELATED ITEMS TO COMPLETE THE WORK OF THIS DIVISION, AS REQUIRED BY THE NATIONAL ELECTRICAL CODE, AND ALL STATE AND LOCAL AUTHORITIES HAVING JURISDICTION.
6. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL ELECTRICAL HARDWARE SHOWN ON THESE DRAWINGS AND RELATED DETAIL MATERIALS NOT SPECIFICALLY SHOWN OR SPECIFIED.
7. ELECTRICAL CONTRACTOR SHALL PAY ANY FEES APPLICABLE TO ELECTRICAL WORK, SUCH AS, BUT NOT LIMITED TO, THE POWER COMPANY, TELEPHONE COMPANY, CITY, CERTIFIED ELECTRICAL INSPECTORS, ALARM AND FIRE PROTECTION COMPANIES.
8. THE ELECTRICAL CONTRACTOR SHALL REFER TO ALL OTHER DRAWINGS IN BID PACKAGE AND PERFORM THE WORK (INCLUDE IN HIS BID) INDICATED AS ELECTRICAL CONTRACTOR (E.C.) WORK.
9. ALL WORK SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND DIRECTIVES OF THE SCHOOL DISTRICT BUILDINGS AND GROUNDS DEPARTMENT.
10. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL OBTAIN AN INSPECTION CERTIFICATE AND PAY ASSOCIATED FEE. SUBMIT A PHOTOCOPY OF THIS CERTIFICATE TO THE ENGINEER WITH FINAL PAYMENT APPLICATION.
11. ELECTRICAL CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND THEIR INSTALLATION TO BE FREE OF DEFECTS FOR A PERIOD AS DEFINED IN SECTION 7100 OF THE PROJECT MANUAL.
12. A COMPLETE SYSTEM OF WIRING, WITH ALL FEEDERS, MAINS, AND BRANCHES AS SHOWN ON THE DRAWINGS, SHALL BE FURNISHED AND INSTALLED FROM THE MAIN DISTRIBUTION BOARD TO THE PANELS OUTLETS, MOTORS, AND APPURTENANCES.
13. PROVIDE IDENTIFICATION FOR ALL PANEL AND MOTOR FEEDER CABLES IN PULL BOXES AND AT TERMINATIONS, ANY CONDUCTOR VOLTAGES HIGHER THAN 240 VOLTS SHALL BE MARKED ON DEVICES AND JUNCTION BOXES.
14. FURNISH AND INSTALL ALL WIRING OF ANY VOLTAGE OR PURPOSE AS SHOWN ON THE DRAWINGS.
15. ALL BRANCH CIRCUITS SHALL HAVE INDIVIDUAL NEUTRALS, SHARING COMMON NEUTRALS AMONG BUNDLED CIRCUITS IS SPECIFICALLY DISALLOWED UNLESS OTHERWISE NOTED.
16. PULL/JUNCTION BOXES SHALL BE PROVIDED WHERE INDICATED OR AS OTHERWISE REQUIRED TO FACILITATE THE PROPER INSTALLATION OF WIRES AND CABLES. CONDUITS MAY BE INCREASED IN SIZE FOR CONSTRUCTION CONVENIENCE.
17. FURNISH AND INSTALL ALL DISCONNECT DEVICES AND SAFETY SWITCHES AS SHOWN ON THE DRAWINGS AND/OR AS REQUIRED TO CONFORM WITH REQUIREMENTS.
18. FURNISH AND INSTALL ALL INDICATED LIGHTING FIXTURES AND MOUNTING HARDWARE AS REQUIRED FOR A COMPLETE INSTALLATION.
19. ELECTRICAL CONTRACTOR SHALL PROVIDE TO SCHOOL 5 PERCENT SPARE LAMPS (MINIMUM QUANTITY 1) OF EACH TYPE SPECIFIED WITH NEW FIXTURES.
20. PROVIDE ALL WIRING, PANEL BOARDS, SWITCHES, FUSES, EQUIPMENT, AND ALL INCIDENTAL MATERIALS REQUIRED TO SUPPLY TEMPORARY AND PERMANENT ELECTRICAL NEEDS FOR THE WORK INVOLVED, ALL IN ACCORDANCE WITH OSHA, LOCAL, STATE AND UNDERWRITERS REQUIREMENTS.
21. ALL WIRING TO BE 100% 14/20/20#-W/120/135/40C, OR STEEL JACKETED MC CABLE (WHERE CODE PERMITTED), UNLESS OTHERWISE SPECIFIED ON DRAWINGS. RUN BRANCH CIRCUITS IN DROPPED CEILINGS, VOIDS, & CHASES. CONDUITS MAY BE SURFACE MOUNTED IN MECHANICAL SPACES UNLESS OTHERWISE NOTED. CONDUITS IN PUBLIC AREAS SHALL BE CONCEALED IN HUNG CEILINGS, EMBEDDED IN SLAB OR MASONRY WALLS, EXCEPT WHERE SURFACE MOUNTED RACEWAY IS SPECIFIED. ALUMINUM JACKETED MC CABLE IS NOT ACCEPTABLE.
22. ALL CONNECTIONS AND SPLICES SHALL BE MADE ONLY IN ACCESSIBLE JUNCTION BOXES.
23. ALL COUPLINGS AND CONNECTORS FOR USE WITH EMT SHALL BE COMPRESSION TYPE. SET SCREW TYPE OR INDENT TYPE FITTINGS WILL NOT BE ACCEPTED.
24. ALL CONNECTIONS TO CONDUIT RUN UNDERGROUND SHALL BE MADE WATERTIGHT. ALL METALLIC CONDUIT INSTALLED IN EARTH FILL, AS WELL AS UNDERGROUND, SHALL BE PAINTED WITH TWO COATS OF ASPHALTUM PAINT OR EQUAL.
25. WIRING INSTALLED IN CEILINGS SHALL BE HUNG INDEPENDENT OF CEILING SYSTEM AND SECURELY TIED TO BUILDING STEEL.
26. ALL LOW VOLTAGE FIRE ALARM, PA INTERCOM, PHONE, DATA, ETC.) WIRING INSTALLED IN OPEN AREAS SHALL BE IN METALLIC RACEWAY IN MECHANICAL AREAS, GYMNASIUMS, ART ROOMS, STORE ROOMS, ETC., AND IN SURFACE MOUNTED RACEWAY IN PUBLIC AREAS. LOW VOLTAGE WIRE INSTALLED IN DROPPED CEILINGS SHALL BE BUNDLED TOGETHER AND SUPPORTED BY BUILDING STEEL.
27. LOW VOLTAGE WIRE SHALL NOT BE SUPPORTED BY BRANCH CIRCUITS OR FEEDER CIRCUITS AND SHALL NOT BE SUPPORTED BY CONDUIT, PIPES, ETC.. LOW VOLTAGE WIRING NOT INSTALLED IN CONDUITS, SHALL BE PLENUM RATED.
28. CONDUITS SHALL BE SECURED IN PLACE AND PROTECTED WHERE NECESSARY TO PREVENT DAMAGE DURING CONSTRUCTION. FURNISH AND INSTALL ALL HARDWARE TO PROPERLY SUPPORT ALL CONDUITS NOT INSTALLED IN CONCRETE SLABS OR UNDERGROUND.
29. ALL CONDUITS OR MC CABLE SHALL BE EQUIPPED WITH AN INSULATING/CHAFE GUARD GROMMET AT WIRE EXIT/ENTRANCE. MC CABLE SHALL USE MC STYLE BUSHINGS. BX OR OTHER BUSINGS ARE SPECIFICALLY DISALLOWED.
30. WHERE AN EXISTING CONDUIT OR CABLE IS REQUIRED TO BE REMOVED, BUT SERVES AN EXISTING PIECE OF EQUIPMENT WHICH IS TO REMAIN OPERABLE, THE ELECTRICAL CONTRACTOR SHALL REROUTE SAID CONDUIT OR CABLE OR PROVIDE A NEW SOURCE OF POWER (APPROVED BY ENGINEERING) TO THIS EQUIPMENT AS A PART OF THIS CONTRACT.
31. ALL PANELS, SWITCHES, DISCONNECT STARTERS, OR OTHER ELECTRIC SYSTEM CONTROLS SHALL BE STENCILED WITH THEIR APPROPRIATE DESIGNATION/FUNCTION. ALL CIRCUIT BREAKERS SHALL BE IDENTIFIED BY A PANEL SCHEDULE OR STENCIL ADJACENT TO THE CIRCUIT BREAKER.
32. ALL CIRCUIT BREAKERS POSITIONS IN ALL PANELS ARE SHOWN FOR ESTIMATE PURPOSES ONLY. EC IS RESPONSIBLE FOR LOAD BALANCING.
33. ALL DEVICES SHALL BE FASTENED IN PLACE SECURELY. GRID MOUNTING LIGHTING FIXTURES SHALL BE SECURED TO GRID WITH CLIPS LISTED FOR THE PURPOSE OR SUSPENDED FROM STRUCTURE PER NEC.
34. WORK WHICH MUST BE DONE IN OCCUPIED AREAS SHALL BE DONE AT SUCH TIMES AS INDICATED IN THE PHASING OF CONSTRUCTION AND AS APPROVED BY THE SCHOOL.
35. WHERE THE ELECTRICAL CONTRACTOR IS INSTRUCTED TO PROVIDE, INSTALL AND WIRE CIRCUIT BREAKER(S) TO AN EXISTING PANEL AND THAT PANEL DOES NOT HAVE THE ROOM TO INSTALL REQUIRED CIRCUIT BREAKERS, THE ELECTRICAL CONTRACTOR SHALL REMOVE (2) ADJACENT 1-P CIRCUIT BREAKERS AND PROVIDE A 3-P, 60A BREAKER IN THEIR PLACE FOR SUB FEED TO A SURFACE MOUNTED 100A 3-P, 4W, 4-P CABLE SUB PANEL, AND ESTABLISH OVER/LOW CIRCUITS IN NEW SUB PANEL, EACH WITH REQUIRED CIRCUIT BREAKERS. PROVIDE (3) 1-P, AMPERAGE AS BEFORE CIRCUIT BREAKERS FOR DISCONNECTED CIRCUITS IN MAIN PANEL AND RECONNECT THEM IN SUB PANEL. SUB PANEL FEED TO BE 300% MINIMUM (100% MINIMUM) 120V.
36. SELECTED RECEPTACLES AS SHOWN ON DRAWINGS MAY BE GFI PROTECTED BY CONNECTING TO GFCI RECEPTACLE FIRST IN CIRCUIT. ALL RECEPTACLES THAT ARE PROTECTED FROM AN UPSTREAM GFCI UNIT SHALL BE VISIBLY LABELED AS SUCH. GFCI RECEPTACLE SHALL BE SPEC. GRADE AND RATED 20A, WITH OPERATING NOTIFICATION INDICATING LIGHT.
37. ALL DEVICES ADDRESSED BY ADA REGULATIONS SHALL BE INSTALLED AT ADA COMPLIANT HEIGHT AND LOCATIONS.
38. ALL NEW LIGHTING OR EXISTING LIGHTING HAVING SWITCHING REARRANGEMENT SHALL BE EQUIPPED WITH CODE COMPLIANT ENERGY CONSERVATION CONTROLS. SUCH CONTROL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
39. REMOVAL OF ELECTRICAL ITEMS INCLUDES THEIR DISPOSAL. THE EXCEPTION WILL BE TO TURN OVER TO THE OWNER ITEMS, IF ANY, THEY SPECIFY TO BE RETAINED IN THEIR INVENTORY. PCB OR ASBESTOS BEARING MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH LAWS AND REGULATIONS.
40. EC SHALL PROVIDE A WIRE WEATHERPROOF GFCI RECEPTACLES ON ALL APPLICABLE ROOFTOP UNITS AS PART OF HIS BID. SEE MECHANICAL EQUIPMENT SCHEDULES FOR UNITS WITH SERVICE RECEPTACLES FACTORY INSTALLED.
41. WHEREAS OTHERWISE NOTED, STARTERS AND DISCONNECTS FOR MECHANICAL EQUIPMENT SHALL BE FURNISHED BY THE MECHANICAL CONTRACTOR. COORDINATE WITH THE MECHANICAL CONTRACTOR FOR ALL POWERED MECHANICAL EQUIPMENT. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO INSTALL ALL MOTOR STARTERS AND ASSOCIATED POWER WIRING FROM SOURCE TO UNIT VIA STARTERS AND DISCONNECTS. THE LOCATIONS OF MOTOR STARTERS SHALL BE DETERMINED BY THE MECHANICAL CONTRACTOR IN THE FIELD AND SUBMITTED TO THE ENGINEER FOR APPROVAL, UNLESS IT IS SPECIFIED ON THE DRAWINGS. THE ELECTRICAL CONTRACTOR SHALL REFER TO THE MECHANICAL DRAWINGS, EQUIPMENT SCHEDULES & NOTES AND INCLUDE IN HIS BID PRICE ALL ELECTRICAL WORK ASSOCIATED WITH THEIR INSTALLATION, AND THE REMOVAL OF MOTOR STARTERS/DISCONNECTS NO LONGER REQUIRED.

DEMOLITION NOTES:

1. THE ITEMS SPECIFICALLY SHOWN ON DEMOLITION DRAWINGS ARE TO BE ADDRESSED BY THE ELECTRICAL CONTRACTOR. THE ITEMS ARE TO BE TREATED AS NOTED AND RANGE FROM DIRECT REMOVAL AND DISPOSAL, OR REMOVAL, STORAGE, AND RE-INSTALLATION/LOCATION, OR TEMPORARY REMOVAL/STORAGE, AND RE-INSTALLATION IN SAME LOCATION.
2. MANY OTHER ELECTRIC ITEMS EXIST THAT ARE NOT SHOWN INCLUDE, BUT ARE NOT LIMITED TO, SWITCHES, RECEPTACLE, FLOOR OUTLETS, LOW VOLTAGE JACKS, LOW VOLTAGE DEVICES AND WIRING, TELEPHONE PUNCH DOWN BLOCKS, AND OUT OF SERVICE ITEMS. ALL SUCH ITEMS SHALL BE PERMANENTLY DE-ENERGIZED, DISCONNECTED, AND OTHERWISE MADE SAFE FOR DEMOLITION BY NON-ELECTRIC DEMOLITION WORKERS. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL ELECTRIC DEVICES, OF ANY VOLTAGE OR FUNCTION, THAT ARE TO BE DEMOLISHED ARE SAFE AND ADVISE THE DEMOLITION CONTRACTOR WHEN THIS IS SO.
3. AFTER THE ELECTRICAL CONTRACTOR HAS DISCONNECTED ELECTRIC SUPPLIES TO ITEMS TO BE DEMOLISHED, HE SHALL ADVISE THE GENERAL CONTRACTOR OF ANY ELECTRIC ITEMS TO BE RETAINED FOR FUTURE USE AND THEREFOR NOT TO BE DEMOLISHED. THE GENERAL CONTRACTOR SHALL THEN PERFORM ALL WORK ZONE DEMOLITION. THIS MATTER APPLIES TO ALL ELECTRIC ITEMS, OF ANY VOLTAGE OR PURPOSE.
4. THE SPECIAL/SPECIFIC ITEMS SHOWN ON THE DRAWING FOR ELECTRICAL CONTRACTOR TO ACT ON WERE FOUND BY SURVEY. NUMEROUS LOCATIONS WERE BLOCKED BY FURNITURE, ETC. AND ADDITIONAL EQUAL TYPE ITEMS MAY BE PRESENT. THE ELECTRICAL CONTRACTOR SHALL ALLOW FOR THIS IN HIS BID PRICE AND ATTEND TO THOSE EQUAL OR SIMILAR DEVICES AS MAY BE DISCOVERED.
5. REMOVAL ITEMS THAT ARE LISTED AS TO BE TURNED OVER TO OWNERS INVENTORY SHALL BE DISCUSSED WITH THE DISTRICT BUILDINGS AND GROUNDS MANAGER. THOSE ITEMS THAT THE OWNER DECLINES SHALL THEN BE DISPOSED OF BY THE CONTRACTOR IN THE MANNER OF OTHER PERMANENT REMOVALS. ANY PCB BEARING FLUORESCENT FIXTURES SHALL BE DISPOSED OF PER REGULATIONS.
6. RETAIN EXISTING RECEPTACLES IN WALLS THAT WILL NOT BE IN CONFLICT WITH NEW CONSTRUCTION. RETAIN LIGHT SWITCH LOCATIONS THAT WILL NOT BE IN CONFLICT WITH NEW CONSTRUCTION. INSTALL BLANKING PLATE COVERS OVER THE UNUSED PORTION OF GANG BOXES HAVING MORE GANG POSITIONS THAN NEEDED FOR NEW SWITCHES.
7. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR GENERAL, NON-ELECTRIC, CONTRACTOR DEMOLITION. ELECTRICAL CONTRACTOR RESPONSIBLE TO SAFE OFF LIGHTING CIRCUITS FOR REMOVAL BY OTHERS. NO SPECIFIC QUANTITIES OR LOCATIONS ARE SHOWN. RETURN WHATEVER QUANTITY, IF ANY, OF THESE TO OWNERS INVENTORY IF HE SO SPECIFIES OR THEY ARE OTHERWISE TO BE DISPOSED OF. ELECTRICAL CONTRACTOR SHALL EXAMINE FIXTURES FOR PRESENCE OF PCBs AND SPECIAL DISPOSAL.
8. THE ELECTRICAL CONTRACTOR SHALL COVER ALL BACK BOXES IN THE WALL THAT BECOME EXPOSED DUE TO DEVICE REMOVALS. THIS INSTRUCTION ALSO APPLIES TO EXPOSED ELECTRICAL BACK BOXES AS MAY EXIST AT THE SITE PRIOR TO THIS PROJECT. THE COVER SHALL BE BRUSHED ALUMINUM WITH CHAMFERED EDGES AND COVER THE HOLE COMPLETELY WITH AT LEAST 3/4" EXTRA MARGIN ON ALL SIDES. MOUNT THE COVER WITH SCREWS TO MATCH THE ORIGINAL PATTERN.
9. IT IS EXPECTED THAT STRUCTURAL DEMOLITION BY THE GENERAL CONTRACTOR WILL CAUSE VARIOUS ELECTRIC SUPPLIES, OF VARIOUS VOLTAGES AND PURPOSES, TO BE CUT AND RENDER SOME DEVICES TEMPORARILY INACTIVE. IF IT IS THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO RECONSTRUCT AND RECONNECT SUCH ELECTRIC SOURCES WHEN THE NEW STRUCTURE IS BUILT, NOTE THAT MOST REINSTALLED ITEMS WILL BE OF DIFFERENT LOCATIONS FROM THE REMOVAL LOCATION. THE ELECTRICAL CONTRACTOR SHALL MAKE ALL REQUIRED CIRCUIT EXTENSIONS OR MODIFICATIONS TO PROVIDE SERVICE TO A REINSTALLED ITEM AS RELOCATED. PROVIDE ALL REQUIRED CIRCUIT EXTENSIONS AS REQUIRED TO RESTORE SERVICE TO DEVICES. NOTE THAT THIS REQUIREMENT ALSO APPLIES TO THE ROOMS AND ELECTRICAL ITEMS WITHIN THAT ARE NOMINALLY NOT IN CONTRACT. SUCH RESTORATION OF SERVICE, IF NEEDED, IS SPECIFICALLY IN THE ELECTRICAL CONTRACTOR'S CONTRACT.
10. IT SHALL BE THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL ELECTRICAL DEVICES, FROM DAMAGES DURING CONSTRUCTION, WHICH ARE EITHER INDICATED TO REMAIN, AND/OR TO BE REMOVED AND REINSTALLED THROUGHOUT ALL CONSTRUCTION AREAS. DEVICES SHALL INCLUDE BUT NOT BE LIMITED TO: SMOKE DETECTORS, EMERGENCY LIGHTS, EXIT SIGNS, OCCUPANCY SENSORS, SPEAKERS, LIGHT FIXTURES, SWITCHES, RECEPTACLE, ETC. IN THE EVENT OF DAMAGES INCURRED DUE TO CONSTRUCTION ACTIVITIES, THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE ANY DAMAGED DEVICES AT NO ADDITIONAL COST TO OWNER.
11. ALL SYSTEM ASSOCIATED WITH THE DEVICES SCHEDULED TO BE REMOVED, STORED AND PROTECTED SHALL BE TESTED BY THE MANUFACTURER'S CERTIFIED TESTING VENDOR PRIOR TO ANY DEMOLITION ACTIVITY. ANY DEVICE WHICH FAILS THE TEST SHALL BE REPLACED WITH A FORM, FIT AND FUNCTION COMPONENT PER UNIT PRICES, AND SUCH DEVICES ARE NOT INCLUDED IN THIS RESPONSIBILITY STATEMENT, BUT ALSO SUCH INSTALLATION SHALL BE IN THE ELECTRICAL CONTRACTOR'S BASE BID. THE ELECTRICAL CONTRACTOR SHALL RE-TEST ALL SUCH SYSTEM COMPONENTS BY A MANUFACTURER CERTIFIED TESTING VENDOR OR SUCH SYSTEM OF ALL PREVIOUSLY TESTED SYSTEM COMPONENTS AFTER ALL WORK BY ALL TRADES HAS BEEN COMPLETED, AND ALL SYSTEM COMPONENTS HAVE BEEN INSTALLED. ANY COMPONENT WHICH FAILS SHALL BE REPLACED, AND PROGRAMMED IF NECESSARY BY THE ELECTRICAL CONTRACTOR. ALL SUCH REPLACEMENT AND PROGRAMMING COSTS SHALL BE ELECTRICAL CONTRACTOR'S RESPONSIBILITY. ALL COSTS ASSOCIATED WITH THE TESTING OF AFFECTED SYSTEM SUCH AS BUT NOT LIMITED TO: FIRE ALARM, PUBLIC ADDRESS, INTERCOM, TELEPHONE, AND SECURITY SYSTEMS SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. ALL EQUIPMENT, DEVICES, WIRING AND THEIR ASSOCIATED MATERIAL SPECIFIED TO REMAIN, WHICH IS NOT STORED AND PROTECTED, SHALL BE PROTECTED DURING THE DEMOLITION ACTIVITIES, AND ALL TRADES SHALL BE INFORMED OF SUCH COMPONENTS. ANY OF SUCH COMPONENTS WHICH BECOME DAMAGED DURING DEMOLITION SHALL BE REPLACED FORM, FIT AND FUNCTION BY THE ELECTRICAL CONTRACTOR AT HIS EXPENSE.

ABBREVIATIONS

| | |
|----------|---------------------------------|
| E, EX | EXISTING |
| ETR | EXISTING TO REMAIN |
| PSEGL | PSE&G LONG ISLAND (UTILITY CO.) |
| SM, S.M. | SURFACE MOUNTED |
| U.O.N. | UNLESS OTHERWISE NOTED |
| EC, E.C. | ELECTRICAL CONTRACTOR |
| GC, G.C. | GENERAL CONTRACTOR |
| MC, M.C. | MECHANICAL CONTRACTOR |
| PC, P.C. | PLUMBING CONTRACTOR |
| TYP. | TYPICAL |
| REQ'D | REQUIRED |
| O.C. | ON CENTER |
| CKT | CIRCUIT |
| AFF | AWAY FROM FLOOR |
| CB | CIRCUIT BREAKER |
| REC. | RECEPTACLE |
| ACT | ABOVE COUNTERTOP |

LINE DESIGNATIONS

EXISTING TO REMAIN DEVICES

DEVICES TO BE REMOVED. PULL BACK ALL ASSOCIATED CONDUIT AND WIRING AND REMOVE UNLESS OTHERWISE NOTED ON THE PLANS.

NEW DEVICES

FIRE ALARM SYSTEM LEGEND

| SYMBOL | DEVICE DESCRIPTION |
|--------|---|
| | NEW INTELLIGENT ADDRESSABLE FIRE ALARM CONTROL PANEL W/ VOICE EVACUATION AND AUDIBLE NOTIFICATION. PROVIDE FRAMED BLDG GRAPHIC MAP WITHIN SIGHT OF PANEL. |
| | NEW REMOTE ANNUNCIATOR PANEL OR EQUAL. E.C. TO PROVIDE FRAMED BLDG GRAPHIC MAP WITHIN SIGHT. |
| | FIRE ALARM SHUT DOWN |
| | NEW SMOKE DETECTOR W/ BASE |
| | NEW CARBON MONOXIDE DETECTOR WITH SOUNDER BASE. CONNECT TO ASSOCIATED UNIT WITH SOUNDER BASE FOR SIMULTANEOUS LOCAL ALARM. |
| | NEW CARBON MONOXIDE SYSTEM AMBER COLOR VISUAL NOTIFICATION DEVICE. |
| | NEW MANUAL PULL STATION. PROVIDE WITH NON-ALARMED ST1 STOPPER 1/1 LIFT COVER (OR SIMILAR) |
| | NEW DUCT TYPE SMOKE DETECTOR W/ HOUSING AND REMOTE LED INDICATOR |
| | NEW SPEAKER NOTIFICATION DEVICE - WALL MOUNT. |
| | NEW SPEAKER/STROBE NOTIFICATION DEVICE - WALL MOUNT. |
| | NEW SPEAKER NOTIFICATION DEVICE - CEILING MOUNT. |
| | NEW SPEAKER/STROBE NOTIFICATION DEVICE - CEILING MOUNT. |
| | NEW STROBE NOTIFICATION DEVICE, WALL MOUNTED. |
| | NEW STROBE NOTIFICATION DEVICE, CEILING MOUNTED. |
| | NEW HORN/STROBE NOTIFICATION DEVICE |
| | NEW 24V ELECTROMAGNETIC DOOR HOUDER - GC FURNISH & MOUNT. EC TO WIRE. REFER TO FIRE ALARM DEVICE NOTES ON E5.01 FOR ADDITIONAL INFORMATION |
| | EXISTING FIRE ALARM BELL TO BE REMOVED. INSTALL BLANK COVER PLATE. |
| | NEW FIRE ALARM RELAY |
| | EXISTING BATTERY OPERATED CO DETECTOR TO REMAIN UNLESS OTHERWISE NOTED |
| | NEW AIR HANDLING UNIT. REFER TO MECHANICAL DWG. FOR ADDITIONAL INFORMATION |
| | NOTATION "R" - UNIT TO HAVE RELAY SHUTDOWN, REQUIRED ON ALL FANS OVER 1000 CFM |
| | WATERFLOW SWITCH FOR NEW SPRINKLER SYSTEM (BY FIRE SPRINKLER CONTRACTOR) |
| | TAMPER SWITCH FOR NEW SPRINKLER SYSTEM (BY FIRE SPRINKLER CONTRACTOR) |
| | EXISTING ANSUL SYSTEM TO REMAIN |
| | FIRE ALARM - BEAM DETECTOR RECEIVER |
| | FIRE ALARM - BEAM DETECTOR TRANSMITTER |
| | STEEL WIRE GUARD. |
| | WEATHER PROOF. |
| | WALL MOUNT. |
| | EXISTING TO REMAIN |
| | AREA OF RESCUE |
| | AREA OF RESCUE POWER SUPPLY |
| | AREA OF RESCUE MAIN CONTROL PANEL |

BASE BID IS GANESWELL F0-E3 SYSTEM WITH VOICE EVACUATION. REFER TO SPECIFICATIONS AND TO NOTES ON DWG. E5.01 FOR PART NUMBERS AND ADDITIONAL INFORMATION

MISCELLANEOUS

| SYMBOL | DESCRIPTION |
|--------|---|
| | CEILING MOUNTED PUBLIC ADDRESS SPEAKER. |
| | WALL MOUNTED PUBLIC ADDRESS SPEAKER |
| | HORN LOUDSPEAKER SUBSCRIPT "WP" INDICATES OUTDOOR WEATHERPROOF HORN SPEAKER |
| | WALL MOUNTED VOLUME CONTROL FOR LOCAL PUBLIC ADDRESS SPEAKER |
| | WIRELESS CLOCK |

ITEMS IN ABOVE LEGENDS MARKED WITH SUBSCRIPTS ON THE PLANS ARE DENOTED AS FOLLOWS:
(E) - EXISTING ITEM TO REMAIN
(RL) - EXISTING ITEM TO BE RE-INSTALLED AND RELOCATED
(RR) - REMOVE AND RE-INSTALL TO ACCOMMODATE NEW CONSTRUCTION
NO SUBSCRIPT - NEW ITEM TO BE FURNISHED AND INSTALLED

TEMPORARY POWER CONSTRUCTION NOTES:

1. THE ELECTRICAL CONTRACTOR SHALL PROVIDE TEMPORARY POWER AND LIGHT IN THE NEW AREAS 'D', AND 'E' AND THE RECONSTRUCTED AREAS OF THE EXISTING BUILDING.
2. ALL TEMPORARY POWER PANELS AND FUSED SWITCHES OUTSIDE SHALL BE NEMA 3R CONSTRUCTION AND LOCKABLE. ALL OUTSIDE RECEPTACLES SHALL BE WATERPROOF AND HAVE A COVER THAT ENCLOSES THE PLUGGED IN CORDS WHILE IN SERVICE AS INTERMATIC WP120C. NON-WEATHERPROOF GEAR IN A HOUSING IS NOT ACCEPTABLE.
3. ALL RECEPTACLES SHALL BE GFCI PROTECTED AND MOUNTED 3' 0" ABOVE FINISHED FLOOR. PROVIDE WORK BLOCKING AS REQUIRED. ALL RECEPTACLES OUTLETS SHALL BE 2 GANG DOUBLE DUPLEX.
4. TEMPORARY LIGHTING SHALL BE CONSTRUCTED OF SINGLE AND DOUBLE 100 WATT CLEAR INCANDESCENT LAMPS, OR EQUIVALENT, AND WATERPROOF RUBBER SOCKETS. SPLICED WITH WATERPROOF CONNECTORS ON FESTONED ROMEX-TYPE WIRE. THE QUALITY OF ALL TEMPORARY LIGHTING CONFIGURATIONS SHALL BE AS DETERMINED BY THE CONSTRUCTION MANAGER. PRE ASSEMBLED TEMPORARY LIGHTING IS DISALLOWED. TAPS AND SPLICES SHALL BE MADE WITH SCOTCH LOCK CONNECTORS, RUBBER TAPE, AND THEN PVC COATED. THE CONNECTORS SHALL BE FILLED WITH PENETROX, A PLASTIC SHAPE ON CAGE GUARD SHALL PROTECT EACH SOCKET AND LAMP. NOMINAL SPACING BETWEEN LAMP CLUSTERS IS 16 FEET. MOUNT LIGHTS EIGHT FEET ABOVE FINISHED FLOOR IN TYPICAL LOCATIONS AND 10 FEET ABOVE FINISHED FLOOR IN CORRIDOR. PROVIDE NIGHT LIGHTING CIRCUIT, WHICH SHALL OPERATE CONTINUOUSLY. ALL LAMPS SHALL BE 150 WATT, ROUGH SERVICE RATED. TEMPORARY LIGHTS SHALL BE TO OSHA STANDARDS. ALTERNATE FUTURES SHALL BE 400W CONSTRUCTION SITE STYLE PROVIDE HOOK UPS TO JOB TRAILER FOR ALL TRADES. USE SITE POWER AS SOURCE. OWNER PAYS FOR POWER CONSUMPTION.
5. WIRING SHALL BE 1012+H120N+H120G ROMEX STYLE. CIRCUITS SHALL BE OPERATED A MAXIMUM OF 15 AMPS OR 1800 WATTS (18 100 WATT LAMPS). SWITCHING SHALL BE DONE VIA THE SWITCH RATED 20A TO CIRCUIT BREAKERS. SEGREGATE THE NIGHT LIGHTS AND RECEPTACLES IN THE LOWER PART OF THE POWER PANELS AND LABEL THESE "DO NOT TURN OFF". CIRCUIT HOME RUNS CONDUCTORS SHALL INCREASE ONE WIRE SIZE EVERY 100 FEET I.E. #10 CONDUCTORS.
7. TURN OFF - CIRCUIT HOME RUNS CONDUCTORS SHALL INCREASE ONE WIRE SIZE EVERY 100 FEET I.E. #10 CONDUCTORS.
8. THE ELECTRICAL CONTRACTOR SHALL PREPARE EACH PANEL SCHEDULE.
9. A LENGTH OF GREENPLED FLEX CONDUIT AT PUNCH POINTS SHALL PROTECT ALL WIRE, SUCH AS WHERE WIRING PASSED THROUGH A DOORWAY. WIRING SHALL BE SUPPORTED FOR ANCHORS INSTALLED BY THE ELECTRICAL CONTRACTOR FOR THE PURPOSE OF ATTACHMENT TO PROJECT. ALL ELECTRICAL HARDWARE SHALL BE NEW FOR THIS PROJECT.
10. ALL WIRING SHALL BE INSTALLED SO AS NOT TO CAUSE TRIPPING HAZARD OR SIMILAR OBSTRUCTION.
11. POWER PANELS SHALL BE EQUIPPED WITH 42 1-P, 20A CIRCUIT BREAKERS AND ALL CIRCUIT BREAKERS NOT IN SERVICE SHALL BE LABELED SPARE. AT THE OWNERS OPTION PANEL AND CIRCUIT BREAKERS SHALL BE TURNED OVER TO OWNERS INVENTORY AT CONCLUSION OF THE PROJECT. ALL ELECTRICAL HARDWARE SHALL BE NEW FOR THIS PROJECT.
12. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF TEMPORARY LIGHTING AND POWER SYSTEMS DURING AND AFTER INSTALLATION, UP TO THE TIME OF BENEFICIAL OCCUPANCY, AND TIME OF REMOVAL. REPAIRS SHALL BE MADE WITHIN 24 HOURS OF THE REPORTED OUTAGE, OR AS DIRECTED BY THE CONSTRUCTION MANAGER. ELECTRICAL CONTRACTOR SHALL COMMENCE WORK ON THIS PROJECT WITH A GROSS OF SPARE CONSTRUCTION BULBS AT HIS IMMEDIATE DISPOSAL.
13. REMOVAL OF THE TEMPORARY POWER AND LIGHTING SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR WHEN THE PROJECT IS COMPLETE. ALL EQUIPMENT, WIRING, SUPPORTS, CONNECTORS, ETC. SHALL BE REMOVED FROM OWNERS PROPERTY AFTER PROJECT IS COMPLETE. INCLUDE STATEMENT OF REMOVAL WITHIN CLOSE OUT DOCUMENTS, REQUIRED FOR FINAL PAYMENT.
14. PROVIDE THE TEMPORARY ELECTRICAL SERVICE TO THE CONSTRUCTION TRAILERS SHALL BE AS PER USERS REQUIREMENTS OF THE TRADES. TEMPORARY SERVICES ARE REQUIRED PER SPECIAL CONDITIONS OF THE PROJECT.
15. ALL TEMPORARY POWER WORK SHALL BE COORDINATED WITH THE CONSTRUCTION MANAGER SPECIAL EMPHASIS SHALL BE EXERCISED FOR TERRAZZO MACHINES AND ITS ELECTRICAL REQUIREMENT.

FIRE STOP NOTES:

1. ALL CONDUIT AND CABLE PENETRATIONS THROUGH FIRE RATED WALLS, FLOORS OR OTHER STRUCTURES SHALL BE FIRE STOPPED.
2. THE FIRE STOP MATERIALS SHALL BE HLT1 TYPE FS-607 FIRE BLOCK, FS-ONE SEALANT, CP-672 JOINT SPRAY, CP-615 ELASTOMERIC SEALANT, CP-606 FLEXIBLE SEALANT, CP-643 OR CP-642 COLLAR, CP-616 PUTTY STICK, OR FS-635 TROVEX ABLIC COMPOUND, AS SUITABLE.
3. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF PRODUCTS SPECIFIED OR EQUAL.
4. FIRE STOP MATERIALS OTHER THAN HLT1 SHALL INCLUDE FULL TECHNICAL DATA WITH SHOP DRAWINGS TO DEMONSTRATE EQUIVALENCY WITH THE SPECIFIED FIRE STOPS AND STATEMENT FROM MANUFACTURER THAT THEY MEET OR EXCEED THE PRODUCTS SPECIFIED HERE.
5. ALL SYSTEMS SHALL HAVE THEIR OWN SLEEVE THROUGH FIRE RATED WALLS. IE FIRE ALARM, PUBLIC ADDRESS, TELEPHONE, DATA, POWER AND LIGHTING.

| ELECTRICAL SYMBOL LEGEND | |
|--------------------------|--|
| | SINGLE POLE CIRCUIT 2#12, #12G, 1'C UNLESS OTHERWISE NOTED |
| | TWO POLE CIRCUIT 3#12, #12G, 1'C UNLESS OTHERWISE NOTED |
| | THREE POLE CIRCUIT 4#12, #12G, 1'C UNLESS OTHERWISE NOTED |
| | SINGLE RECEPTACLE, NEMA 5-20R W/ STAINLESS STEEL FACEPLATE |
| | GROUND FAULT CIRCUIT INTERRUPTER 20A, 125V SINGLE RECEPTACLE, WITH STAINLESS STEEL FACEPLATE FOR KITCHEN EQUIPMENT. |
| | DUPLEX RECEPTACLE, 125V, 20A W/ STAINLESS STEEL FACEPLATE |
| | M DESIGNATES TEACHING MONITOR RECEPTACLE. COORDINATE EXACT MOUNTING HEIGHT WITH ARCHITECTURAL PLANS |
| | QUADRUPLX RECEPTACLE - (2) 2-GANG DUPLEX RECEPTACLES PER ABOVE W/ STAINLESS STEEL FACEPLATE |
| | GROUND FAULT CIRCUIT INTERRUPTER 20A, 125V DUPLEX RECEPTACLE, WITH STAINLESS STEEL 302/304 FACEPLATE FOR MECHANICAL SPACES, BOILER ROOM, CORRIDORS, OUTDOORS, ETC. |
| | W-P: ANNITATION - IN RAINPROOF & IN USE COVER |
| | GROUND FAULT CIRCUIT INTERRUPTER 20A, 125V QUADRUPLX RECEPTACLE, 2 GANG WITH STAINLESS STEEL 302/304 FACEPLATE OR EQUAL |
| | 30A-TWISTLOCK RECEPTACLE, SPECIAL VOLTAGE & PHASE PER LABEL |
| | SINGLE DUPLEX, QUADRUPLX RECEPTACLE MOUNTED IN SERVICE PEDESTAL BOX, HUBBELL #S4688S OR SA6687, SS13 OR SS23 |
| | BLANK PLATE IN REAR AND PLATE |
| | DUPLEX RECEPTACLE WITH USB PORTS, 125V, 20A WITH STAINLESS S |
| | STUB-UP CONDUIT FROM THE FLOOR |
| | MOTOR, NO. INDICATES HORSEPOWER |
| | UNFUSED DISCONNECT SWITCH, SIZE PER PLAN |
| | FUSED DISCONNECT SWITCH, SIZE AND FUSE PER PLAN |
| | TRANSFORMER, VOLTAGE, PHASE, KVA PER PLAN |
| | PANEL BOARD, MOUNTING PER SCHEDULE |
| | JUNCTION BOX CLG MOUNT, WALL MOUNT |
| | PANEL RCP-1, POLE POSITION "1" |
| | CONTACTOR "SC21" - CONTACT "1" |
| | POWER ONLY DUPLEX FLOOR BOX CAST IRON WHEN INSTALLED IN CONC. SLAB. COVER COLOR AND TYPE AS APPROVED BY ARCHITECT |
| | POWER ONLY DUPLEX RECEPTACLE MOUNTED ABOVE CEILING LOCATION FOR LIGHTING CONTROLLER |
| | POWER ONLY DUPLEX FLOOR BOX CAST IRON WHEN INSTALLED IN CONC. SLAB. COVER COLOR AND TYPE AS APPROVED BY ARCHITECT |
| | POWERDATA COMBO BOX. REFER TO TECHNOLOGY DRAWINGS |
| | WALL SWITCH W/ STAINLESS STEEL, FACEPLATE FACEPLATE LOWER CASE ALPHA SUPERSCRIPIT - CONTROLS CORRESPONDINGLY LABELED FIXTURES IN ROOM SUBSCRIPTS |
| | (NONE) = SINGLE POLE 20A, HEAVY DUTY SPEC GRADE SWITCH |
| | MCS= MASTER CONTROL SWITCH, ASCO 210886, BY PLUMBING DRAWINGS |
| | K = KEY SWITCH |
| | 3 = 20A THREE WAY SWITCH |
| | 4 = 20A FOUR WAY SWITCH |
| | D = WALLBOX SLIDE DIMMER COMPATIBLE W/ FUTURE DIMMING BALLAST |
| | DIG= DIGITAL SWITCH, H = INDICATES NUMBER OF BUTTONS |
| | VSOS = DUAL TECH WALL SWITCH VACUANCY OR OCCUPANCY SENSOR - |
| | M= MOMENTARY CONTACT SWITCH - MODEL, # GMS-W OR EQUAL |
| | WS = PRETEST WALL STATION |
| | VS = CEILING MOUNTED OCCUPANCY (VS=VACANCY/VS) SENSOR, LOW VOLTAGE, DUAL TECHNOLOGY, COMPLETE W/ POWER PAK(S) AS REQUIRED. EATON GREENGATE GAO-ST-2000A OR EQUAL |
| | PS = DAYLIGHT SENSOR PHOTOCELL - COMPATIBLE W/ ROOM CONTROLS |
| | RC = ROOM CONTROLLER, EATON SERIES OR EQUAL. MOUNT ABOVE CLG UNLESS OTHERWISE NOTED. |
| | SP = SWITCHPACK MOUNT ABOVE CLG UNLESS OTHERWISE NOTED |
| | PPW = POWERPACK MOUNT ABOVE CLG UNLESS OTHERWISE NOTED |
| | WSE = WIRELESS RELAY SWITCHPACK, MOUNT ABOVE CEILING. 0-10V DIMMING, 20A LOAD, 120/277V |
| | WAC = WIRELESS WAVELINX CONTROLLER OR APPROVED EQUAL. |
| | FOR LIGHTING FIXTURES - INDICATES PANELBOARD "LPA", POLE POSITION "1", FIXTURE TYPE "G" CONTROLLED BY SWITCH "a" (2) DUPLEX RECEPTACLES PER DATA JACK () |
| | EMERGENCY SHUT-OFF MUSHROOM TYPE PUSH BUTTON |
| | "G" GAS SHUT-OFF. PC TO FURNISH EC TO WIRE, REFER TO PLUMBING DRAWINGS |
| | "W" WATER SHUT-OFF. PC TO FURNISH EC TO WIRE, REFER TO PLUMBING DRAWINGS |
| | "E" ELECTRICAL SHUT-OFF |
| | "H" MOTORIZED HOIST SHUT-OFF |
| | SUBSCRIPT "R" INCLUDES KEY RESET |
| | EMERGENCY POWER OFF BUTTON |
| | RETRACTABLE INDUSTRIAL CORD REEL, 20A, 125V, 25' CORD LENGTH, DOUBLE GFI RECEPTACLE END. SEE ALSO MOUNTING DETAIL ON DWG. E0.02 |
| | DATA & POWER SURFACE RACEWAY DROP - NUMBER OF TRIANGLES INDICATES NUMBER OF DATA DROPS - PROVIDE (2) DUPLEX RECEPTACLES PER DATA DROP. SEE ALSO TECH. PLANS. |
| | ELECTRONIC SMARTBOARD - REFER TO TECH. DRAWINGS FOR DETAILS |
| | NEW POWER & DATA FLOOR BOX, CAST IRON WHEN INSTALLED IN CONC. SLAB |
| | EXISTING PROJECTOR TO BE REMOVED AND RE-INSTALLED UPON CONSTRUCTION COMPLETION |
| | FIRE/SMOKE DAMPER - FURNISHED AND INSTALLED BY MC. EC. TO WIRE. SEE MECH DRAWINGS FOR EXACT LOCATIONS. |
| | DATA & POWER RECESSED WALL BOX - NUMBER OF TRIANGLES INDICATES NUMBER OF DATA DROPS. SEE ALSO TECH. PLANS. |
| | DATA & POWER FLOOR MOUNTED POKE THROUGH. SEE TECH PLANS FOR ADDITIONAL INFO. |
| | GAS SYSTEM TEACHER EMERGENCY SHUT OFF AND KEY RESET |
| | PC TO FURNISH EC TO WIRE AND INSTALL. REFER TO PLUMBING DRAWINGS FOR LOCATIONS AND ADDITIONAL INFORMATION |

SIMILAR SYMBOLS USED ON DEMO PLANS. ALL ITEMS SHOWN ON DEMO PLAN TO BE REMOVED ENTIRELY UNLESS OTHERWISE NOTED.

SOUND SYTEM

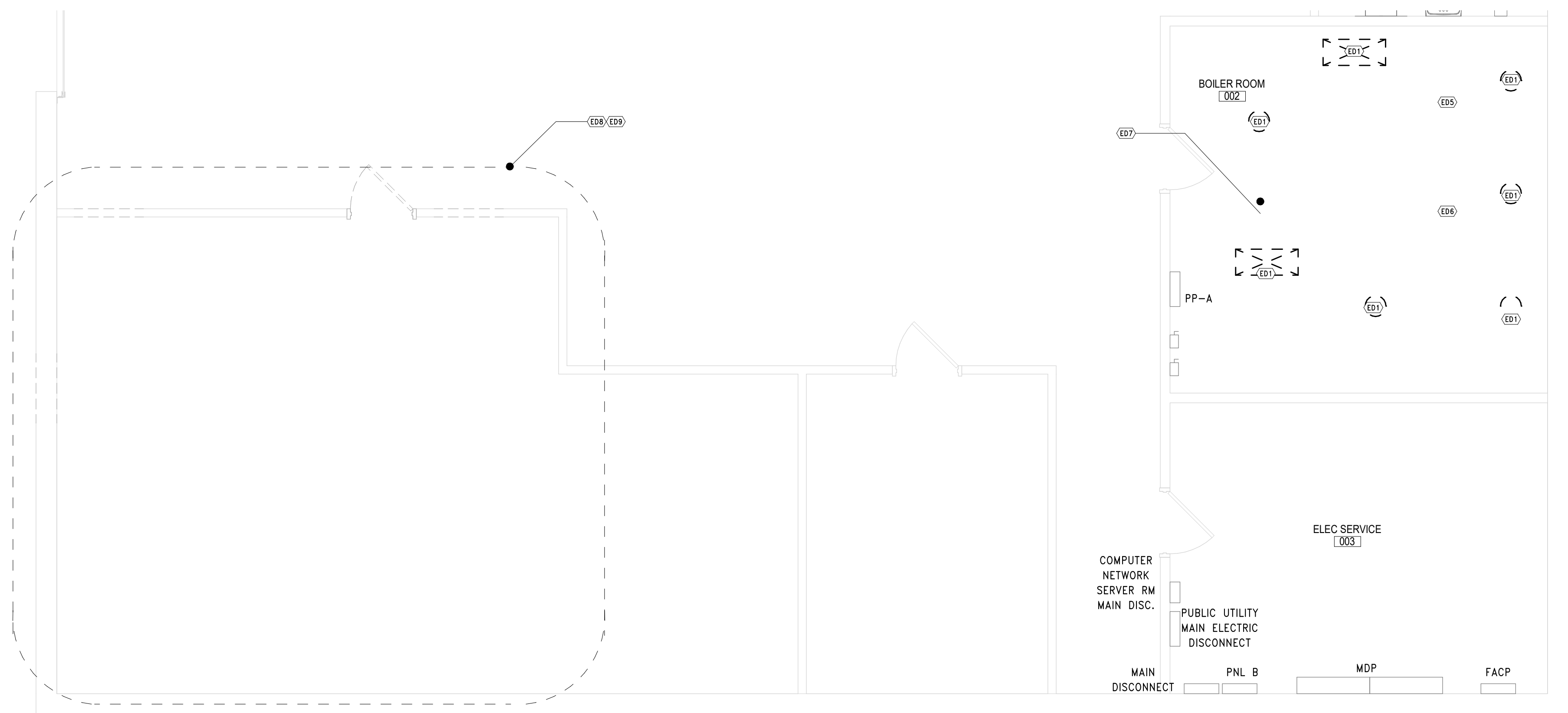
| SYMBOL | DESCRIPTION |
|--------|--|
| | FLOOR/WALL RACK |
| | SPEAKERS |
| | MONITOR SPEAKER OUTPUT JACK PLATE |
| | ANTENNA |
| | AUDIO INPUT JACK PLATE |
| | HDBASET TRANSMITTER JACK PLATE - HOUSE CENTER STAGE APRON 2 GANG BOX |
| | MICROPHONE INPUT JACK PLATE |
| | DIGITAL MIXER JACK PLATE F.O.H. MIX BOOTH |
| | REMOTE CONTROL JACK PLATE |
| | SUBWOOFERS |
| | FOLDBACK (STAGE MONITOR) LOUDSPEAKERS |
| | 12K LASER PROJECTOR |
| | COLUMN/LINE ARRAY LOUDSPEAKERS |
| | CENTER FILL LOUDSPEAKER |
| | CEILING SPEAKERS |

| REV. | DATE | ITEM |
|------|------|------|
| | | |
| | | |
| | | |
| | | |
| | | |

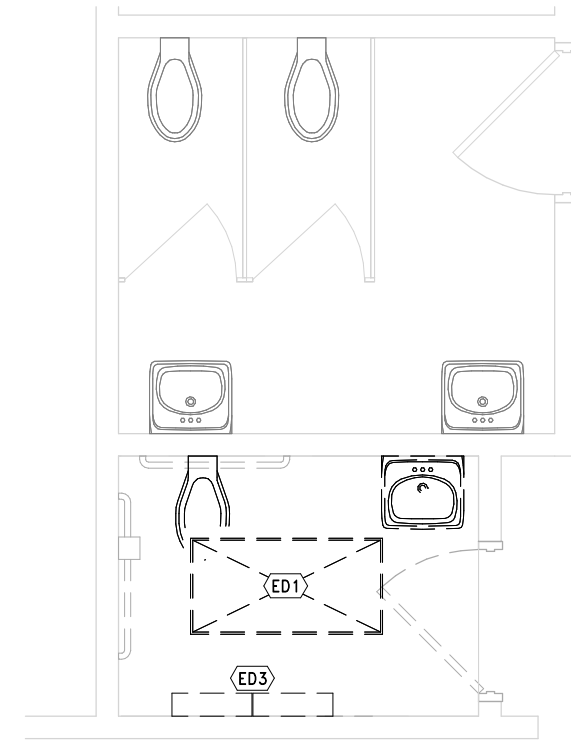
NOTICE

THESE DRAWINGS ARE BASED ON CONSTRUCTION DRAWINGS NOT PROVIDED WITH THIS SET OF DRAWINGS. ARCHITECTS AND ENGINEERS, PC AND, THEREFORE, MAY NOT REPRESENT THE INFORMATION AS CORRECT OR ACCURATE AT THE TIME OF THE INFORMATION. IT IS THE USER'S RESPONSIBILITY TO VERIFY THE INFORMATION FOR THE ORIGINAL DOCUMENTS OR PER THE OWNER'S INFORMATION.

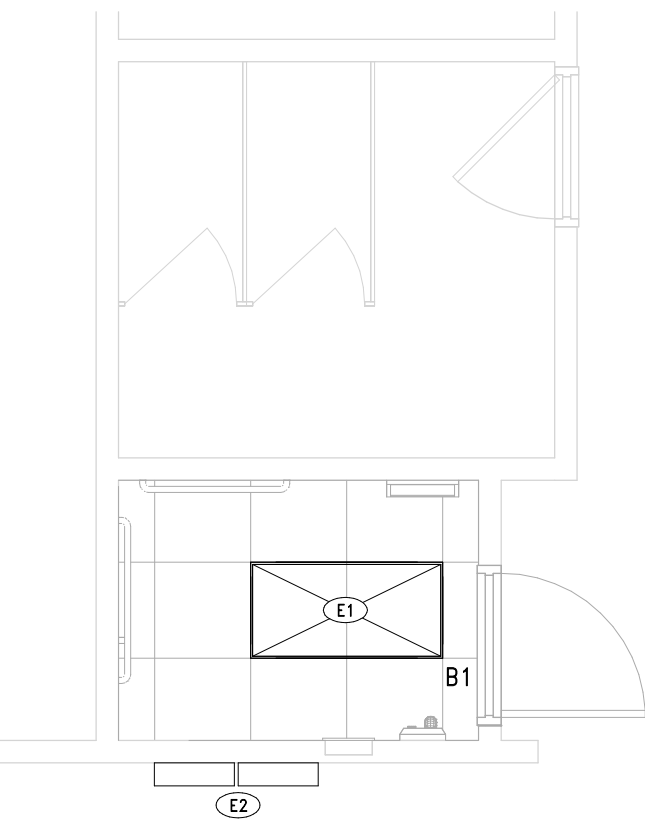
BEDFORD CENTRAL SCHOOL DISTRICT



3 PARTIAL BASEMENT PLAN - DEMOLITION
SCALE: 1/4" = 1'-0"



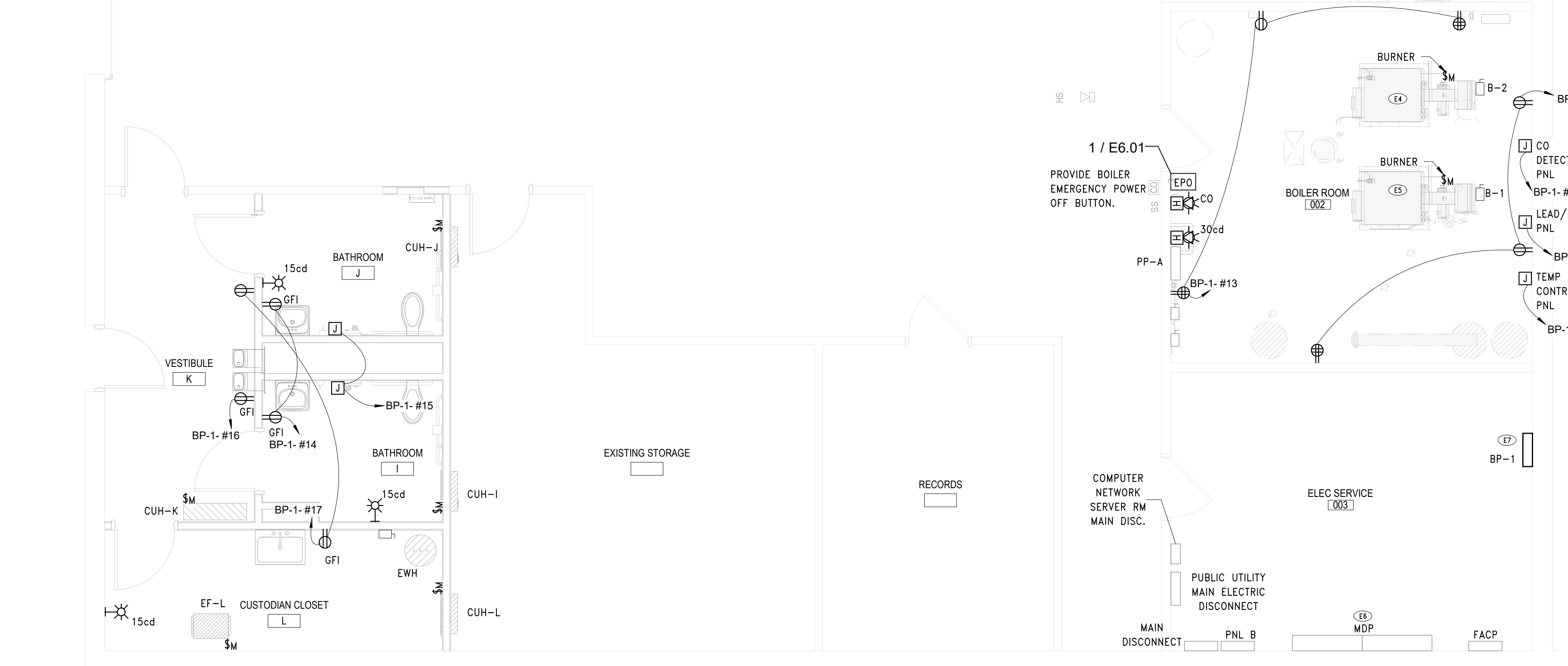
4 PARTIAL FIRST FLOOR PLAN - TOILET DEMO
SCALE: 1/4" = 1'-0"



5 FIRST FLOOR
SCALE: 1/4" = 1'-0"



2 BASEMENT PLAN - PROPOSED LIGHTING
SCALE: 1/4" = 1'-0"



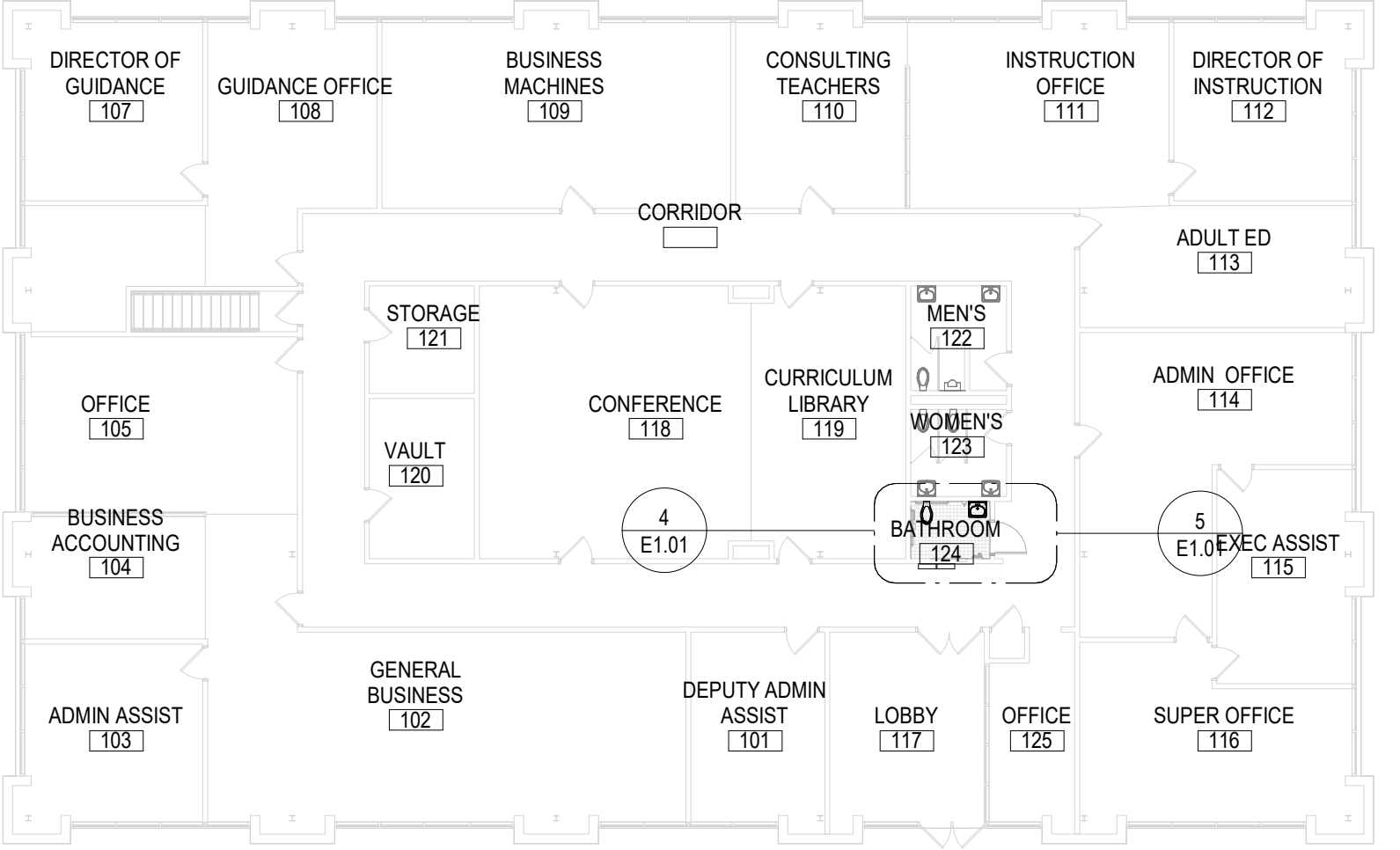
1 PROPOSED POWER - LOWER LEVEL
SCALE: 1/4" = 1'-0"

| KEY NOTES | |
|-----------|---|
| E1 | CONNECT PROPOSED FIXTURES TO EXISTING POWER BRANCH CIRCUIT AND ASSOCIATED CONTROLS. EXTEND EXISTING CONDUIT AND WIRING AS NECESSARY MATCHING EXISTING SIZE(S) AND TYPE(S). |
| E2 | RELOCATE POWER PANELS TO PROPOSED LOCATION. PROVIDE SPLICE BOX SIZED PER NEC REQUIREMENTS AND EXTEND MAIN POWER FEEDERS AND BRANCH CIRCUIT CONDUIT AND WIRING MATCHING EXISTING SIZE(S) AND TYPE(S). |
| E4 | UNDER ALTERNATE #E-1: RE-USE BRANCH CIRCUIT PREVIOUSLY CONNECTED TO REMOVED BOILER #1 AND CONNECT NEW BOILER #2. |
| E5 | BASE BID: RE-USE BRANCH CIRCUIT PREVIOUSLY CONNECTED TO REMOVED BOILER #2 AND CONNECT NEW BOILER #1. |
| E6 | UTILIZE SPACE IN MAIN DISCONNECT PANEL AND PROVIDE 208/120V, 100A-3P CIRCUIT BREAKER FOR PROPOSED PANEL BP-1. FEEDERS TO PANEL SHALL BE (3) #1, #66, IN 1-1/2" EMT CONDUIT. |
| E7 | PROVIDE 208/120V, 3PH, 4-WIRE, 100A-3P 24-POLE SURFACE MOUNTED PANELBOARD. |
| E8 | CONNECT PROPOSED FIXTURES TO EXISTING POWER BRANCH CIRCUIT. EXTEND EXISTING CONDUIT AND WIRING AS NECESSARY MATCHING EXISTING SIZE(S) AND TYPE(S). |
| ED1 | DISCONNECT AND REMOVE LIGHTING FIXTURES. MAINTAIN ALL ASSOCIATED CONTROLS AND BRANCH CIRCUIT FOR RE-USE WITH NEW LIGHTING FIXTURES IN THIS SPACE. REFER TO NEW WORK PLAN. |
| ED3 | DE-ENERGIZE, DISCONNECT, REMOVE AND POWER PANEL. PULL BACK AND REMOVE MAIN PANEL FEEDERS BACK TO SOURCE PANEL LOCATION. MAINTAIN BRANCH CIRCUIT WIRING FOR EXISTING TO REMAIN DEVICES CONNECTED TO PANEL. CONTRACTOR SHALL FIELD VERIFY WHICH CIRCUITS ARE TO REMAIN OPERATIONAL. |
| ED5 | UNDER ALTERNATE #E-1: DE-ENERGIZE AND DISCONNECT BOILER #2 TO BE REMOVED (BY OTHERS). MAINTAIN DISCONNECTING MEANS AND ALL ASSOCIATED BRANCH CIRCUIT CONDUIT AND WIRING. |
| ED6 | BASE BID: DE-ENERGIZE AND DISCONNECT BOILER #1 TO BE REMOVED (BY OTHERS). MAINTAIN DISCONNECTING MEANS AND ALL ASSOCIATED BRANCH CIRCUIT CONDUIT AND WIRING. |
| ED7 | REMOVE ALL RECEPTACLES IN BOILER ROOM SPACE. FIELD VERIFY EXACT RECEPTACLE LOCATIONS. PULL BACK AND REMOVE ASSOCIATED BRANCH CIRCUIT CONDUIT AND WIRING. |
| ED8 | DISCONNECT AND REMOVE ALL LIGHTING AND ASSOCIATED CONTROLS WITHIN INDICATED AREA. MAINTAIN BRANCH CIRCUIT POWER WIRING FOR RE-USE. |
| ED9 | DISCONNECT AND REMOVE ALL ELECTRICAL DEVICES (RECEPTACLES, DISCONNECTS, HARDWIRED CONNECTIONS) WITHIN INDICATED AREA. PULL BACK AND REMOVE ASSOCIATED BRANCH CIRCUIT CONDUIT AND WIRING. |

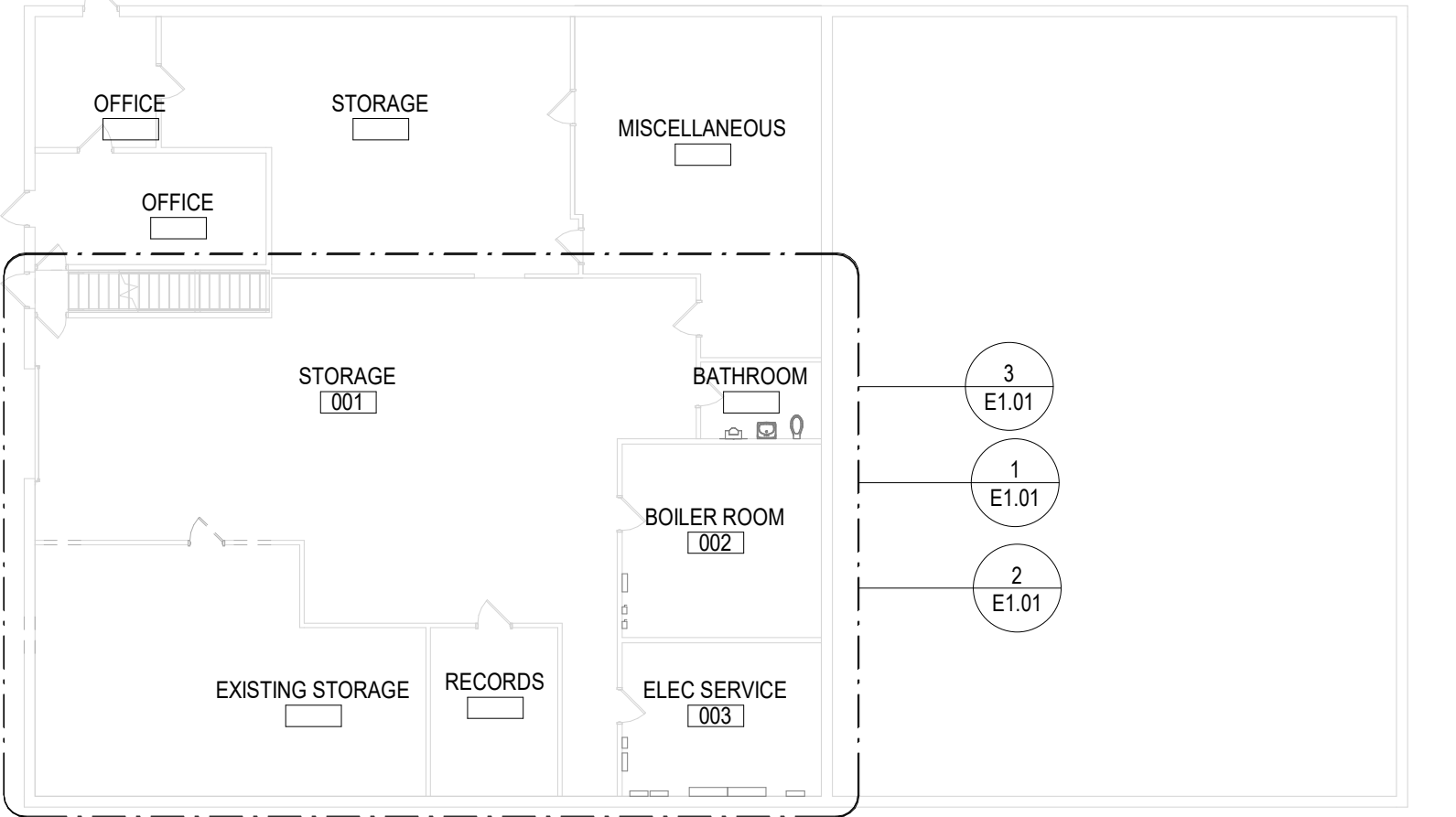
| SHEET NOTES | | |
|-------------|---|--|
| A. | ALL DEVICES SHOWN AS DASHED LINES ARE TO BE DEMOLISHED. REMOVE ASSOCIATED BRANCH CIRCUIT CONDUIT AND WIRING BACK TO NEAREST ACTIVE SOURCE. | |
| B. | ALL DEVICES SHOWN AS GREY/HALFTONED LINES ARE TO REMAIN UNDISTURBED. COORDINATE ALL DEMOLITION WORK AROUND THESE DEVICES. IF NECESSARY TO REMOVE OR RE-CIRCUIT DEVICES, TO ALLOW FOR ARCHITECTURAL OR MECHANICAL WORK, DEVICES SHALL BE RE-INSTALLED AND RECONNECTED. | |
| C. | ALL TELEPHONE VOIP CABLEING SHALL BE ROUTED TO NEAREST MDF PANEL. REFER TO TECHNOLOGY DETAILS AND NOTES ON E6.01. | |
| D. | ALL PROPOSED BREAKERS SHALL MATCH PANEL TYPE AND AIC RATING. | |

| REV. | DATE | ITEM |
|------|------|------|
| | | |
| | | |
| | | |
| | | |
| | | |

NOTICE
THESE DRAWINGS ARE BASED ON CONSTRUCTION DRAWINGS NOT PROVIDED BY BBS ARCHITECTS. LANDSCAPE ARCHITECTS AND ENGINEERS, P.C. AND THEREFORE, MAY NOT REPRESENT THE CONDITIONS AS CONSTRUCTED AT THE TIME ALL EXISTING INFORMATION AS SHOWN ARE REPRESENTED AS SUGGESTIVE INFORMATION AS THEY MAY NOT HAVE BEEN BUILT AND DETAILED PER THE ORIGINAL DOCUMENTS OR PER THE OWNER'S INFORMATION.



OVERALL FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"



OVERALL BASEMENT PLAN
SCALE: 1/16" = 1'-0"

PROJECT
BEDFORD CENTRAL SCHOOL DISTRICT
PHASE 2 - BOND IMPROVEMENTS
ADMINISTRATION BUILDING
TOWN OF BEDFORD / WESTCHESTER COUNTY

DWG TITLE
PROPOSED FIRST FL PLAN

DRAWING BY: EEA
CHECKED BY: EEA

NOTICE
THIS DRAWING, PREPARED FOR THE SPECIFIC PROJECT INDICATED IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF BBS ARCHITECTS, LANDSCAPE ARCHITECTS AND ENGINEERS, P.C. REUSE OR ANY USE OF THIS DRAWING FOR ANY OTHER PROJECT IS PROHIBITED. REPRODUCTION OR REPRODUCTION OF THIS DOCUMENT IS ALSO PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT OR ENGINEER.

BBS
ARCHITECTS
LANDSCAPE ARCHITECTS
ENGINEERS
244 EAST MAIN STREET
PATCHOGUE
NEW YORK 11772
T. 631.475.0349
F. 631.475.0361
100 GREAT OAKS BLVD.
SUITE 115, ALBANY
NEW YORK 12203
T. 518.621.7650
F. 518.621.7655
www.BBSARCHITECTURE.com

SEP No. 66-01-02-06-0-008-014
DISTRICT BEDFORD CENTRAL SCHOOL DISTRICT
PROJECT PHASE 2 - BOND IMPROVEMENTS ADMINISTRATION BUILDING
DWG TITLE PROPOSED FIRST FL PLAN
SCALE: AS NOTED
DATE: FEBRUARY 24, 2025
BID PICK UP: FEBRUARY 24, 2025
FILE No. 23-131C ADMIN.

| LIGHTING FIXTURE SCHEDULE | | | | | | | |
|---------------------------|---|----------------|----------------------------------|----------------------------|---------|---------|--|
| TAG | DESCRIPTION | MANUFACTURER | CATALOG NUMBER | WATTAGE / CCT / LAMP / CRI | VOLTAGE | REMARKS | |
| A1-EM | LED LINEAR BAY LIGHTING FIXTURE WITH EM BATTERY PACK, 14,000 LUMENS PACKAGE, DLC LISTING AND FROSTED ACRYLIC LENS | COOPER METALUX | 4ILED-LD5-14-W-FL-UNV-L835-EL14W | 98W/3500/LED/85+ | UNV | | |
| A2 | 2'X2' LED TROFFER WITH DLC LISTING AND 4300 LUMENS PACKAGE | COOPER METALUX | 22EN-LD2-43-UNV-L835-CD1-U | 38W/3500/LED/85+ | UNV | | |
| A2-EM | SAME AS A2 WITH EMERGENCY OPTION | COOPER METALUX | 22EN-LD2-43-UNV-EL7W-L835-CD1-U | 38W/3500/LED/85+ | UNV | | |
| B1 | 2'X4' LED TROFFER WITH EM BATTERY PACK, DLC LISTING AND 5400 LUMENS PACKAGE | COOPER METALUX | 24EN-LD2-54-UNV-EL7W-L835-CD1-U | 43W/3500/LED/85+ | UNV | | |
| C1 | 6" DOWNLIGHT | COOPER HALO | PR6-FS24-DO10 | 39W/3500/LED/85+ | UNV | | |

| Electrical Equipment Schedule | | | | | | | | | | | |
|-------------------------------|-----------------------|---------|-------|------------------|-------------|----------------|----------------|--------------------------|--------------------|---------------------------|-------|
| TAG | DESCRIPTION | VOLTAGE | PHASE | AMPS - (FLA/MCA) | POWER PANEL | CIRCUIT NUMBER | BREAKER RATING | WIRE | PROVIDE DISCONNECT | DISCONNECT | Notes |
| B-1 | BOILER | 208 V | 3 | 7.8 FLA | BP-1 | 3.5,7 | 20A-3P | (3)#12, #12G, IN 3/4" C. | Yes | 30A NEMA 1 | |
| B-1 BURNER | BURNER | 120 V | 1 | 10 FLA | BP-1 | 1 | 20A-1P | (2)#12, #12G, IN 3/4" C. | Yes | MOTOR RATED TOGGLE SWITCH | |
| B-2 (ADD ALTERNATE) | BOILER | 208 V | 3 | 7.8 FLA | BP-1 | 4.6,8 | 20A-3P | (3)#12, #12G, IN 3/4" C. | Yes | 30A NEMA 1 | |
| B-2 BURNER (ADD ALTERNATE) | BURNER | 120 V | 1 | 10 FLA | BP-1 | 2 | 20A-1P | (2)#12, #12G, IN 3/4" C. | Yes | MOTOR RATED TOGGLE SWITCH | |
| CUH-I | CABINET UNIT HEATER | 208 V | 1 | 9.6 FLA | BP-1 | 19,21 | 20A-2P | (2)#12, #12G, IN 3/4" C. | Yes | MOTOR RATED TOGGLE SWITCH | |
| CUH-J | CABINET UNIT HEATER | 208 V | 1 | 9.6 FLA | BP-1 | 18,20 | 20A-2P | (2)#12, #12G, IN 3/4" C. | Yes | MOTOR RATED TOGGLE SWITCH | |
| CUH-K | CABINET UNIT HEATER | 208 V | 1 | 14.4 FLA | BP-1 | 26,28 | 25A-2P | (2)#10, #10G, IN 3/4" C. | Yes | MOTOR RATED TOGGLE SWITCH | |
| CUH-L | CABINET UNIT HEATER | 208 V | 1 | 9.6 FLA | BP-1 | 22,24 | 20A-2P | (2)#12, #12G, IN 3/4" C. | Yes | MOTOR RATED TOGGLE SWITCH | |
| EF-L | EXHAUST FAN | 120 V | 1 | 1 FLA | BP-1 | 29 | 15A-1P | (2)#12, #12G, IN 3/4" C. | Yes | MOTOR RATED TOGGLE SWITCH | |
| EW-H | ELECTRIC WATER HEATER | 208 V | 3 | 16.7 FLA | BP-1 | 23,25,27 | 25A-3P | (3)#10, #10G, IN 3/4" C. | Yes | 30A NEMA 1 | |

| Branch Panel: BP-1 | | | | | | | | | | | |
|----------------------------|----------------------------|----------------|-------|--------------------|----------|------------------|---------|---------------------------------|----------------------------------|-----|--|
| Location: ELEC SERVICE 003 | | | | Volts: 120/208 Wye | | | | A.I.C. Rating: | | | |
| Supply From: | | | | Phases: 3 | | | | Mains Type: MCB | | | |
| Mounting: SURFACE | | | | Wires: 4 | | | | Mains Rating: 100 A | | | |
| CKT | Circuit Description | Trip | Poles | A | B | C | Poles | Trip | Circuit Description | CKT | |
| 1 | B-1 BURNER (SHUNT TRIP CB) | 20 A | 1 | 1200 VA | 1200 VA | | | 1 | 20 A B-2 BURNER (SHUNT TRIP CB) | 2 | |
| 3 | B-1 | 20 A | 3 | | 941.9 VA | 941.9 VA | | 3 | 20 A B-2 | 4 | |
| 5 | -- | -- | -- | | | 941.9 VA | | -- | -- | 6 | |
| 7 | -- | -- | -- | 941.9 VA | 941.9 VA | | -- | -- | -- | 8 | |
| 9 | CO DETECTOR PNL | 20 A | 1 | | 900 VA | 900 VA | | 1 | 20 A LEAD/LAG PNL | 10 | |
| 11 | TEMP CONTROL | 20 A | 1 | | | 900 VA | 720 VA | 1 | 20 A CONVINIENCE RECEPT | 12 | |
| 13 | CONVINIENCE RECEPT | 20 A | 1 | 900 VA | 360 VA | | | 1 | 20 A RECEPT - TOILET RM BASEMENT | 14 | |
| 15 | HAND DRYERS | 20 A | 1 | | 1800 VA | 180 VA | | 1 | 20 A WATER COOLER | 16 | |
| 17 | GEN RECEPT | 20 A | 1 | | | 360 VA | 1000 VA | 2 | 20 A CUH-J | 18 | |
| 19 | CUH-I | 20 A | 2 | 1000 VA | 1000 VA | | -- | -- | -- | 20 | |
| 21 | -- | -- | -- | | 1000 VA | 1000 VA | | 2 | 20 A CUH-L | 22 | |
| 23 | EW-H | 25 A | 3 | | | 2000 VA | 1000 VA | -- | -- | 24 | |
| 25 | -- | -- | -- | 2000 VA | 1500 VA | | | 2 | 25 A CUH-K | 26 | |
| 27 | -- | -- | -- | | 2000 VA | 1500 VA | | -- | -- | 28 | |
| 29 | EF-L | 15 A | 1 | | | 1200 VA | | -- | -- | 30 | |
| 31 | | | | | | | | | | 32 | |
| 33 | | | | | | | | | | 34 | |
| 35 | | | | | | | | | | 36 | |
| 37 | | | | | | | | | | 38 | |
| 39 | | | | | | | | | | 40 | |
| 41 | | | | | | | | | | 42 | |
| Total Load: | | | | 11044 VA | 11164 VA | 9064 VA | | | | | |
| Total Amps: | | | | 95 A | 96 A | 76 A | | | | | |
| Load Classification | | Connected Load | | Demand Factor | | Estimated Demand | | Panel Totals | | | |
| Equipment | | 4500 VA | | 100.00% | | 4500 VA | | Total Conn. Load: 31271 VA | | | |
| Motor | | 12600 VA | | 100.00% | | 12600 VA | | Total Est. Demand: 31271 VA | | | |
| Receptacle | | 2520 VA | | 100.00% | | 2520 VA | | Total Conn. Current: 87 A | | | |
| Power | | 11651 VA | | 100.00% | | 11651 VA | | Total Est. Demand Current: 87 A | | | |
| | | | | | | | | | | | |
| | | | | | | | | | | | |
| Notes: | | | | | | | | | | | |

Branch Panel: PNL B

Location: ELEC SERVICE 003

Volts: 120/208 Wye

A.I.C. Rating:

Supply From:

Phases: 3

Mains Type: MCB

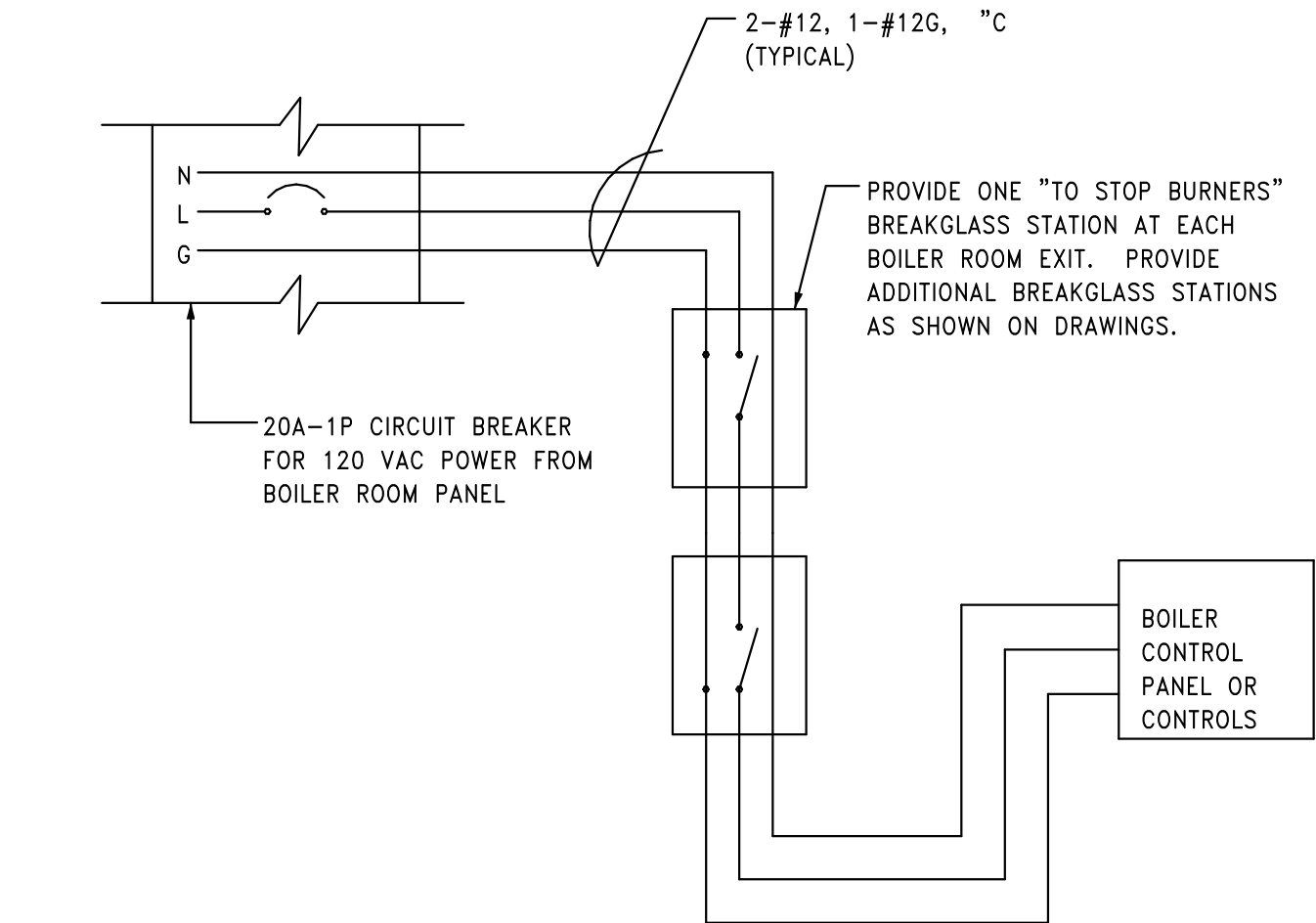
Mounting: SURFACE

Wires: 4

Mains Rating: 100 A

| CKT | Circuit Description | Trip | Poles | A | | B | | C | | Poles | Trip | Circuit Description | CKT |
|-------------|---------------------|-------|-------|---------|---------|---------|---------|------|------|-------|-------|------------------------------|-----|
| 1 | Spare | 100 A | 3 | 0 VA | 900 VA | | | | | 1 | 20 A | SECRETARY AND MEETING RECEPT | 2 |
| 3 | -- | -- | -- | | | 0 VA | 1080 VA | | | 1 | 20 A | OFFICE D RECEPT | 4 |
| 5 | -- | -- | -- | | | | | 0 VA | | | -- | -- | 6 |
| 7 | | | | | 1080 VA | | | | | 1 | 20 A | OFFICE C RECEPT | 8 |
| 9 | | | | | | | | | | | | | 10 |
| 11 | | | | | | | | | | | | | 12 |
| 13 | Spare | 20 A | 3 | 0 VA | 0 VA | | | | | 3 | 200 A | Spare | 14 |
| 15 | -- | -- | -- | | | 0 VA | 0 VA | | | -- | -- | -- | 16 |
| 17 | -- | -- | -- | | | | | 0 VA | 0 VA | -- | -- | -- | 18 |
| Total Load: | | | | 1980 VA | | 1080 VA | | 0 VA | | | | | |
| Total Amps: | | | | 18 A | | 10 A | | 0 A | | | | | |

Notes:



1 BOILER EPO
SCALE: NTS

REV. DATE ITEM

NOTICE

THESE DRAWINGS ARE BASED ON CONSTRUCTION DRAWINGS NOT PROVIDED BY BBS ARCHITECTS. LANDSCAPE ARCHITECTS AND ENGINEERS, P.C. AND, THEREFORE, MAY NOT REPRESENT THE CONDITIONS AS CONSTRUCTED AT THE TIME ALL EXISTING INFORMATION AS THEY MAY NOT HAVE BEEN BUILT AND DETAILED PER THE ORIGINAL DOCUMENTS OR PER THE OWNER'S INFORMATION.

PROJECT

DWG TITLE

DRAWING BY: Designer

CHECKED BY: Approver

NOTICE

THIS DRAWING, PREPARED FOR THE SPECIFIC PROJECT INDICATED IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF BBS ARCHITECTS, LANDSCAPE ARCHITECTS AND ENGINEERS, P.C. REPRODUCTION OR ANY USE OF THIS DRAWING FOR ANY OTHER PROJECT IS PROHIBITED. ANY VIOLATION OR REPRODUCTION OF THIS DOCUMENT IS ALSO PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT OR ENGINEER.

BBS ARCHITECTS LANDSCAPE ARCHITECTS ENGINEERS

244 EAST MAIN STREET PATCHOGUE NEW YORK 11772 T: 631.475.0349 F: 631.475.0361

100 GREAT OAKS BLVD. SUITE 115, ALBANY NEW YORK 12203 T: 518.621.7650 F: 518.621.7655

www.BBSARCHITECTURE.com

SED No.

66-01-02-06-0-008-014

DISTRICT

BEDFORD CENTRAL SCHOOL DISTRICT

PROJECT

PHASE 2 - BOND IMPROVEMENTS ADMINISTRATION BUILDING

DWG TITLE

SCHEDULES

SCALE: AS NOTED

DATE: FEBRUARY 24, 2025

BID PICK UP: FEBRUARY 24, 2025

FILE No.

23-131C ADMIN.

E6.01