

ADDENDUM NO. 02

PROJECT: Ossining Union Free School District
2024 Bond: Phase 1
OHS Locker Room & CTE Addition

CPL PROJECT NO. R24.16761.00

DATE: May 15, 2026

Include this Addendum as part of the Contract Documents. It supplements portions of the original specifications and drawings, the extent of which shall remain, except as revised herein:

CLARIFICATIONS / BIDDER QUESTIONS:

1.1 Pre-bid walk-through sign-in sheet attached for reference.

1.2 **Question:** We request clarification regarding how fuel costs associated with temporary heating are to be carried within the project.

Due to the number of variables impacting fuel consumption and pricing, including but not limited to construction schedule fluctuations, seasonal conditions, duration of temporary heat usage, and volatility in fuel pricing driven by broader economic factors, it is not possible to accurately determine or reasonably assume the true cost of fuel at this time.

Given these uncertainties, we request that the cost of fuel associated with temporary heating be carried as an allowance rather than included as a fixed cost in the contract sum. This approach will allow for a more equitable reconciliation based on actual usage and market conditions at the time of consumption.

Answer: MC to carry \$20,000 allowance for fuel cost for temporary heat. Please refer to Specification Section 012100 – Allowances for added MC-01 Allowance and Section 004020 – Form of Proposal – Mechanical Construction for revised Form of Proposal.

1.3 **Question:** Dr. I201 note I14 stated Writable Surface (WS) - O.F.C.I., however schedule on I000.B doesn't have O.F.C.I. statement for (WS). Please clarify.

Specs 102600 for corner guards CG state “Length: One piece; manufacturer’s standard length”. Manufacturer’s std. length for one piece is up to 10’, if height is more it’s will be 2 pieces. Please advise required height of the CG.

Answer: Please refer to sheet A700, Writeable Surface (WS) is indicated as an OFCI item. However, WS-2 is a CFCI item. Only WS-1 is OFCI.

Corner guards shall be installed to align with the top of the door frames.



1.4 Question: Drawing H801 Detail #11 indicates a hooded pipe portal with overhang. There does not appear to be a specification section associated with these specific portals. Can additional information be provided such as the manufacturer and model required?

Answer: Basis of design for the hooded pipe portals are Buckley HPP.

1.5 Question: Is the District requiring a specific controls vendor for the project?

Answer: See spec section 230913, all controls shall be compatible with the existing ACL/andover BMS System.

1.6 Question: The specs call for all the HVAC control wiring to be in EMT, this is a big expense. Most schools allow for free-airing above the ceilings. Please advise if this is required.

Answer: Control wiring should be installed per specifications.

1.7 Question: As per Milestone 011100 Relocation of Locker Rooms 122 & 123 “BY OTHER”. Please clarify “BY OTHERS” meaning by GC, or otherwise. Thank you.

Answer: The relocation of the Locker Rooms is “BY OTHERS” meaning a completely different contract not a part of these Bid Documents and not the responsibility of this GC. The GC is responsible for restoring Rooms 122 & 123 as per Temporary Locker Room Notes on sheet G101 once the temporary lockers rooms are no longer needed.

1.8 Question: EIFS specs was added by Addendum 1, please advise locations of EIFS.

Answer: The location for EIFS is at the areas of exposed 2” composite rigid insulation that is faced w/ 5/8” cement board. The EIFS is the Elastomeric Coating to coat the exposed cement board that is reference in the notes on the drawings. Please refer to revised Sheets A452, A453 & Detail 1/A811 on revised sheet A811 that was issued in Addendum No. 01.

1.9 Question: There does not appear to be a BMS controls sequence of operations in the spec. Please clarify.

Answer: BMS Controls Sequences are shown on the H500s drawings next to their respective controls diagram.

1.10 Question: Dr. A303 Elevation – South-2 shows two open spaces +/- 20' x 7', please clarify what should be done at the areas. Thank you.

Answer: The two open spaces shown on Drawing 2/A303 “Elevation – South 2” are existing brick veneer areas to remain and existing concrete to remain. Above the window infill area is existing concrete to remain and below the window infill area is existing brick veneer to remain. Refer to below existing condition photos for reference.



1.11 Question: Would an ABB temperature controls vendor be acceptable for the existing Andover BMS connection?

Answer: See spec section 230913, all controls shall be compatible with the existing ACL/andover BMS System.

1.12 Question: The insurance requirements for this project (Document A132-2019 Exhibit A call for an additional policy: Owners Contractors Policy (OCP). Please confirm this is required.

Answer: Yes, this insurance requirement is required.

CHANGES TO THE PROJECT MANUAL:

1.8 Section 004020 – Form of Proposal – Mechanical Construction

Replace Specification Section 004020 – Form of Proposal – Mechanical Construction with the attached revised Specification Section 004020 – Form of Proposal – Mechanical Construction.

1.9 Section 011000 – Summary of Multiple Contracts

Replace Specification Section 011000 – Summary of Multiple Contracts with the attached revised Specification Section 011000 – Summary of Multiple Contracts.

1.10 Section 011100 – Milestone Schedule

OMIT language **“BY OTHERS”** from Section 011100 – Milestone Schedule, paragraph 1.2. Milestone Schedule, line 3 “Installation of Temporary Staging Area (see plan included in 015000) **BY OTHERS.**

1.11 Section 012100 – Allowances

Replace Specification Section 012100 – Allowances with the attached revised Specification Section 012100 – Allowances.



1.12 Section 230713 – Duct Insulation

Replace Specification Section 230713 – Duct Insulation with the attached revised Specification Section 230713 – Duct Insulation.

1.13 Section 231126 – Facility Liquefied-Petroleum Gas Piping

Add Section 231126 – Facility Liquefied-Petroleum Gas Piping

CHANGES TO THE DRAWINGS:

1.9 OHS C201 – Site Plan – Work Area

Replace sheet OHS C201 with the attached revised sheet OHS C201.

1.10 OHS C203 – Utility Plan – Work Area

Replace sheet OHS C203 with the attached revised sheet OHS C203.

1.11 OHS C205 – Erosion & Sediment Control Plan – Work Area

Replace sheet OHS C205 with the attached revised sheet OHS C205.

1.12 OHS C206 – Construction Fence & Staging Plan

Replace sheet OHS C206 with the attached revised sheet OHS C206.

1.13 OHS H102 – Existing Roof Mechanical Demolition Plan – Area A2

Replace sheet OHS H102 with the attached revised sheet OHS H102.

1.14 OHS H702 - Gymnasium Temporary New Work Plan

Add attached sheet OHS H702 – Gymnasium Temporary New Work Plan.

1.15 OHS H703 - Gymnasium Temporary Work Demolition Plan

Add attached sheet OHS H703 – Gymnasium Temporary Work Demolition Plan.

1.16 OHS H802 – Mechanical Details

Replace sheet OHS H802 with the attached revised sheet OHS H802.

1.17 OHS E101 – First Floor Electrical Demolition Plan – Area A1

Replace sheet OHS E101 with the attached revised sheet OHS E101.

1.18 OHS E102 – Second Floor Electrical Demolition Plan – Area A2

Revise key note 3 to read “DISCONNECT AND REMOVE ALL CONDUITS AND WIRING ASSOCIATED WITH HVAC UNITS BACK TO SOURCE IN THEIR ENTIRETY. MAINTAIN EXISTING CIRCUIT BREAKERS IN EXISTING PANEL FOR REUSE IN RELOCATED HVAC UNIT.”

1.19 OHS E201 – First Floor Power Plan – Area A1

Replace sheet OHS E201 with the attached revised sheet OHS E201.

PREVIOUSLY ISSUED ADDENDA:

1.12 Addendum No. 01 on May 8, 2026

- A. It is agreed by the undersigned that after receipt of a Notice of Award and a consummation of a Contract Agreement in accord with the terms of the Contract Documents, he or she will start work within 10 consecutive calendar days of the notice to proceed and fully complete the work by as indicated in the Contract Documents.

1.05 ALLOWANCES (REFERENCE SPECIFICATION SECTION 012100)

- A. Specified Allowance as indicated in Specification Section 012100. This amount is to be included in the Base Bid above.

- 1. Allowance No. MC-00; (General Allowance)

\$ _____ (Insert Amount)

- 2. Allowance No. MC-01; (Fuel Cost for Temporary Heat)

\$ _____ (Insert Amount)

1.06 BID SECURITY

- A. Bid Security in the form of a Certified or Cashier's Check or a Bid Bond in the form required by the Contract Documents is attached to and made a part of this Proposal.

1.07 IRAN DIVESTMENT ACT CERTIFICATION

- A. Contractor to submit with the bid, Iran Divestment Act Certification which hereto is made a part of this Form of Proposal and is attached at the end of this Form of Proposal.

1.08 CERTIFICATION UNDER EXECUTIVE ORDER NO. 16

- A. Contractor to submit with the bid, Certification under Executive Order No. 16 which hereto is made a part of this Form of Proposal and is attached at the end of this Form of Proposal.

1.09 NEW YORK STATE DEPARTMENT OF LABOR CONTRACTOR REGISTRY

- A. Pursuant to New York State Department of Labor requirements, Contractor to submit with the bid, a copy of their Contractor Certificate of Registration along with, Labor Law 220-i Certification Form which hereto is made a part of this Form of Proposal and is attached at the end of this Form of Proposal.

1.10 REPRESENTATIONS

- A. By submitting this Proposal the Bidder represents and certifies to the Owner and the Architect that
 - 1. It has examined the Contract Documents, the site of the proposed Work, is familiar with the local conditions at the place where the Work is to be performed and fully comprehends the requirements and intent of the plans and specifications for this Project in accordance with the drawings, specifications and other Contract Documents prepared by CPL the Owners Consultant, for this Project.
 - 2. It has examined and reviewed, where applicable, all information and data in the Contract Documents related to existing underground facilities at or contiguous to the site. Bidder shall require of the Owner or Architect no further investigations, explorations, tests or reports with respect to such underground facilities in order for the Bidder to perform the Work of the Proposal within the Contract Time and in accordance with the Contract Documents.
 - 3. It has given notice to the Architect, as required by the Contract Documents of any and all discrepancies it has discovered and accepts the resolution of those discrepancies offered by the Architect.

4. Pursuant to New York State General Municipal Law section 103-d, by submission of this bid, each bidder and each person signing on behalf of any bidder certifies, and in the case of a joint bid each party thereto certifies as to its own organization, under penalty of perjury, that to the best of knowledge and belief:
 - a. The prices in this bid have been arrived at independently without collusion, communication, or agreement, for the purpose of restricting competition, as to any matter relating to such prices with any other bidder or with any competitor;
 - b. Unless otherwise required by law, the prices which have been quoted in this bid have not been knowingly disclosed by the bidder and will not be knowingly disclosed by the bidder prior to opening, directly or indirectly, to any other bidder or competitor; and
 - c. No attempt has been made or will be made by bidder to induce any other person, partnership or corporation to submit or not to submit a bid for the purpose of restricting competition.
 - d. The proposal is based upon the materials, equipment and systems required by the Contract Documents, without exception, unless otherwise set forth in this Proposal in detail.

1.11 CHANGE ORDERS

- A. We propose and agree that the above lump sum shall be adjusted for changes in the Contract Work not included in unit prices by addition of the following costs:
 1. Profit and overhead as permitted in the General Conditions.

1.12 NON-COLLUSIVE BIDDING CERTIFICATION

- A. By submission of this bid, each bidder and each person signing on behalf of any bidder certifies, and in the case of a joint bid each party thereto certifies as to its own organization, under penalty of perjury, that to the best of knowledge and belief:
 1. The prices in this bid have been arrived at independently without collusion, consultation, communication, or agreement, for the purpose of restricting competition, as to any matter relating to such prices with any other bidder or with any competitor;
 2. Unless otherwise required by law, the prices which have been quoted in this bid have not been knowingly disclosed by the bidder and will not knowingly be disclosed by the bidder prior to opening, directly or indirectly, to any other bidder or to any competitor; and
 3. No attempt has been made or will be made by the bidder to induce any other person, partnership or corporation to submit or not to submit a bid for the purpose of restricting competition.

1.13 ACCEPTANCE

- A. When this Proposal is accepted, the undersigned agrees to enter into a Contract with the Owner as provided in the Form of Agreement.

1.14 AFFIRMS

- A. The undersigned affirms and agrees that this Proposal is a firm one which remains in effect and will be irrevocable for a period of forty-five (45) days after opening of Bids.

1.15 TYPE OF BUSINESS

- A. The undersigned hereby represents that it is a (select with circle):
 1. Corporation, Partnership, Individual.

2. If a Corporation, then the undersigned further represents that it is duly qualified as a Corporation under the laws of New York State and it is authorized to do business in this State.

1.16 PLACE OF BUSINESS

- A. The following is the name and address of the person to whom all notices required in connection with this Proposal may be telephoned, mailed, or delivered.

Name of Contact Person:	
Name of Business or Firm:	
Address:	
Address:	
Telephone:	Fax
Email Address:	
FEIN: Federal Employer Identification No.:	

1.17 EXECUTION OF CONTRACT

- A. When written Notice of Acceptance of the Proposal is mailed or delivered to the undersigned within forty-five (45) days after the opening of Bids, or anytime thereafter should the Proposal not be withdrawn, the undersigned, within ten (10) days, will execute the Form of Agreement with the Owner.

1.18 ADDENDA

- A. Any addenda issued by the Architect and mailed or delivered to the undersigned prior to the Bid opening date shall become part of the Contract Documents. The Bidder shall enter on this list any addenda issued after this Form of Proposal has been received and shall fill in the addenda number and date.

Addendum #	Dated:	
Addendum #	Dated:	
Addendum #	Dated:	
Addendum #	Dated:	

1.19 ASBESTOS

- A. The bidder certifies that no asbestos or asbestos-containing materials will be incorporated into the Work of this Contract.

1.20 AUTHORIZED SIGNATURES FOR PROPOSALS

Individual or Legal Name of Firm or Corporation:
Signature of Representative of Firm or Corporation:
Printed Name and Title:
Date:
If Corporation – provide Seal:

1.21 IRAN DIVESTMENT ACT CERTIFICATION

- A. By submission of this bid, (DL & AV Equip 1315), or by assuming the responsibility of a Contract awarded hereunder, each bidder and each person signing on behalf of any bidders, certifies, and in the case of a joint bid each party thereto certifies as to its own organization, under penalty of perjury, that to the best of its knowledge and belief:
1. That each bidder/contractor/assignee is not on the “Entities Determined To Be Non-Responsive Bidders/Offerers Pursuant to The New York State Iran Divestment Act of 2012” list created pursuant to paragraph (b) subdivision 3 of section 165-a of the New York State Finance Law and posted on the OGS website at <http://www.ogs.ny.gov/about/regs/docs/ListofEntities.pdf> and further certifies that it will not utilize on such Contract any subcontractor that is identified on the Prohibited Entities List. Additionally, Bidder/Contractor is advised that should it seek to renew or extend a Contract awarded in response to the solicitation, it must provide the same certification at the time the Contract is renewed or extended. (See Article in the Instructions to Bidders.)

Individual or Legal Name of Firm or Corporation:
Mailing Address:
Signature of Representative of Firm or Corporation:
Printed Name and Title:
Date:
SWORN to before me this date:
Notary Public Signature and Stamp:

1.22 SEXUAL HARASSMENT POLICY/TRAINING AFFIRMATION

- A. By submission of this bid, each bidder and each person signing on behalf of any bidder certifies, and in the case of a joint bid each party thereto certifies as to its own organization, under penalty of perjury, that the bidder has and has implemented a written policy addressing sexual harassment prevention in the workplace and provides annual sexual harassment prevention training to all its employees.

Name of Contractor:
Name of Business or Firm:
Address:
Telephone: Fax
Email Address:
Signature and Title of Contractor:
Date:

CERTIFICATION UNDER EXECUTIVE ORDER NO. 16

**PROHIBITING STATE AGENCIES AND AUTHORITIES FROM CONTRACTING WITH
BUSINESSES CONDUCTING BUSINESS IN RUSSIA**

Executive order No. 16 provided that "all Affected State Entities are directed to refrain from entering into any new contract or renewing any existing contract with an entity conducting business operations in Russia." The complete text of the Executive Order No. 16 can be found at the following website; <https://ogs.ny.gov/EO-16>.

The Executive Order remains in effect while sanctions imposed by the federal government are in effect. Accordingly, vendors who may be excluded from award because of current business operations in Russia are nevertheless encouraged to respond to solicitations to preserve their contracting opportunities in case the sanctions are lifted during a solicitation or even after award in the case of some solicitations.

As defined in Executive Order No. 16, an entity conducting business operation in Russia" means an institution or company, wherever located, conducting any commercial activity in Russia or transacting business with the Russian Government or with commercial entities headquartered in Russia or with their principal place of business in Russia in the form of contracting, sales, purchasing, investment, or any business partnership.

Is vendor an entity conducting business operations in Russia, as defined above? Please answer by circling one of the following numbers:

1.	No, Vendor does not conduct business operations in Russia within the meaning of Executive Order No. 16
2.a.	Yes, Vendor conducts business operations in Russia within the meaning of Executive Order No. 16 but has taken steps to wind down business operations in Russia or is in the process of winding down business operations in Russia. (Please provide a detailed description of the wind down process and a schedule for completion).
2.b.	Yes, Vendor conducts business operations in Russia within the meaning of Executive Order No. 16 but only to the extent necessary to provide vital health and safety services within Russia or to comply with federal law, regulations, executive orders, or directives. (Please provide a detailed description of the services being provided or the relevant laws, regulations, etc.).
3.	Yes, Vendor conducts business operations in Russia within the meaning of Executive Order No. 16.

The undersigned certifies under penalties of perjury that they are knowledgeable about the Vendor's business and operations and that the answer provided herein is true to the best of their knowledge and behalf.

Vendor Name:

(legal entity) _____

By: _____

(signature) _____

Name: _____

Title: _____

Date: _____

LABOR LAW 220-I CERTIFICATION FORM

By submission of this bid, the person authorized to sign on behalf of the Bidder hereby certifies, under penalty of perjury, that :

1. The Bidder is registered with the New York State Department of Labor pursuant to Section 220-i of the New York Labor Labor Law, and
2. Each of the subcontractors engaged by the Bidder for this Project will be registered before commencing work.

Bidder further represents that;

1. A copy of the Bidder's Certificate of Registration issued by the Commissioner of the Department of Labor is attached to this Bid.
2. All Subcontractors will submit a copy of their Certificate of Registration issued by the Commissioner of the Department of Labor before commencing work.

Project:
Individual or Legal Name of Bidder or Corporation:
Bidder Address:
Signature of Representative of Bidder or Corporation:
Print Name and Title:
Date:
SWORN to before me this date:
Notary Public Signature and Stamp:

END OF SECTION

SECTION 011000 – SUMMARY OF MULTIPLE CONTRACTS

PART 1 - GENERAL

1.1. PROJECT INFORMATION

- A. Project: Ossining High School; Locker Room & CTE Addition
- B. Project Location: 29 S Highland Ave, Ossining, NY 10562
- C. Owner: Ossining Union Free School District
- D. Architect: CPL
- E. Construction Manager: ACCI: Arris Contracting Company Inc.
- F. The overall scope of work includes:
 - 1. Renovation of the existing locker rooms, two story addition over the existing locker rooms, and CTE Addition.
- G. Contracts:
 - 1. The project will be construction under a multiple-prime contract arrangement.
 - 2. Prime contracts are separate contracts between the Owner and separate contractors, representing significant construction activities. Each prime contract is performed concurrently with and closely coordinated with construction activities performed on the Project under prime contracts. Prime contracts for this Project include:
 - a. General Work Contract (GC or GWC)
 - b. Mechanical Work Contract (MC, HVAC, or HC)
 - c. Electrical Work Contract (EWC, EC)
 - d. Plumbing Work Contract (PWC, PC)
 - e. Fire Sprinkler Work Contract (FSWC, FSC)

1.2. DIVISION OF WORK

Each contract shall include all labor materials, plans, tools, equipment and supervision which are required for or incidental to the proper completion of the work as indicated on all drawings and described in the following specifications sections.

1.3. GENERAL REQUIREMENTS – ALL CONTRACTS

DIVISION 00 – PROCUREMENT AND CONTRACTING REQUIREMENTS

All Sections

DIVISION 01 – GENERAL REQUIREMENTS

All Sections

Special Notes: All Contracts

1. Work hours M-F 7:30AM – 4:30PM. Contractor will appropriately provide labor for the project to avoid Saturday and Overtime hours which result in Owner, Construction Manager and Architect additional costs.
2. Delivery black out times- No Contractor trucks/deliveries are allowed during school bus times as indicated by Owner approx. 7:00am-8:30am or 2:00pm -3:30pm.
3. Contractor is to carry insurance coverages per the Owner’s Insurance Requirements which are located in the DIV 00 specification.
4. Contractor is specifically reminded about their responsibilities for clean-up as per section 017423. Maintaining a clean jobsite is considered a safety issue and will be strictly enforced. In addition to daily cleaning, the contractor is required to hire a professional cleaning company to final clean all areas impacted by the construction. This includes completely cleaning any surfaces/equipment/furniture which has been dusted by the construction work. If the Contractor does not properly perform this function when directed by the Owner/CM, the Owner will perform the work with others and deduct the cost from the Contractor.
5. Each Contractor shall provide suitable rubbish containers device(s) for their own use (both demolition and construction debris), properly maintained and serviced, replaced as required and protected from access by the public fencing as may be specified herein or approved by the Architect or Construction Manager.
6. Roof Penetrations work is assigned as follows:
 - a. Addition New Roofs
 - i. All new blocking, flashing, pipe portals, boots and roofing shall be by the General Work Contractor. The Contractor requiring a penetration shall provide all layout required, cutting of deck as well as temporary weather protection. Roof curbs required for equipment shall be supplied by the Contractor requiring same, assembled as needed, located adjacent to the final location and shall be installed by the General Work Contractor.

- b. Renovation area Temporary Roofs
 - i. All temporary blocking, flashing, pipe portals, boots and roofing shall be by the General Work Contractor.
 - ii. The Contractor requiring a penetration shall provide all layout required.
 - iii. Cutting of deck, as well as temporary weather protection is by the General Work Contractor.
- 7. Existing building space may not be used for storage unless approved by Owner.
- 8. Trenching, excavation, and backfill for the Work of each Contract shall be provided by each Contract for its own Work, unless noted otherwise.

1.4. GENERAL WORK CONTRACT

In addition to Division 00 & Division 1, included in this bid package contractor shall provide for proper completion of work as indicated on all drawings and in accordance with the terms and conditions described in the following specifications sections (see 000110 Table of Contents):

DIVISION 02 Existing Conditions-All Spec. Sections

DIVISION 03 Concrete-All Spec Sections

DIVISION 04 Masonry-All Spec Sections

DIVISION 05 Metals-All Spec Sections

DIVISION 06 Woods, Plastics, and Composites-All Spec Sections

DIVISION 07 Thermal and Moisture Protection-All Spec Sections

DIVISION 08 Openings-All Spec Sections

DIVISION 09 Finishes-All Spec Sections

DIVISION 10 Specialties-All Spec Sections

DIVISION 11 Equipment-All Spec Sections

DIVISION 12 Furnishings- All Spec Sections

DIVISION 13 Special Construction-NOT USED

DIVISION 14 Conveying Equipment-All Spec Sections

DIVISION 31 Earthwork-All Spec Sections

DIVISION 32 Exterior Improvements-All Spec Sections

DIVISION 33 Utilities-All Spec Sections

DIVISION 34 Transportation-All Spec Sections

Special Notes: General Work Contractor:

1. All abatement work is by the General Work Contractor
2. A temporary ballasted 45 Mil roof will be placed over the existing locker room concrete roof once roof abatement is completed and be modified and/or repaired as needed during all construction phases until the addition over the existing lockers rooms is watertight. A minimum of four 4" temporary roof drains, including all required piping & supports/hangers to the exterior of the building and down to grade. Complete temporary roof system to be maintained throughout the overall duration of the project.
3. Access doors furnished by trade requiring access; installation by General Work Contractor.
4. Roof drain & associated storm water piping up to 5' from building.
5. New water line work up to five feet outside building line(s).
6. GWC to supply and install Fume Hoods and the MWC to duct from Fume Hood to final exhaust location.
7. All new roof rails, curbs and pipe portals to be supplied, assembled and placed on roof by the prime contractor requiring the work. GWC will install wood blocking, install rails/portals, provide structural steel supports, cut opening, flash in curb and provide temporary watertight/plywood secure of opening until rooftop HVAC unit is set.
8. GWC is specifically reminded that there may be miscellaneous asbestos pipe insulation/fittings above some ceiling and inside wall areas. Contractor will investigate above the ceiling and walls prior to demolition and carefully perform the removal where necessary to not disturb any insulation/fittings.
9. GWC will install metal studs, plywood sheathing, plastic, for weather tight and secure assembly at window and door areas, until permanent windows and doors are installed.
10. GWC is notified that schedule will require multiple mobilizations and multiple crews of certain subcontractors.
11. All temporary partitions, doors, openings, ceilings, entrances as outlined in 015000 and staging plans are by the GWC. Removals of temporary egress once addition is completed.
12. GWC will paint all existing frames scheduled for new doors/hardware on door schedule. Frame to be painted on all sides.
13. GWC is to provide all safety barricades, and temporary fencing to protect pedestrians and to protect the work in addition to what is shown within the drawings, specs, logistics plans, or phasing plans.
14. GWC is to provide Scaffolding Protection at Egress Pathways and Egress Pathways as per the provided staging plan and/or phasing plan for the minimum timeline as noted on the milestone schedule.
15. GWC is specifically notified that at the completion of the project the staging area will remain.

16. GWC is responsible for all Scaffolding, Egress Bridging, Egress Canopies and Protections as per Sketches found in 01 5000. Existing windows adjacent to the new locker room addition (that will be encompassed by the Locker Room Addition) shall be covered with $\frac{3}{4}$ " plywood (and associated framing and fasteners) to protect the windows (and people) until permanent construction finish is achieved.
17. GWC is specifically notified that access to any tunnel crawl space areas is confined work environment and all workers must have appropriate OSHA certifications and training.
18. GWC is specifically reminded about their responsibilities for clean-up as per section 017423. In addition to daily cleaning, the contractor is required to hire a professional cleaning company to final clean all areas impacted by the construction

1.5. MECHANICAL WORK CONTRACT

In addition to Division 00 & Division 1, included in this bid package contractor shall provide for proper completion of work as indicated on all drawings and in accordance with the terms and conditions described in the following specifications sections (see 000110 Table of Contents):

DIVISION 02- Spec Section 024119 Selective Structure Demolition-as it pertains to cutting & capping, water supplies. & Spec Section 028300 in its entirety.

DIVISION 06-Spec Section 061053 Misc.Rough Carpentry- as it pertains to any backer-boards required for panels or other equipment.

DIVISION 07-Spec Section 078400 Firestopping as it pertains to penetrations made by your work & Spec Section 079200 Joint Sealants as it pertains to your work.

DIVISION 11-Spec Section 115313 Laboratory Fume Hoods and Related Products- as it pertains to the ducting from the fume hood to its final exhaust point.

DIVISION 23-Heating, Ventilating, and Air Conditioning (HVAC)-All Spec Sections

DIVISION 26-Electrical- Spec Section 260519 Low-Voltage Electrical Power Conductors and Cables as it pertains to Control Wiring. (Control wiring by MWC)

Special Notes: Mechanical Work Contractor:

1. Access doors are furnished by Mechanical Contractor and installed by GWC Contractor.
2. All new roof rails, curbs and pipe portals to be supplied, assembled and placed on roof by MWC. GWC will install wood blocking, install rails/portals, provide structural steel supports, cut opening, flash in curb and provide temporary watertight/plywood secure of opening until rooftop HVAC unit is set.
3. MWC is responsible for making their own through wall and through floor duct and piping penetrations and associated patching/firestopping.

4. GWC to supply and install Fume Hoods and the MWC to duct from Fume Hood to final exhaust location.
5. Disconnects, starters, etc. supplied by MC installed by EC, unless noted otherwise.
6. Supply and Install of Control Wiring, programming, and related software by MWC.
7. MWC is to provide temporary heat for both the existing Gym AND the new additions during construction. (See Drawings H-702 & H-703 for Gym Temp Heat)(See also Temp. Heat Fuel Allowance)
8. Contractor is specifically reminded about their responsibilities for clean-up as per section 017423. In addition to daily cleaning, the contractor is required to hire a professional cleaning company to final clean all areas impacted by the construction. This includes completely cleaning any surfaces/equipment/furniture which has been dusted by the construction work. If the contractor does not properly perform this function when directed by the Owner/CM, the owner will perform the work with others and deduct the cost from the contractor.

1.6. ELECTRICAL WORK CONTRACT

In addition to Division 00 & Division 1, included in this bid package contractor shall provide for proper completion of work as indicated on all drawings and in accordance with the terms and conditions described in the following specifications sections (see 000110 Table of Contents):

DIVISION 02- Spec Section 024119 Selective Structure Demolition-as it pertains to cutting & capping, electrical supplies & Spec Section 028300 in its entirety.

DIVISION 03-Spec Section 033000 Cast in Place Concrete as it pertains to light pole bases, light bollards, or conduits encased in concrete.

DIVISION 06-Spec Section 061053 Misc.Rough Carpentry- as it pertains to any backer-boards required for panels or other equipment.

DIVISION 07-Spec Section 078400 Firestopping as it pertains to penetrations made by your work & Spec Section 079200 Joint Sealants as it pertains to your work.

DIVISION 26-Electrical-All Spec Sections

DIVISION 27-Communications-All Spec Sections

DIVISION 28-Electronic Safety and Security-All Spec Sections

DIVISION 31-Earthwork-Spec Sections 312316 Excavation, 312316.13 Trenching, 312316.26 Rock Removal, 312319 Dewatering, 312323 Fill, 315000 Excavation Support and Protection: as these sections pertain to excavation for any site electrical work. For example: Buried conduit, light bollards, and pole bases. (Paving by GWC, but electrical underground must be done to accommodate paving)

Special Notes: Electrical Work Contractor:

1. Access doors are furnished by EC and installed by GC.
2. EC is specifically notified that access tunnels / crawl spaces are confined work environments all workers must have appropriate OSHA certification & training.
3. VFD's, disconnects, motor starters which are supplied by MC will be installed by EC, unless noted otherwise.
4. EC is to provide power and control wiring to Temp. Heat Units relocated outdoors.
5. Contractor is specifically reminded about their responsibilities for clean-up as per section 017423. In addition to daily cleaning, the contractor is required to hire a professional cleaning company to final clean all areas impacted by the construction. This includes completely cleaning any surfaces/equipment/furniture which has been dusted by the construction work. If the contractor does not properly perform this function when directed by the Owner/CM, the owner will perform the work with others and deduct the cost from the contractor.

1.7. PLUMBING WORK CONTRACT

In addition to Division 00 & Division 1, included in this bid package contractor shall provide for proper completion of work as indicated on all drawings and in accordance with the terms and conditions described in the following specifications sections (see 000110 Table of Contents):

DIVISION 02-Spec Sections 024119 Selective Structure Demolition & 028300 Lead Safe Work Practices: as these section pertain to cutting and capping all water supplies to accommodate the GWC demolition.

DIVISION 07-Spec Section 078400 Firestopping as it pertains to penetrations made by your work & Spec Section 079200 Joint Sealants as it pertains to your work.

Division 22-All Spec Sections

DIVISION 31-Earthwork-Spec Sections 312316 Excavation, 312316.13 Trenching: as these sections pertain to excavation for any plumbing work. For example: Under-slab plumbing rough in.

Special Notes: Plumbing Work Contractor:

1. All Excavation/Backfill (structural fill under slab areas) and compaction for plumbing piping is by the PWC.
2. Access doors are furnished by PWC and installed by GWC
3. PWC is responsible for making their own through wall and through floor duct and piping penetrations and associated patching/firestopping.

4. PWC to cut and cap all water supplies as needed for demolition and will remove plumbing fixtures slated to be removed.
5. Roof drain & associated storm water piping installed to 5' outside of building.
6. New water line work installed five feet outside building line(s).

7. Contractor is specifically reminded about their responsibilities for clean-up as per section 017423. In addition to daily cleaning, the contractor is required to hire a professional cleaning company to final clean all areas impacted by the construction. This includes completely cleaning any surfaces/equipment/furniture which has been dusted by the construction work. If the contractor does not properly perform this function when directed by the Owner/CM, the owner will perform the work with others and deduct the cost from the contractor.

1.8. FIRE SPRINKLER WORK CONTRACT

In addition to Division 00 & Division 1, included in this bid package contractor shall provide for proper completion of work as indicated on all drawings and in accordance with the terms and conditions described in the following specifications sections (see 000110 Table of Contents):

DIVISION 07-Spec Section 078400 Firestopping as it pertains to penetrations made by your work & Spec Section 079200 Joint Sealants as it pertains to your work.

DIVISION 21-All Spec Sections

Special Notes: Fire Sprinkler Work Contractor:

1. Fire Sprinkler Contractor takes the fire service from 5' outside the building, brings it into the building and supplies/installs the sprinkler backflow preventor assembly as indicated on drawings.
2. Access doors are furnished by FSWC and installed by GWC.
3. FSWC is responsible for making their own through wall and through floor duct and piping penetrations and associated patching/firestopping.
4. Contractor is specifically reminded about their responsibilities for clean-up as per section 017423. In addition to daily cleaning, the contractor is required to hire a professional cleaning company to final clean all areas impacted by the construction. This includes completely cleaning any surfaces/equipment/furniture which has been dusted by the construction work. If the contractor does not properly perform this function when directed by the Owner/CM, the owner will perform the work with others and deduct the cost from the contractor.

1.9. PRIME CONTRACTOR'S USE OF PREMISES

- A. Use of the Site: Limit use of the premises to work in areas indicated. Confine operations areas within contract limits indicated. Do not disturb portions of the site beyond the areas in which the work is indicated.

- B. Driveways and Entrances: Keep driveways and entrances serving the premises clear and available to the Owner, the Owner employees, and emergency vehicles at all times. Do not use these areas for parking or storage of materials. Schedule deliveries to minimize space and time requirements for storage of materials and equipment on site.
- C. Owner's representative(s) will cover the project for the standard Monday – Friday shift. If a Contractor requests additional hours to make up schedule time or weekends, he will need to reimburse Owner for additional coverage or costs (e.g. – Architect, Construction Manager, etc.) at their contractual rate.
- D. General: Limitations on site usage as well as specific requirements that impact utilization are indicated on the drawings and by other contract documents. In addition to these limitations and requirements, the Contractor shall administer allocation of available space equitably among the separate sub-contractors and other entities needing access and space, so as to produce the best overall efficiency in performance of the total work of the project. The Contractor shall schedule deliveries to minimize space and time requirements for storage of materials and equipment on site.
- E. After the equipment is no longer required for the work, it shall be promptly removed from the project site. Protection of construction materials and equipment stored at the project site from weather, theft, damage and all other adversities are solely the responsibility of the Contractors.
- F. Do not unreasonably encumber the site with materials or equipment. Confine stockpiling of materials and location of storage sheds to the areas indicated. If additional storage is necessary, obtain and pay for such storage off-site.
- G. The Contractor(s) and any entity for which the Contractor is responsible shall not erect any sign of the Project site without the prior written consent from the Owner, which may be withheld in the sole discretion of the Owner.
- H. The Contractor(s) shall ensure that the work, at all times, is performed in a manner that affords reasonable access, both vehicular and pedestrian, to the site of the work and all adjacent areas. The work shall be performed, to the fullest extent reasonably possible, in such a manner that public areas adjacent to the site of the work shall be free from all debris, building materials, and equipment likely to cause hazardous conditions. Without limitation of any other provision of the Contract Documents, Contractor shall use their best efforts to minimize any interference with the occupancy or beneficial use of: Any areas and building adjacent to the site of the work or the building in the event of partial occupancy.
- I. Maintain the building in a safe and weathertight condition throughout the construction period. Repair damage caused by construction operations. Take all precautions necessary to protect the building during the construction period.
- J. Each Prime Contractor is responsible for maintaining a safe jobsite. This includes actively reviewing their work areas to ensure that they are in compliance with all required OSHA regulations. It is a contract requirement that each Contractor conducts weekly tool-box safety meetings to ensure that their employees are properly educated and utilizing safe work

practices. (Copies of these weekly meetings and a list of the attendees will be forwarded to the CM Site Superintendent on a weekly basis). Contractors will comply with all requirements outlined in the General Conditions including providing their employees with PPE (personal protective equipment) such as masks, hand sanitizer, hard hats, proper work boots, safety harness, safety glasses, etc.

- K. Smoking, drinking alcoholic beverages or open fires are prohibited on the project site.
- L. Utility Outages and Shutdown:
 - 1. Limit the disruption of utility services to hours the building is unoccupied, weekends or holidays at no additional cost.
 - 2. Do not disrupt or shut down line safety systems, including but not limited to fire sprinklers and fire alarm system, without 7 days' notice to Owner and authorities having jurisdiction.
 - 3. Prevent accidental disruption of utility services to other facilities.
 - 4. All costs for manning of temporary shutdowns and utility crossovers, including 24-hour fire watch if necessary, are included in the Contractor's bid regardless of weekend, holiday, etc.

1.10. OCCUPANCY REQUIREMENTS

- A. Partial Owner Occupancy: The Owner reserves the right to occupy the place and install equipment in completed areas of the work prior to Substantial Completion, provided such occupancy does not interfere with completion of the Work, such as placement of equipment and partial occupancy shall not constitute acceptance of the Total Work.
- B. The Architect will prepare a Certificate of Substantial Completion for each specific portion of the Work to be occupied prior to Owner occupancy.
- C. Obtain a Certificate of Occupancy from local building officials prior to Owner occupancy.
- D. Prior to partial Owner occupancy, mechanical and electrical systems shall be fully operational. Required inspections and tests shall have been successfully completed. Upon occupancy, the Owner will operate and maintain mechanical and electrical systems serving occupied portions of the building.
- E. Upon occupancy, the Owner will assume responsibility for maintenance and custodial service for occupied portions of the building.

1.11. DEFINITIONS

- A. Definitions as applied to "Contractors" involved with the work of this Project:
 - 1. "The Contractor" or "Contractor" meaning that Respective Prime Contractor normally responsible for that work referenced.
 - 2. "Respective Prime Contractor" meaning either the – General Contractor, Plumbing, HVAC, Electrical, Sitework, Fire Protection Contractors normally responsible for the referenced work.

3. "Trade Contractor" meaning that Respective Prime Contractor as above; and such other terms relating to Contractors to be taken in context with respect to the referenced work.
 4. Further, wherein said Division 0 and 1 and respective Sections therein, any reference is made to "General Contractor", same shall be construed to mean "Contractor for the General Construction, or General Work Contractor".
- B. The Owner cannot guarantee the correctness of the existing conditions shown and assumes no responsibility therefore, it shall be the responsibility of the Contractor to visit the site and verify all existing conditions prior to bid.
- C. The Owner will purchase certain items required for the overall operation of this facility through outside vendors.
- D. The Contractor(s) will cooperate with said vendors as may be necessary to permit the work to be accomplished.
1. The cooperation may extend to the receiving, unloading and placement of said equipment if directed by the Owner.
 2. Each Contractor is advised that the Owner may enter into separate contracts as may be in their best interest.
 3. Each Contractor is further advised that there will be a full on-site Project Representative / Construction Manager, whose duties will be defined at the pre-construction meeting.

1.12. ADDITIONAL SECURITY PROVISIONS

- A. All Contractor's employees shall use a single means of access and egress, except in the case of emergency, to be designated by the Construction Manager.
- B. Each Contractor and each Subcontractor shall require his employees, while on the job site, to wear, in a conspicuous location, a photo I.D. button bearing the name of the employee and the Contractor. The buttons of each Contractor shall be numbered consecutively. An up-to-date list of all I.D. buttons, indicating the name and number for each employee, shall be furnished to the Construction Manager.

1.13. ASBESTOS AND LEAD PAINT AWARENESS REQUIREMENTS

- A. Contractor agrees not to use or permit the use of any asbestos containing material in or on any property belonging to the Owner.
- B. For purposes of this requirement, asbestos free shall mean free from all forms of asbestos, including actinolite, amosite, anthophyllite, chrysotile, crocidolite and tremolite, both in friable and non-friable states and without regard to the purposes for which such material is used.

1.14. CONSTRUCTION TIME AND PHASING REQUIREMENTS

- A. Each Contractor is advised the “time is of the essence” of the Contract as defined in the “General Conditions” for the completion of the construction of the facility. It is understood that the work is to be carried through to completion with the utmost speed consistent with good workmanship.
- B. Time of Completion shall be as established in the Milestone Schedules (Section 011100).
- C. The Contractor shall maintain fences and barricades at all times and shall repair/restore and/or pay for any temporary fence damaged by their work.
- D. Maintain all exits and walkways at all times.
- E. Where the barricade is removed for work, the Contractor performing such work shall provide adequate safety personnel to prevent unauthorized persons from approaching the work area.
- F. Construction Phasing: The phasing and/or milestone schedule contained in Section 011100 has been established for the overall construction of the project.
- G. Electrical and mechanical services to the functioning spaces shall be maintained at all times.
- H. Swing-overs to new facilities shall be made so as to cause the least interruption to the facilities’ operations.
- I. The Contractor shall provide and maintain all required separations between old and new construction to prevent:
 - 1. Unauthorized entrance to construction areas by others than Architect, Construction Manager, or Owner.
 - 2. Heat loss from existing building, water (rain or ground) infiltration into existing building.
- J. Exterior alteration and restoration, as required, may proceed outside of phasing schedule at the Contractor’s option with concurrence from the Architect, Construction Manager and Owner.
- K. Site development work shall proceed in such a manner to cause the least amount of disruption to the ongoing operations as possible.

1.15. PROOF OF ORDERS, DELIVERY DATES AND SUPPLY CHAIN TRACKING

[Coordinate with Sections 01 32 16 and 01 33 00.]

- A. Within 2 weeks after the approval of shop drawings, samples, product data and the like, the Contractor shall provide copies of purchase orders for all equipment and materials which are not available in local stock. The Contractor shall submit written statements from suppliers confirming the orders and stating promised delivery dates. Failure to provide this critical information will result in Owner holding monthly requisition payments until received.

- B. Due to potential disruption of material supply-chains, the Contractor(s) are required to obtain all materials for the project and store them onsite in their individual Conex boxes. This includes general material items typically readily available (piping, conduits, wire, metal studs, etc.) The Owner will pay for these stored items delivered to the jobsite in accordance with Section 01 29 00.
- C. This information shall be incorporated within the progress schedules so required as part of Section 01 32 16 and 01 33 00 and shall be monitored so as to ensure compliance with promised dates.

1.16. FIELD MEASUREMENTS

Each Respective Contractor shall take all necessary field measurements prior to fabrication, release and installation of work and shall assume complete responsibility for accuracy of same.

1.17. INITIAL SUBMITTAL REQUIREMENTS

As outlined in Division 01, each Contractor shall provide items noted including – bonds, insurance, emergency telephone numbers, progress scheduling, schedules of submittals, subcontractor listings and the like prior to the start of any work. The Owner will not issue contracts until all bonds and insurance information is received from the Contractor and verified correct.

1.18. SCHEDULES

The milestone schedule presented in the documents is for bidding and general purposes. Due to the nature of the work, it is the intention of the Construction Manager to negotiate actual work periods for the project among various Prime Contractors involved with this bidding process, as well as separate contractors involved with other phases of the work solicited under separate proposals. Each Contractor shall, under terms of the General Conditions, mutually cooperate in the rescheduling of work to permit an uninterrupted use of the facilities by the Owner, without additional cost to the Owner.

General:

- A. The objective of this project is to complete the overall work in the shortest period of time and to protect the building and occupants from damages caused by weather and construction during the progress of the work.
- B. To meet these objectives, the Contractor shall plan the work, obtain materials, and execute the construction in the most expeditious manner possible in accordance with the requirements listed below.

- C. If the Contractor fails to expedite and pursue any part of the work, the Owner may terminate the contract or may carry out the work with others per the General Conditions.
- D. The Contractor shall work in coordination with work of other Contractors and Owner.
- E. All Contractors are required to comply with proper sequencing of work and provide other Prime Contractors sufficient time to install their work (e.g. – HVAC Contractor provide preassembled roof curbs on roof in time for the GC roofing work.) If Contractor “boxes out” another Prime Contractor, they will be directed to stop work and open if necessary, to enable other trades to complete their work. No compensation for lost time due to stop-work will be provided.

1.19. ADDITIONAL REQUIREMENTS

The following are additional general and special requirements which will govern the work of the projects covered by these documents:

- A. If it appears that some of the work cannot be completed by the scheduled date, the Contractor shall increase the work force or increase the hours of work, including evenings and weekends as necessary, and cover any additional costs to the Owner, Architect and Construction Manager.
- B. If the work is complete but the area has not been cleaned or debris and equipment remain, the Owner and/or Construction Manager will notify the Contractor of the deficiencies. The Contractor will have up to four hours to clean the specified area(s) to the satisfaction of the Owner and/or Construction Manager. If the Contractor fails to do so, the Owner reserves the right to prepare the area for occupancy using their own resources and deduct the associated costs from the Contract amount.
- C. Contractor must plan, provide and maintain his own access, ramping and egress as required into and out of the site, staging of trailer(s), materials, machinery, and equipment in agreement with the Construction Manager’s Superintendent. Maintain free and safe access on the jobsite for other related project personnel. Maintain safe pedestrian or vehicular traffic must be regulated by a flagman. Trucking and delivery operation should be coordinated with Construction Manager’s Superintendent and all other trades.
- D. Contractor is responsible to maintain existing site fencing in its existing condition. Modifications of the fence to better accommodate the contract work can be discussed with the Construction Manager. These changes shall than be handled by this Contractor at his expense and in accordance with the Construction Manager's Superintendent's direction. Any cost incurred as a result of damages shall be changed to this Contractor.
- E. Contractor’s personnel will not be permitted to use Owner’s facilities (including toilet, telephone, food services, etc.) for their own benefit. Contractor’s Superintendent must explain this to all their field forces.

- F. Contractor shall limit their operations including storage of materials and prefabrication to areas within the Contract Limit Lines.
- G. Contractor shall coordinate the use of premises with the Owner and Construction Manager and shall move at their own expense any stored products under Contractor's control, including excavated material, which interfere with operations of the Owner or separate Contractors.
- H. Contractor shall obtain and pay for off-site storage as needed to maintain the Owner's use of their premises. The costs of any required storage shall not be an additional expense to the Owner.
- I. Contractor shall assume full responsibility for the protection and safekeeping of products under this Contract stored on the site and shall cooperate with the Construction Manager to ensure security for the Owner's Property.
- J. The intention of the work is to follow a logical sequence; however, the Contractor may be required by Construction Manger to temporarily omit or leave out any section of their work or perform their work out of sequence. All such out of sequence work and come back time to these areas shall be performed at no additional cost.
- K. Contractor shall submit a three-week (man-loaded work activity and area) to Construction Manager each week. Contractor's representative shall attend a weekly meeting with all contractors, chaired by Construction Manager, for the purpose of job coordination and sequencing.
- L. Contractor is responsible to coordinate the job with other trades and Construction Manager, and to cooperate with other trades in pursuit of the overall project's coordination drawings and actively participate in resolving discrepancies, conflicts, interferences, etc.
- M. The Contractor shall take special care in verifying that his equipment matches the characteristics of the power being supplied.
- N. Any Contractor personnel including Project Managers, Supervisors, etc. who engage in any personal attacks, belligerent or threatening speech/texts, etc., to the Owner, or any of its agents, will be removed from working on the project.
- O. Unsafe practices, horseplay, abusive behavior or language, wanton destruction of property, use of drugs or alcohol, possession of firearms, and solicitation shall not be tolerated. There will be no warnings, and Contractor shall designate a responsible on-site Supervisor to handle any situations that may arise, including termination.
- P. Each Contractor is responsible to supply and install all blocking/bracing necessary to properly secure their work. This responsibility includes coordinating the installation in concealed areas without delaying other trades.
- Q. Union business shall not be conducted on site. Any Union representative that visits the site must declare what Contractor's personnel they represent, and must be escorted by that Contractor's Union steward at all times. No visitors, sales representatives or non-working personnel shall be permitted on site without prior consent of the Construction Manager. No photographs shall be taken without the Construction Manager's prior approval.

- R. Contractor shall provide protection from damage to adjacent and adjoining work and/or structures. Contractor shall clean, repair and/or replace any damage for which this Contractor is responsible.
- S. Contractor shall submit hourly rate sheets that would apply to time and material work for all pertinent trades upon Award of Contract.
- T. Contractor shall examine surfaces and conditions prior to start of work. Report unacceptable conditions to the Construction Manager. Do not proceed until unacceptable conditions are corrected and acceptable. Starting work implies acceptance of existing conditions.
- U. Each Prime Contractor shall include general housekeeping of light debris. All debris from each Prime Contractor will be collected daily and disposed of into their dumpsters. In addition to daily general housekeeping, the General Work Contractor shall provide a weekly broom sweep and damp mop of all areas for the entire duration of the project. The broom sweep shall include debris from all trades working on site.
- V. Sleeves and Sleeve Layout – It is the responsibility of the Prime Contractor requiring a sleeve to provide the sleeve and a layout sketch to the Prime Contractor performing the construction activity that the sleeve goes in.
- W. Limited site space is available in areas as designated by the Construction Manager. Construction trade parking is not permitted in Owner’s employee parking lot.
- X. Prior to commencing the work, each Contractor shall provide written acceptance of grades, structures, substrates, and/or systems installed by other Contractors as suitable for installation of his work. Failure to provide this verification prior to commencing work shall constitute acceptance of the existing conditions.
- Y. Each Contractor shall coordinate with the Construction Manager for lay down areas, staging areas, and overall use of project site.
- Z. All Contractors and their employees, subcontractors and supplier are expressly prohibited from entering the occupied areas of the school building during school hours without prior written permission of the Construction Manager and for using any of its facilities (i.e. restrooms, cafeteria, etc.).
- AA. No recycled import fill materials are permitted.

PART 2 – PRODUCTS (NOT APPLICABLE)

PART 3 – EXECUTION (NOT APPLICABLE)

END OF SECTION 011000

**SECTION 012100
ALLOWANCES**

PART 1 GENERAL

1.01 SUMMARY

- A. Section includes administrative and procedural requirements governing allowances.
 - 1. Allowances have been established in lieu of additional requirements and to defer selection of actual materials and equipment to a later date when direction will be provided to the Contractor. If necessary, additional requirements will be issued by Change Order.
- B. Types of allowances include the following:
 - 1. Contingency allowances.

1.02 SELECTION AND PURCHASE

- A. At the earliest practical date after award of the Contract, advise Architect of the date when final selection and purchase of each product or system described by an allowance must be completed to avoid delaying the Work.
- B. At Architect's request, obtain proposals for each allowance for use in making final selections. Include recommendations that are relevant to performing the Work.
- C. Purchase products and systems selected by Architect from the designated supplier.

1.03 ACTION SUBMITTALS

- A. Submit proposals for purchase of products or systems included in allowances, in the form specified for Change Orders.

1.04 INFORMATIONAL SUBMITTALS

- A. Submit invoices or delivery slips to show actual quantities of materials delivered to the site for use in fulfillment of each allowance.
- B. Submit time sheets and other documentation to show labor time and cost for installation of allowance items that include installation as part of the allowance.
- C. Coordinate and process submittals for allowance items in same manner as for other portions of the Work.

1.05 COORDINATION

- A. Coordinate allowance items with other portions of the Work.

1.06 CONTINGENCY ALLOWANCES

- A. Use the contingency allowance only as directed by Architect for Owner's purposes.
- B. **The Contractor's overhead and profit, including costs for bonds and insurances, supervision, delivery, equipment rental and similar costs, for these allowances shall be included in the values of the general requirements of the base bid contract sum and are not chargeable under allowance disbursement.**
- C. At Project closeout, credit unused amounts remaining in the contingency allowance to Owner by Change Order.

1.07 ALLOWANCE DISBURSEMENT "REQUEST FOR PROPOSALS"

- A. Submit proposals for changes in the scope in the form of the "Request for Proposal" as described in Division 01, Section "CONTRACT MODIFICATION PROCEDURES".

- B. Once all parties have agreed to the terms and methods of the change, a Change Order will be issued.

1.08 UNUSED MATERIALS

- A. Return unused materials purchased under an allowance to manufacturer or supplier for credit to Owner, after installation has been completed and accepted.
 - 1. If requested by Architect, prepare unused material for storage by Owner when it is not economically practical to return the material for credit. If directed by Architect, deliver unused material to Owner's storage space. Otherwise, disposal of unused material is Contractor's responsibility.

PART 2 PRODUCTS (NOT APPLICABLE)

PART 3 EXECUTION

3.01 EXAMINATION

- A. Examine products covered by an allowance promptly on delivery for damage or defects. Return damaged or defective products to manufacturer for replacement.

3.02 PREPARATION

- A. Coordinate materials and their installation for each allowance with related materials and installations to ensure that each allowance item is completely integrated and interfaced with related work.
- B. All allowances shall be carried as part of the Base Bid.

3.03 CONTRACT 1 GENERAL CONSTRUCTION SCHEDULE OF ALLOWANCES

- A. Allowance GC-00, General Allowance: **CONTRACT 1** shall include a contingency allowance totaling **\$375,000** for use according to the Owner's instructions.
- B. Allowance GC-01, VAT Flooring: **CONTRACT 1** in addition to the base bid abatement work identified on abatement drawings the contractor shall include in their base bid an allowance of 100 SF for abatement of VAT flooring if encountered.
- C. Allowance GC-02, Asbestos Fittings / Insulation: **CONTRACT 1** in addition to the base bid abatement work identified on abatement drawings the contractor shall include in their base bid an allowance of 100 LF fittings/insulation (figure individual glove bag removal) for abatement of additional asbestos fittings/insulation if encountered.
- D. Allowance GC-03, Trench Rock Removal: **CONTRACT 1** shall include in their base bid an allowance of 50 CY of removal of rock and replacement with imported compacted structural fill if encountered.
- E. Allowance GC-04, Unsuitable Soils: **CONTRACT 1** shall include in their base bid an allowance of 50 CY of removal of unsuitable soil and replacement with imported compacted structural fill if encountered.

3.04 CONTRACT 2 MECHANICAL WORK CONTRACTOR - SCHEDULE OF ALLOWANCES

- A. Allowance MC-00, General Allowance: **CONTRACT 2** shall include a contingency allowance totaling **\$75,000** for use according to the Owner's instructions.
- B. Allowance MC-01, Fuel Cost for Temporary Heat: **CONTRACT 2** shall include in their base bid an allowance of **\$20,000** for fuel cost for temporary heat. Fuel costs reimbursed at cost plus contract fee. Fuel delivery tickets/invoices to be provided as backup.

3.05 CONTRACT 3 ELECTRICAL WORK CONTRACTOR - SCHEDULE OF ALLOWANCES

- A. Allowance EC-00, General Allowance: **CONTRACT 3** shall include a contingency allowance totaling **\$75,000** for use according to the Owner's instructions.
- B. Allowance EC-01, Trench Rock Removal: **CONTRACT 3** shall include in their base bid an allowance of 15 CY of removal of rock and replacement with imported compacted structural fill if encountered.
- C. Allowance EC-02, Unsuitable Soils: **CONTRACT 3** shall include in their base bid an allowance of 15 CY of removal of unsuitable soil and replacement with imported compacted structural fill if encountered.

3.06 CONTRACT 4 PLUMBING WORK CONTRACTOR - SCHEDULE OF ALLOWANCES

- A. Allowance PC-00, General Allowance: **CONTRACT 4** shall include a contingency allowance totaling **\$50,000** for use according to the Owner's instructions.

3.07 CONTRACT 5 FIRE SPRINKLER WORK CONTRACTOR - SCHEDULE OF ALLOWANCES

- A. Allowance FSC-00, General Allowance: **CONTRACT 5** shall include a contingency allowance totaling **\$20,000** for use according to the Owner's instructions.

END OF SECTION

**SECTION 230713
DUCT INSULATION**

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Duct insulation.
- B. Duct liner.
- C. Insulation jackets.

1.02 RELATED REQUIREMENTS

- A. Section 078400 - FIRESTOPPING.
- B. Section 230553 - Identification for HVAC Piping and Equipment.
- C. Section 233100 - HVAC Ducts and Casings: Glass fiber ducts.

1.03 REFERENCE STANDARDS

- A. ASTM B209 - Standard Specification for Aluminum and Aluminum-Alloy Sheet and Plate; 2014.
- B. ASTM B209M - Standard Specification for Aluminum and Aluminum-Alloy Sheet and Plate (Metric); 2014.
- C. ASTM C518 - Standard Test Method for Steady-State Thermal Transmission Properties by Means of the Heat Flow Meter Apparatus; 2017.
- D. ASTM C534/C534M - Standard Specification for Preformed Flexible Elastomeric Cellular Thermal Insulation in Sheet and Tubular Form; 2020.
- E. ASTM C553 - Standard Specification for Mineral Fiber Blanket Thermal Insulation for Commercial and Industrial Applications; 2013 (Reapproved 2019).
- F. ASTM C612 - Standard Specification for Mineral Fiber Block and Board Thermal Insulation; 2014 (Reapproved 2019).
- G. ASTM C916 - Standard Specification for Adhesives for Duct Thermal Insulation; 2020.
- H. ASTM C1071 - Standard Specification for Fibrous Glass Duct Lining Insulation (Thermal and Sound Absorbing Material); 2019.
- I. ASTM C1338 - Standard Test Method for Determining Fungi Resistance of Insulation Materials and Facings; 2025.
- J. ASTM C1371 - Standard Test Method for Determination of Emittance of Materials Near Room Temperature Using Portable Emissometers; 2015 (Reapproved 2022).
- K. ASTM E84 - Standard Test Method for Surface Burning Characteristics of Building Materials; 2020.
- L. ASTM E96/E96M - Standard Test Methods for Water Vapor Transmission of Materials; 2016.
- M. ASTM G21 - Standard Practice for Determining Resistance of Synthetic Polymeric Materials to Fungi; 2015, with Editorial Revision (2021).
- N. SMACNA (DCS) - HVAC Duct Construction Standards Metal and Flexible; 2020.
- O. UL 723 - Standard for Test for Surface Burning Characteristics of Building Materials; Current Edition, Including All Revisions.

1.04 SUBMITTALS

- A. See Section 013000 - Administrative Requirements, for submittal procedures.
- B. Product Data: Provide product description, thermal characteristics, list of materials and thickness for each service, and locations.
- C. Manufacturer's Instructions: Indicate installation procedures necessary to ensure acceptable workmanship and that installation standards will be achieved.

1.05 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Company specializing in manufacturing products of the type specified in this section with not less than three years of documented experience.

1.06 DELIVERY, STORAGE, AND HANDLING

- A. Accept materials on site in original factory packaging, labelled with manufacturer's identification, including product density and thickness.
- B. Protect insulation from weather and construction traffic, dirt, water, chemical, and mechanical damage, by storing in original wrapping.

1.07 FIELD CONDITIONS

- A. Maintain ambient temperatures and conditions required by manufacturers of adhesives, mastics, and insulation cements.
- B. Maintain temperature during and after installation for minimum period of 24 hours.

PART 2 PRODUCTS

2.01 REGULATORY REQUIREMENTS

- A. Surface Burning Characteristics: Flame spread index/Smoke developed index of 25/50, maximum, when tested in accordance with ASTM E84 or UL 723.

2.02 GLASS FIBER, FLEXIBLE

- A. Manufacturer:
 - 1. CertainTeed Corporation: www.certainteed.com/#sle.
 - 2. Johns Manville: www.jm.com/#sle.
 - 3. JP Lamborn Co; Thermal Sleeve MT: www.jpflex.com/#sle.
 - 4. Knauf Insulation; Atmosphere Duct Wrap: www.knaufinsulation.com/#sle.
 - 5. Owens Corning Corporation: www.ocbuildingspec.com/#sle.
 - 6. Substitutions: See Section 016000 - Product Requirements.
 - B. Insulation: ASTM C553; flexible, noncombustible blanket.
 - 1. K value: 0.36 at 75 degrees F, when tested in accordance with ASTM C518.
 - 2. Maximum Service Temperature: 1200 degrees F.
 - 3. Maximum Water Vapor Absorption: 5.0 percent by weight.
 - C. Vapor Barrier Jacket:
 - 1. Kraft paper with glass fiber yarn and bonded to aluminized film.
 - 2. Moisture Vapor Permeability: 0.02 perm inch, when tested in accordance with ASTM E96/E96M.
 - 3. Secure with pressure sensitive tape.
 - D. Vapor Barrier Tape:
 - 1. Kraft paper reinforced with glass fiber yarn and bonded to aluminized film, with pressure sensitive rubber based adhesive.
 - E. Indoor Vapor Barrier Mastic:
-

1. Vinyl emulsion type acrylic or mastic, compatible with insulation, black color.
- F. Outdoor Vapor Barrier Mastic:
 1. Vinyl emulsion type acrylic or mastic, compatible with insulation, black color.
- G. Tie Wire: Annealed steel, 16 gauge, 0.0508 inch diameter.

2.03 GLASS FIBER, RIGID

- A. Manufacturer:
 1. CertainTeed Corporation: www.certainteed.com/#sle.
 2. Johns Manville: www.jm.com/#sle.
 3. Knauf Insulation: www.knaufinsulation.com/#sle.
 4. Owens Corning Corporation; 700 Series FIBERGLAS Insulation: www.ocbuildingspec.com/#sle.
 5. Substitutions: See Section 016000 - Product Requirements.
- B. Insulation: ASTM C612; rigid, noncombustible blanket.
 1. K Value: 0.24 at 75 degrees F, when tested in accordance with ASTM C518.
 2. Maximum Service Temperature: 450 degrees F.
 3. Maximum Water Vapor Absorption: 5.0 percent.
 4. Maximum Density: 8.0 lb/cu ft.
- C. Vapor Barrier Jacket:
 1. Kraft paper with glass fiber yarn and bonded to aluminized film.
 2. Moisture Vapor Permeability: 0.02 perm inch, when tested in accordance with ASTM E96/E96M.
 3. Secure with pressure sensitive tape.
- D. Vapor Barrier Tape:
 1. Kraft paper reinforced with glass fiber yarn and bonded to aluminized film, with pressure sensitive rubber based adhesive.
- E. Indoor Vapor Barrier Finish:
 1. Cloth: Untreated; 9 oz/sq yd weight, glass fabric.
 2. Vinyl emulsion type acrylic, compatible with insulation, black color.

2.04 EXPANDED POLYSTYRENE INSULATION

- A. Manufacturers:
 1. Knauf Insulation.
- B. Insulation: Closed-cell, light-weight, resilient, foamed plastic composed of hydrogen and carbon.

2.05 JACKETS

- A. Canvas Jacket: UL listed 6 oz/sq yd plain weave cotton fabric treated with dilute fire retardant lagging adhesive.
 1. Lagging Adhesive:
 - a. Manufacturers:
 - 1) Design Polymeric; DP 3050 Water Based, Zero VOC, Premium Quality, Lagging Adhesive, and Vapor Retarder: www.designpoly.com/#sle.
 - 2) Substitutions: See Section 016000 - Product Requirements
 - b. Compatible with insulation.
- B. Aluminum Jacket: ASTM B209 (ASTM B209M).

1. Thickness: 0.016 inch sheet.
2. Finish: Smooth.
3. Joining: Longitudinal slip joints and 2 inch laps.
4. Fittings: 0.016 inch thick die shaped fitting covers with factory attached protective liner.
5. Metal Jacket Bands: 3/8 inch wide; 0.015 inch thick aluminum.

- C. Flexible Weather-Proofing Outdoor Jacket: Self-healing, field-applied outdoor cladding.
1. Material: Aluminum foil/polymer laminate with rubberized asphalt layer and acrylic adhesive.
 2. Thickness: 34 mils.
 3. Finish: Embossed.
 4. Color: Silver.
 5. Water Vapor Transmission: 0.002 perm inch, maximum, when tested in accordance with ASTM E96/E96M.
 6. Mold Resistance: Pass when tested in accordance with ASTM C1338.
 7. Emissivity: 0.30 when tested in accordance with ASTM C1371.

2.06 DUCT LINER

- A. Manufacturers:
1. Armacell LLC; AP Coilflex: www.armacell.us/#sle.
 2. CertainTeed Corporation: www.certainteed.com/#sle.
 3. Ductmate Industries, Inc, a DMI Company: www.ductmate.com/#sle.
 4. Johns Manville: www.jm.com/#sle.
 5. Knauf Insulation: www.knaufinsulation.com/#sle.
 6. Owens Corning Corporation: www.ocbuildingspec.com/#sle.
 7. Substitutions: See Section 016000 - Product Requirements.
- B. Elastomeric Foam Insulation: Preformed flexible elastomeric cellular rubber insulation complying with ASTM C534/C534M Grade 1, in sheet form.
1. Minimum Service Temperature: Minus 40 degrees F.
 2. Maximum Service Temperature: 180 degrees F.
 3. Fungal Resistance: No growth when tested according to ASTM G21.
 4. Apparent Thermal Conductivity: Maximum of 0.28 at 75 degrees F.
 5. Minimum Noise Reduction Coefficients:
 - a. 1 inch Thickness: 0.40.
 6. Erosion Resistance: Does not show evidence of breaking away, flaking off, or delamination at velocities of 10,000 fpm per ASTM C1071.
 7. Connection: Waterproof vapor barrier adhesive.
- C. Elastomeric Foam Adhesive: Air dried, contact adhesive, compatible with insulation. Comply with ASTM C916.
- D. Liner Fasteners: Galvanized steel, self-adhesive pad with integral head.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Test ductwork for design pressure prior to applying insulation materials.
- B. Verify that surfaces are clean, foreign material removed, and dry.

3.02 INSTALLATION

- A. Install in accordance with manufacturer's instructions.

- B. Install in accordance with NAIMA National Insulation Standards.
- C. Insulated Ducts Conveying Air Below Ambient Temperature:
 - 1. Provide insulation with vapor barrier jackets.
 - 2. Finish with tape and vapor barrier jacket.
 - 3. Continue insulation through walls, sleeves, hangers, and other duct penetrations.
 - 4. Insulate entire system, including fittings, joints, flanges, fire dampers, flexible connections, and expansion joints.
- D. Insulated Ducts Conveying Air Above Ambient Temperature:
 - 1. Provide with standard vapor barrier jacket.
 - 2. Insulate fittings and joints. Where service access is required, bevel and seal ends of insulation.
- E. Ducts Exposed in Mechanical Equipment Rooms or Finished Spaces (below 10 feet above finished floor): Finish with canvas jacket sized for finish painting.
- F. Exterior Applications: Provide insulation with vapor barrier jacket. Cover with with calked aluminum jacket with seams located on bottom side of horizontal duct section.
- G. Slope exterior ductwork to shed water.
- H. External Duct Insulation Application:
 - 1. Secure insulation with vapor barrier with wires and seal jacket joints with vapor barrier adhesive or tape to match jacket.
 - 2. Install without sag on underside of duct. Use adhesive or mechanical fasteners where necessary to prevent sagging. Lift duct off trapeze hangers and insert spacers.
 - 3. Seal vapor barrier penetrations by mechanical fasteners with vapor barrier adhesive.
- I. Duct and Plenum Liner Application:
 - 1. Adhere insulation with adhesive for 90 percent coverage.
 - 2. Secure insulation with mechanical liner fasteners. Refer to SMACNA (DCS) for spacing.
 - 3. Seal and smooth joints. Seal and coat transverse joints.
 - 4. Seal liner surface penetrations with adhesive.
 - 5. Duct dimensions indicated are net inside dimensions required for air-flow. Increase duct size to allow for insulation thickness.

3.03 SCHEDULES

- A. Exhaust Ducts Within 10 ft of Exterior Openings:
 - 1. Flexible Glass Fiber Duct Insulation: 1-1/2 inches thick.
 - 2. Rigid Glass Fiber Duct Insulation: 1-1/2 inches thick.
- B. Outside Air Intake Ducts:
 - 1. Insulation:
 - a. Flexible Glass Fiber Duct Insulation:
 - 1) Thickness required to provide an R value not less than R-12.
 - b. Rigid Glass Fiber Duct Insulation:
 - 1) Thickness required to provide an R value not less than R-12.
- C. Plenums:
 - 1. Flexible Glass Fiber Duct Insulation: R-6.
 - 2. Rigid Glass Fiber Duct Insulation: R-6.
- D. Plenums (Cooling System):
 - 1. Flexible Glass Fiber Duct Insulation: R-6.

2. Rigid Glass Fiber Duct Insulation: R-6.
- E. Supply Ducts:
1. First 10 ft from unit supply connections
 - a. 2" Duct Liner
 2. Concealed supply/return ducts other than first 10 ft from supply connection
 - a. Flexible Glass Fiber Duct Insulation:
 - 1) Thickness required to provide an R value not less than R-6.
 - b. Rigid Glass Fiber Duct Insulation:
 - 1) Thickness required to provide an R value not less than R-6.
 3. In Mechanical Rooms:
 - a. Rigid Glass Fiber Duct Insulation:
 - 1) Thickness required to provide an R value not less than R-6.
- F. Return and Relief Ducts in Mechanical Rooms:
1. Rigid Glass Fiber Duct Insulation:
 - a. Thickness required to provide an R value not less than R-6.
 2. First 10ft from unit return connections.
 - a. 1" Duct Liner

G. Ducts Exposed to Outdoors:

1. **Insulation: Top of duct shall be slanted to shed water.**
 - a. Expanded Polystyrene Insulation.
 - 1) Thickness required to provide an R value not less than R-12.
 - b. Rigid Glass Fiber Duct Insulation:
 - 1) Thickness required to provide an R value not less than R-12.
2. Jacket:
 - a. Alumaguard® flexible weather-proofing jacket, self-healing membrane on exterior duct-work. Install per manufactures recommendations.

END OF SECTION



SECTION 231126
FACILITY LIQUEFIED-PETROLEUM GAS PIPING

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Pipe, pipe fittings, valves, and connections for propane gas piping systems.

1.02 RELATED REQUIREMENTS

- A. Section 083100 - Access Doors and Panels.
- B. Section 230516 - Expansion Fittings and Loops for HVAC Piping.

1.03 REFERENCE STANDARDS

- A. ASME B16.3 - Malleable Iron Threaded Fittings: Classes 150 and 300; 2021.
- B. ASME B16.26 - Cast Copper Alloy Fittings for Flared Copper Tubes; 2024.
- C. ASME B31.1 - Power Piping; 2022.
- A. ASME BPVC-IX - Boiler and Pressure Vessel Code, Section IX - Qualification Standard for Welding, Brazing, and Fusing Procedures; Welders; Brazers; and Welding, Brazing, and Fusing Operators; 2025, with Errata.
- B. ASTM A47/A47M - Standard Specification for Ferritic Malleable Iron Castings; 1999, with Editorial Revision (2022).
- C. ASTM A53/A53M - Standard Specification for Pipe, Steel, Black and Hot-Dipped, Zinc-Coated, Welded and Seamless; 2022.
- D. ASTM A234/A234M - Standard Specification for Piping Fittings of Wrought Carbon Steel and Alloy Steel for Moderate and High Temperature Service; 2025.
- E. ASTM B88 - Standard Specification for Seamless Copper Water Tube; 2022.
- F. ASTM B88M - Standard Specification for Seamless Copper Water Tube (Metric); 2020.
- G. ASTM B813 - Standard Specification for Water Flushable Liquid and Paste Fluxes for Soldering of Copper and Copper Alloy Tube; 2024.
- H. ASTM B828 - Standard Practice for Making Capillary Joints by Soldering of Copper and Copper Alloy Tube and Fittings; 2023.
- I. AWWA C606 - Grooved and Shouldered Joints; 2022.
- J. MSS SP-58 - Pipe Hangers and Supports - Materials, Design, Manufacture, Selection, Application, and Installation; 2025.
- K. MSS SP-78 - Gray Iron Plug Valves, Flanged and Threaded Ends; 2011.
- L. NFPA 58 - Liquefied Petroleum Gas Code; 2024, with Amendment.

1.04 SUBMITTALS

- A. See Section 013000 - Administrative Requirements for submittal procedures.
- B. Product Data: Provide data on pipe materials, pipe fittings, valves, and accessories. Provide manufacturers catalog information. Indicate valve data and ratings.
- C. Welders' Certificates: Submit certification of welders' compliance with ASME BPVC-IX.
- D. Shop Drawings: For non-penetrating rooftop supports, submit detailed layout developed for this project, with design calculations for loadings and spacings.

- E. Sustainable Design Documentation: For soldered copper joints, submit installer's certification that the specified installation method and materials were used.
- F. Project Record Documents: Record actual locations of valves.
- G. Maintenance Materials: Furnish the following for Owner's use in maintenance of project.
 - 1. See Section 016000 - Product Requirements, for additional provisions.
 - 2. Valve Repacking Kits: One for each type and size of valve.

1.05 QUALITY ASSURANCE

- A. Perform work in accordance with applicable codes.
- B. Valves: Manufacturer's name and pressure rating marked on valve body.
- C. Welding Materials and Procedures: Comply with ASME BPVC-IX and applicable state labor regulations.
- D. Welder Qualifications: Certified in accordance with ASME BPVC-IX.
- E. Identify pipe with marking including size, ASTM material classification, and ASTM specification.

1.06 DELIVERY, STORAGE, AND HANDLING

- A. Accept valves on site in shipping containers with labeling in place. Inspect for damage.
- B. Provide temporary protective coating on cast iron and steel valves.
- C. Provide temporary end caps and closures on piping and fittings. Maintain in place until installation.
- D. Protect piping systems from entry of foreign materials by temporary covers, completing sections of the work, and isolating parts of completed system.

1.07 FIELD CONDITIONS

- A. Do not install underground piping when bedding is wet or frozen.

PART 2 PRODUCTS

2.01 PROPANE GAS PIPING, ABOVE GRADE

- A. Steel Pipe: ASTM A53/A53M Schedule 40 black.
 - 1. Fittings: ASME B16.3, malleable iron, or ASTM A234/A234M, wrought steel welding type.
 - 2. Joints: NFPA 58, threaded or welded to ASME B31.1.
- B. Copper Tube: ASTM B88 (ASTM B88M), Type K (A) annealed.
 - 1. Fittings: ASME B16.26, cast bronze.
 - 2. Joints: Flared.

2.02 FLANGES, UNIONS, AND COUPLINGS

- A. Unions for Pipe Sizes 3 Inches and Under:
 - 1. Ferrous Pipe: Class 150 malleable iron threaded unions.
 - 2. Copper Tube and Pipe: Class 150 bronze unions with soldered joints.
- B. Mechanical Couplings for Grooved and Shouldered Joints: Two or more curved housing segments with continuous key to engage pipe groove, circular C-profile gasket, and bolts to secure and compress gasket.
 - 1. Dimensions and Testing: In accordance with AWWA C606.
 - 2. Housing Material: Provide ASTM A47/A47M malleable iron, ductile iron, or _____, galvanized.

3. Gasket Material: EPDM suitable for operating temperature range from minus 30 degrees F to 230 degrees F.
 4. Bolts and Nuts: Hot dipped galvanized or zinc-electroplated steel.
 5. When pipe is field grooved, provide coupling manufacturer's grooving tools.
- C. Dielectric Connections: Union with galvanized or plated steel threaded end, copper solder end, water impervious isolation barrier.

2.03 PIPE HANGERS AND SUPPORTS

- A. Provide hangers and supports that comply with MSS SP-58.
1. If type of hanger or support for a particular situation is not indicated, select appropriate type using MSS SP-58 recommendations.
 2. Overhead Supports: Individual steel rod hangers attached to structure or to trapeze hangers.
 3. Trapeze Hangers: Welded steel channel frames attached to structure.
 4. Vertical Pipe Support: Steel riser clamp.
 5. Floor Supports: Concrete pier or steel pedestal with floor flange; fixture attachment.

2.04 BALL VALVES

- A. Construction, 4 Inches and Smaller: MSS SP-110, Class 150, 400 psi CWP, bronze, ductile iron, or _____ body, 304 stainless steel or chrome plated brass ball, regular port, Teflon seats and stuffing box ring, blow-out proof stem, lever handle with balancing stops, solder, threaded, grooved, or _____ ends with union.

2.05 PLUG VALVES

- A. Construction 2-1/2 Inches and Larger: MSS SP-78, 175 psi CWP, cast iron body and plug, pressure lubricated, Teflon or Buna N packing, flanged or grooved ends. Provide lever operator with set screw.

2.06 STRAINERS

- A. Size 2 inch and Under:
1. Threaded brass body for 175 psi CWP, Y pattern with 1/32 inch stainless steel perforated screen.
 2. Class 150, threaded bronze body 300 psi CWP, Y pattern with 1/32 inch stainless steel perforated screen.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Verify that excavations are to required grade, dry, and not over-excavated.

3.02 PREPARATION

- A. Ream pipe and tube ends. Remove burrs. Bevel plain end ferrous pipe.
- B. Remove scale and dirt, on inside and outside, before assembly.
- C. Prepare piping connections to equipment with flanges or unions.

3.03 INSTALLATION

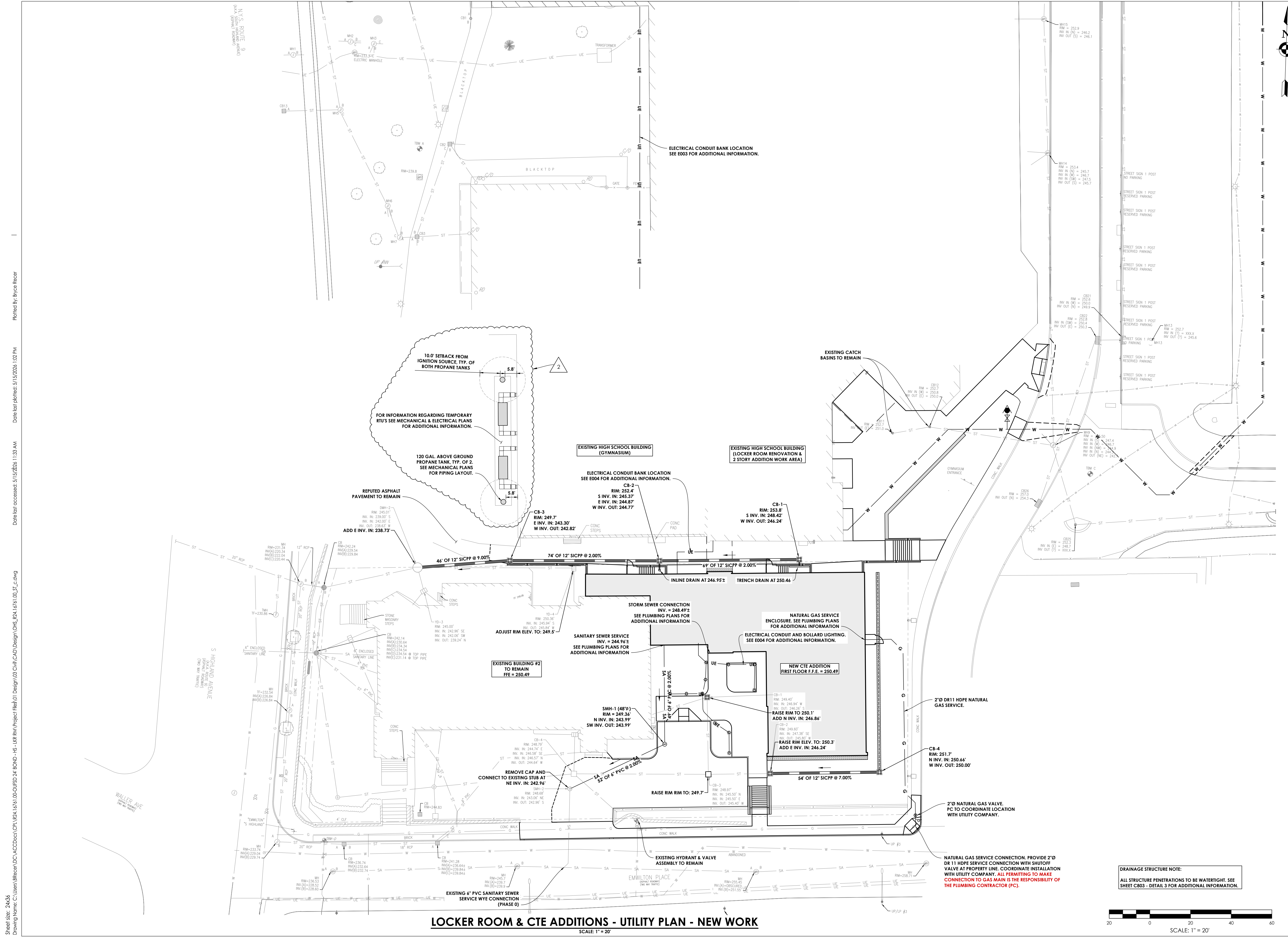
- A. Install in accordance with manufacturer's instructions.
- B. Provide non-conducting dielectric connections wherever jointing dissimilar metals.
- C. Route piping in orderly manner and maintain gradient. Route parallel and perpendicular to walls.

- D. Install piping to maintain headroom, conserve space, and not interfere with use of space.
- E. Group piping whenever practical at common elevations.
- F. Install piping to allow for expansion and contraction without stressing pipe, joints, or connected equipment. See Section 230516.
- G. Provide clearance in hangers and from structure and other equipment for installation of insulation and access to valves and fittings.
- H. Provide access where valves and fittings are not exposed.
 - 1. Coordinate size and location of access doors with Section 083100.
- I. Establish elevations of buried piping outside the building to ensure not less than _____ ft of cover.
- J. Copper Pipe and Tube: Make soldered joints in accordance with ASTM B828, using specified solder, and flux meeting ASTM B813.

3.04 APPLICATION

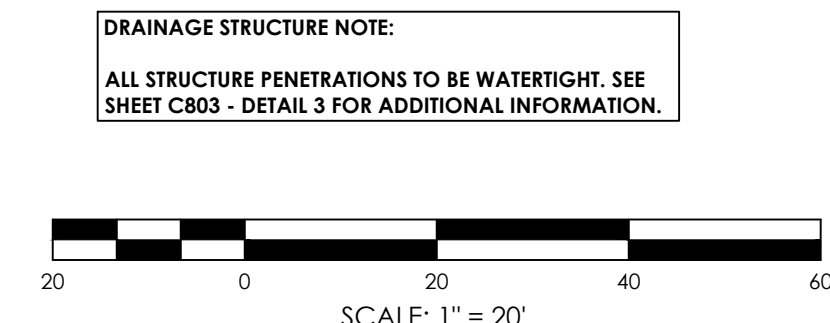
- A. Install unions downstream of valves and at equipment or apparatus connections.
- B. Install brass male adapters each side of valves in copper piped system. Solder adapters to pipe.
- C. Install gate valves for shut-off and to isolate equipment, part of systems, or vertical risers.
- D. Install globe valves for throttling, bypass, or manual flow control services.
- E. Provide plug valves in propane gas systems for shut-off service.

END OF SECTION

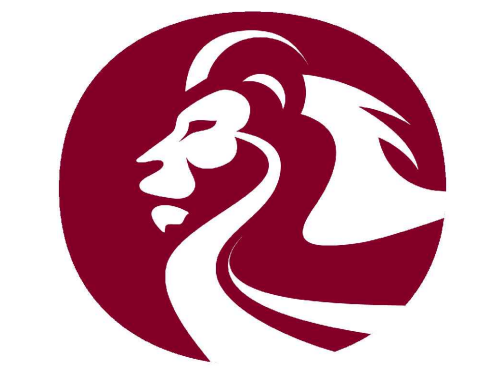


LOCKER ROOM & CTE ADDITIONS - UTILITY PLAN - NEW WORK

SCALE: 1" = 20'



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 Poughkeepsie, NY 12601
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 NY ENGINEERING RENEWABLE CERTIFICATE #0021419



OSSINING UNION FREE SCHOOL DISTRICT

PROJECT INFORMATION
 Project Number: R24.16761.00
 Client Name: OSSINING UNION FREE SCHOOL DISTRICT
 Project Name: 2024 BOND: PHASE 1

Project Address: 29 S HIGHLAND AVE, OSSINING NY 10562

OSSINING UNION FREE SCHOOL DISTRICT
 29 S HIGHLAND AVE, OSSINING NY 10562

PROJECT ISSUE & REVISION SCHEDULE

No.	Date	Description
2	05/15/2024	BID ADDENDUM NO. 2

PROFESSIONAL STAMPS

NEW YORK STATE EDUCATION STATUTE
 I, the undersigned, being a duly licensed Professional Engineer in the State of New York, do hereby certify that I am the author of the design and drawings herein, and that I am a duly licensed Professional Engineer in the State of New York, and that I am duly qualified to perform the services herein, and that I am duly qualified to perform the services herein, and that I am duly qualified to perform the services herein.

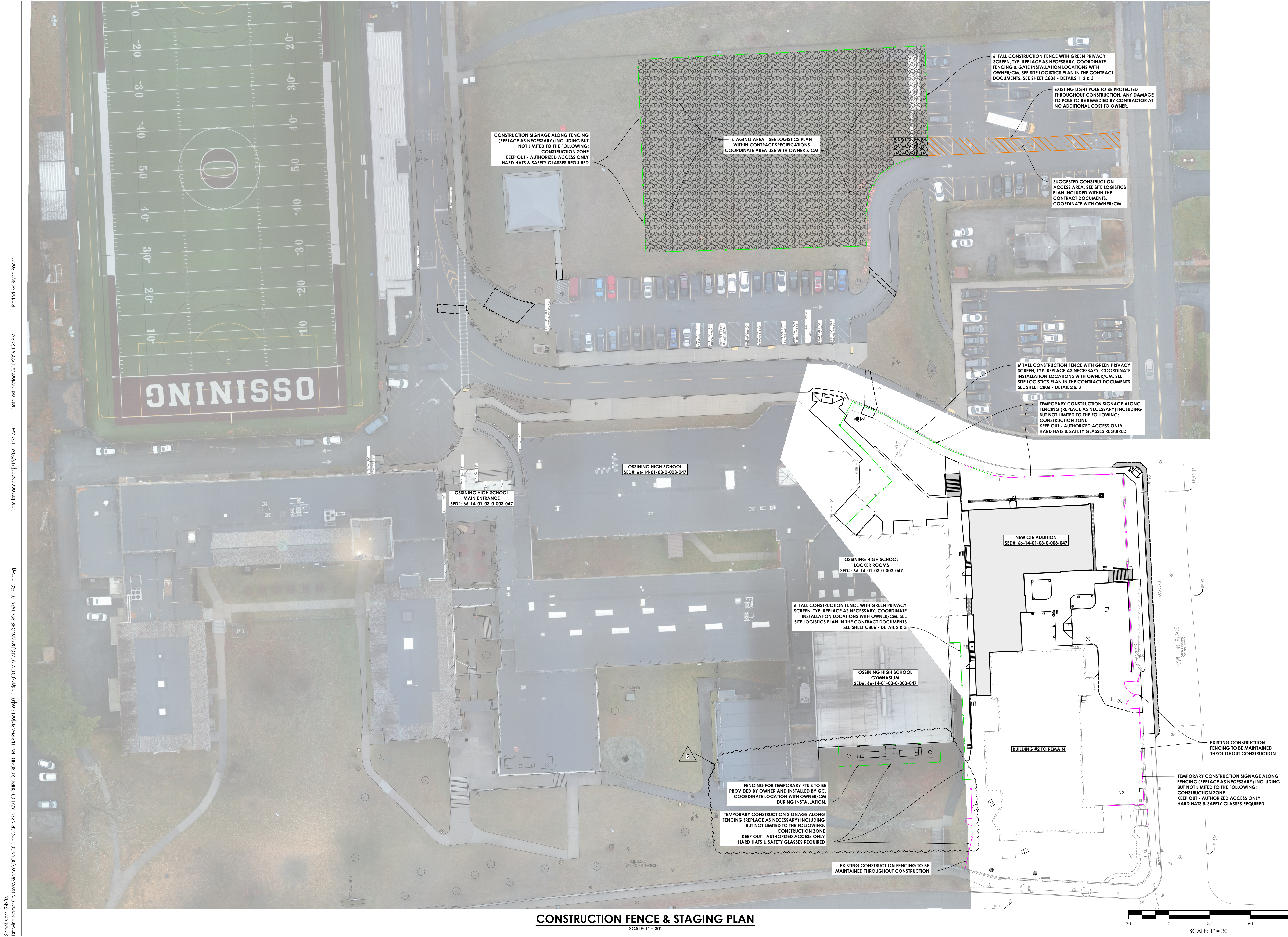
SHEET INFORMATION

Issued	04/27/2026	Scale	AS NOTED
Project Status	BID DOCUMENTS	Drawn By	BGR
Drawn By	BGR	Checked By	JCB
Drawing Title	UTILITY PLAN - WORK AREA		

UTILITY PLAN - WORK AREA

Drawing Number: OHS C203

Sheet Size: 24x36
 Drawing Name: C:\Users\BReece\OneDrive\Documents\CPL\B24.16761.00\04\FSD\24_BOND_HIS_HLR\RMV\Project\Files\01 Design\03 Civil\CAD\Design\CHS_R24.16761.00_01_c.dwg
 Date last accessed: 5/15/2024 11:33 AM
 Date last plotted: 5/15/2024 10:22 PM
 Plotted By: Bryce Reece



CONSTRUCTION SIGNAGE ALONG FENCING (REPLACE AS NECESSARY) INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
CONSTRUCTION ZONE
KEEP OUT - AUTHORIZED ACCESS ONLY
HARD HATS & SAFETY GLASSES REQUIRED

STAGING AREA - SEE LOGISTICS PLAN WITHIN CONTRACT SPECIFICATIONS
COORDINATE AREA USE WITH OWNER & CM

4' TALL CONSTRUCTION FENCE WITH GREEN PRIVACY SCREEN, TYP. REPLACE AS NECESSARY. COORDINATE FENCING & GATE INSTALLATION LOCATIONS WITH OWNER/CM. SEE SITE LOGISTICS PLAN IN THE CONTRACT DOCUMENTS. SEE SHEET C806 - DETAILS 1, 2 & 3

EXISTING LIGHT POLE TO BE PROTECTED THROUGHOUT CONSTRUCTION. ANY DAMAGE TO POLE TO BE REMEDIED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.

SUGGESTED CONSTRUCTION ACCESS AREA. SEE SITE LOGISTICS PLAN INCLUDED WITHIN THE CONTRACT DOCUMENTS. COORDINATE WITH OWNER/CM.

4' TALL CONSTRUCTION FENCE WITH GREEN PRIVACY SCREEN, TYP. REPLACE AS NECESSARY. COORDINATE INSTALLATION LOCATIONS WITH OWNER/CM. SEE SITE LOGISTICS PLAN IN THE CONTRACT DOCUMENTS SEE SHEET C806 - DETAIL 2 & 3

TEMPORARY CONSTRUCTION SIGNAGE ALONG FENCING (REPLACE AS NECESSARY) INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
CONSTRUCTION ZONE
KEEP OUT - AUTHORIZED ACCESS ONLY
HARD HATS & SAFETY GLASSES REQUIRED

OSSINING HIGH SCHOOL
SED#: 66-14-01-03-0-003-047

OSSINING HIGH SCHOOL
MAIN ENTRANCE
SED#: 66-14-01-03-0-003-047

OSSINING HIGH SCHOOL
LOCKER ROOMS
SED#: 66-14-01-03-0-003-047

4' TALL CONSTRUCTION FENCE WITH GREEN PRIVACY SCREEN, TYP. REPLACE AS NECESSARY. COORDINATE INSTALLATION LOCATIONS WITH OWNER/CM. SEE SITE LOGISTICS PLAN IN THE CONTRACT DOCUMENTS SEE SHEET C806 - DETAIL 2 & 3

OSSINING HIGH SCHOOL
GYMNASIUM
SED#: 66-14-01-03-0-003-047

FENCING FOR TEMPORARY RTU'S TO BE PROVIDED BY OWNER AND INSTALLED BY GC. COORDINATE LOCATION WITH OWNER/CM DURING INSTALLATION.

TEMPORARY CONSTRUCTION SIGNAGE ALONG FENCING (REPLACE AS NECESSARY) INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
CONSTRUCTION ZONE
KEEP OUT - AUTHORIZED ACCESS ONLY
HARD HATS & SAFETY GLASSES REQUIRED

EXISTING CONSTRUCTION FENCING TO BE MAINTAINED THROUGHOUT CONSTRUCTION

NEW CTE ADDITION
SED#: 66-14-01-03-0-003-047

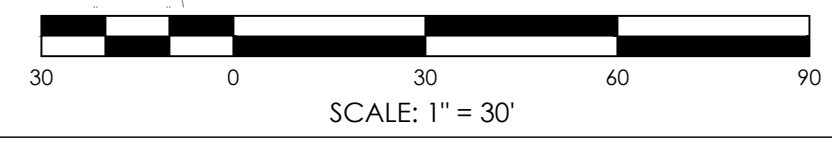
BUILDING #2 TO REMAIN

EXISTING CONSTRUCTION FENCING TO BE MAINTAINED THROUGHOUT CONSTRUCTION

TEMPORARY CONSTRUCTION SIGNAGE ALONG FENCING (REPLACE AS NECESSARY) INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
CONSTRUCTION ZONE
KEEP OUT - AUTHORIZED ACCESS ONLY
HARD HATS & SAFETY GLASSES REQUIRED

CONSTRUCTION FENCE & STAGING PLAN

SCALE: 1" = 30'



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OSSINING
UNION FREE SCHOOL DISTRICT

PROJECT INFORMATION
Project Number
R24.16761.00
Client Name
OSSINING UNION FREE SCHOOL DISTRICT
Project Name
2024 BOND: PHASE 1

Project Address
29 S HIGHLAND AVE,
OSSINING NY 10562

OSSINING UNION FREE SCHOOL DISTRICT
OSSINING HIGH SCHOOL SED# 66-14-01-03-003-047

PROJECT ISSUE & REVISION SCHEDULE

No.	Date	Description
1	04/27/2026	BID ADDENDUM NO. 2
2	05/15/2026	BID ADDENDUM NO. 2

PROFESSIONAL STAMPS

NEW YORK STATE EDUCATION STATUTE

FILE A DECLARATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S REGULATION FOR ANY SPECIAL INSTRUCTION UNDER THE SUPERVISION OF A LICENSED ARCHITECT, ENGINEER OR SURVEYOR TO THE NEW YORK STATE BOARD OF ARCHITECTURE, ENGINEERING AND SURVEYING TO THE NEW YORK STATE BOARD OF ARCHITECTURE, ENGINEERING AND SURVEYING. THE SEAL OF AN ARCHITECT, ENGINEER OR SURVEYOR IS ALTERED, REPRODUCED, FALSIFIED, COPIED, OR USED IN ANY MANNER THAT VIOLATES THE ETHICS OF THE PROFESSION AND THE DATE OF SUCH ALTERATION, AND A PROPER DESCRIPTION OF THE ALTERATION.

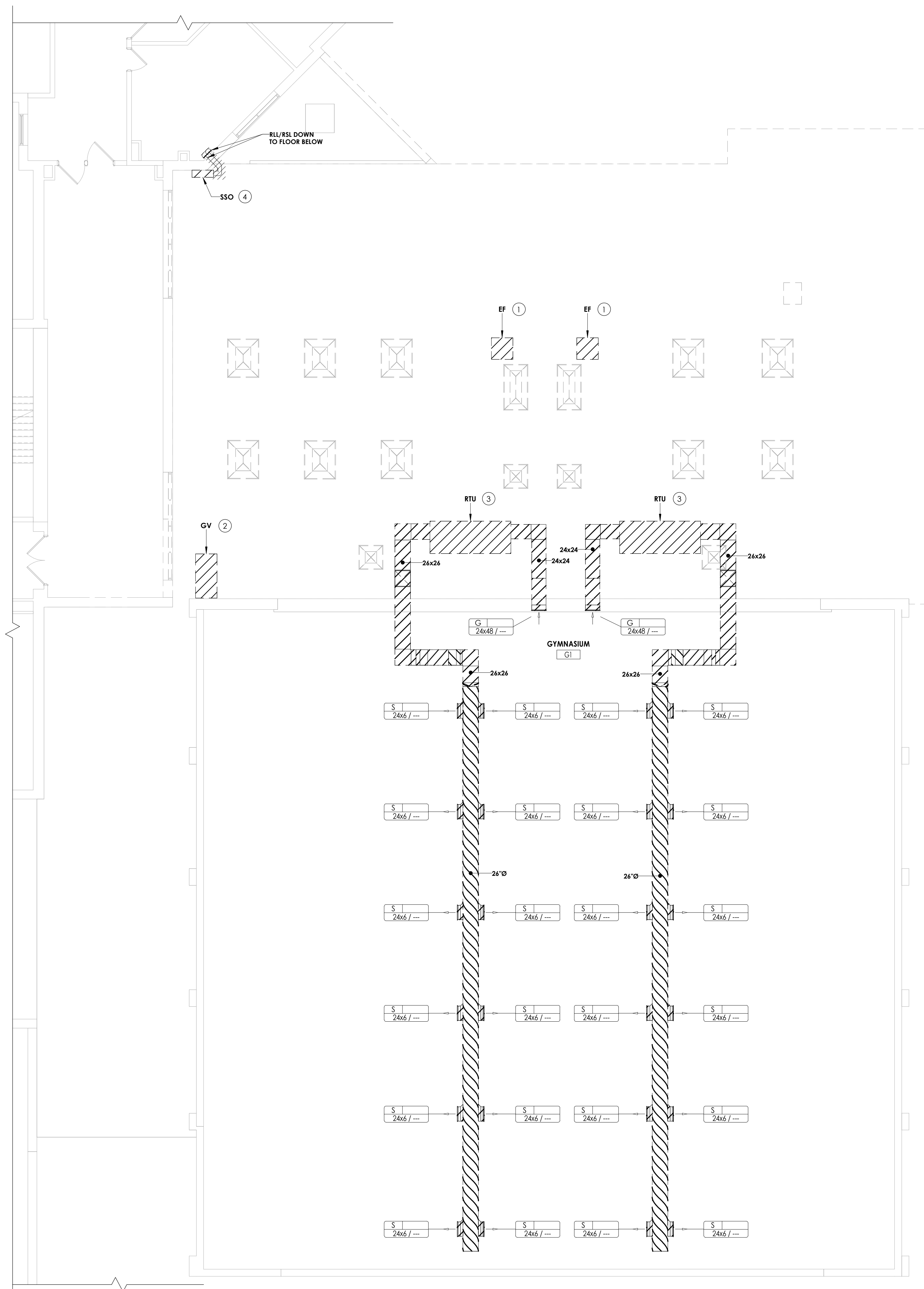
SHEET INFORMATION

Issued	04/27/2026	Scale	AS NOTED
Project Status	BID DOCUMENTS	Drawn By	BGR
Checked By	JCB	Drawing Title	CONSTRUCTION FENCING & STAGING PLAN

CONSTRUCTION FENCING & STAGING PLAN

Drawing Number
OHS C206

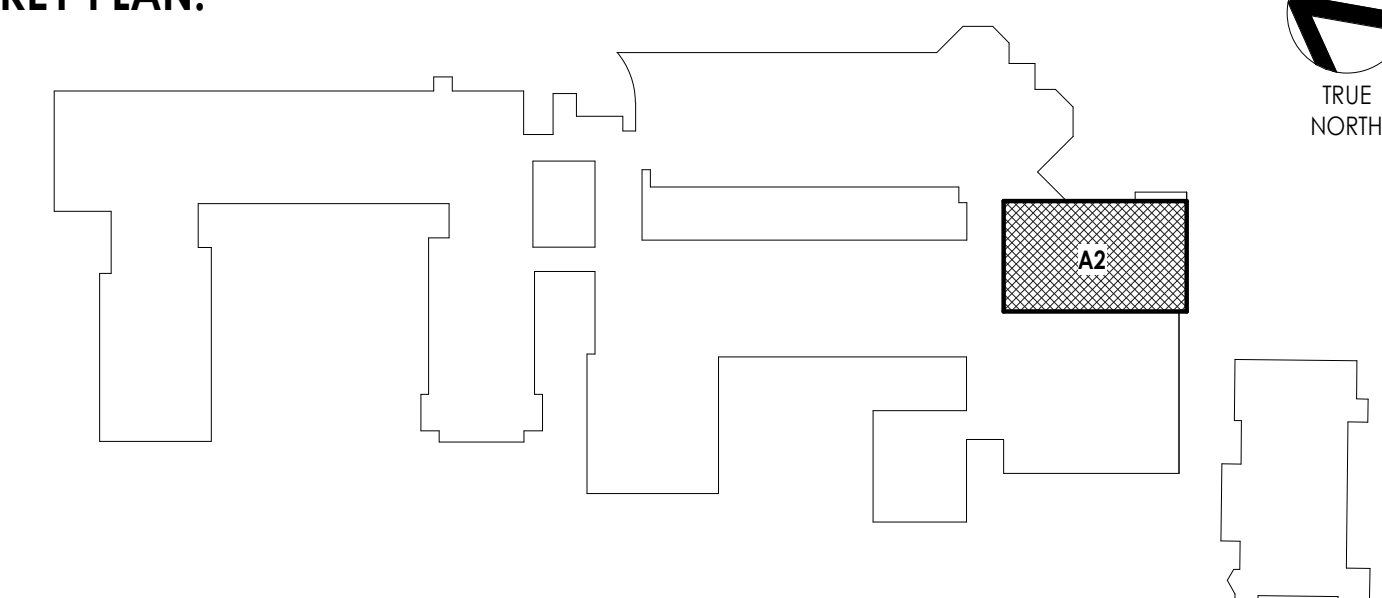
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 Date last accessed: 6/11/2026 11:34 AM
 Date last plotted: 5/15/2026 1:24 PM
 Plotted By: Bryce Receve



- KEY NOTES**
- ① REMOVE EXISTING EXHAUST FAN AND CURB. REMOVE ASSOCIATED DUCTWORK AND CONTROL ACCESSORIES. PREPARE FOR NEW WORK.
 - ② REMOVE EXISTING GRAVITY VENT AND CURB. REMOVE ASSOCIATED DUCTWORK AND CONTROL ACCESSORIES. PREPARE FOR NEW WORK.
 - ③ DISCONNECT EXISTING ROOFTOP UNIT AND REMOVE ALL ASSOCIATED DUCTWORK, GRILLES, DIFFUSERS, AND SUPPORTS. CLEAN SAVE EXISTING ROOFTOP UNIT FOR RELOCATION. REFER TO H702 FOR TEMPORARY NEW WORK & DEMOLITION PLANS. COORDINATE WITH P.C. FOR REMOVAL OF NATURAL GAS PIPING. MAINTAIN EXISTING CONTROLS.
 - ④ REMOVE EXISTING OUTDOOR SPLIT UNIT. REMOVE PIPING, CONTROLS, AND EQUIPMENT SUPPORTS. COORDINATE WITH G.C. PREPARE FOR NEW WORK.

1 EXISTING ROOF MECHANICAL DEMOLITION PLAN - AREA A2
 H102 1/8" = 1'-0"

KEY PLAN:



PROJECT INFORMATION
 Project Number: R24.16761.00
 Client Name: OSSINING UNION FREE SCHOOL DISTRICT
 Project Name: 2024 BOND: PHASE 1

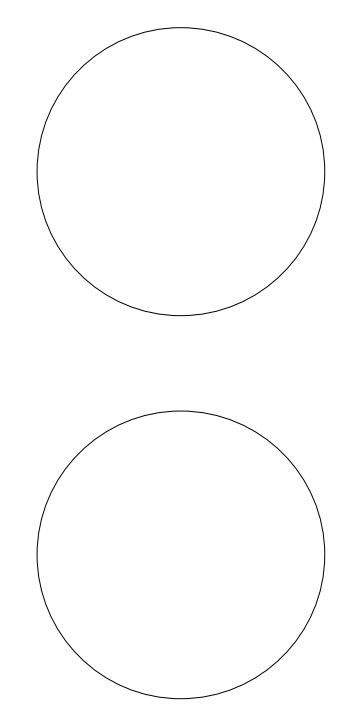
OSSINING HIGH SCHOOL: LOCKER ROOM & CTE ADDITION
 Project Address: 29 S HIGHLAND AVE, OSSINING, NY 10562

OSSINING UNION FREE SCHOOL DISTRICT
 OSSINING HIGH SCHOOL, SED. NO. 66-1401-03-0-03-047

PROJECT ISSUE & REVISION SCHEDULE

Issue	Description
2	05/15/2026 BID ADDENDUM NO. 2

PROFESSIONAL STAMPS

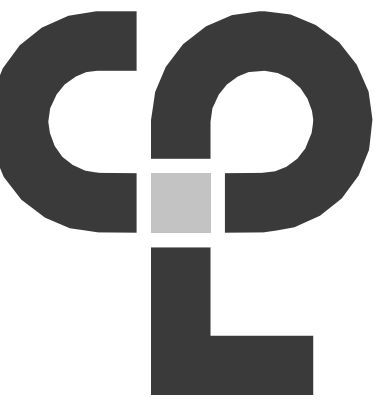


NEW YORK STATE EDUCATION EXAMINER
 IF A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S REGULATIONS FOR ANY PERSON, UNDER THE SUPERVISION OF A LICENSED ARCHITECT, ENGINEER OR LAND SURVEYOR, TO ALTER IN ANY WAY, BY HIS OWN HAND OR BY ANY OTHER PERSON, UNDER HIS SUPERVISION, ANY DRAWING, SPECIFICATION, REPORT, PLAN, MAP, OR OTHER INSTRUMENT OF SERVICE, THE ARCHITECT, ENGINEER OR LAND SURVEYOR SHALL BE SUBJECT TO THE PENALTIES PROVIDED BY LAW. THE SIGNATURE AND THE DATE OF SUCH ABANDON, AND A SPECIFIC DESCRIPTION OF THE ABANDON.

SHEET INFORMATION

Issued: 04/27/2026	Scale: 1/8" = 1'-0"
Project Status: BID DOCUMENTS	Checked By: BKM
Drawn By: AJE	
Drawing Title: EXISTING ROOF MECHANICAL DEMOLITION PLAN - AREA A2	

Drawing Number: OHS H102



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26 IBM Road
Poughkeepsie, NY 12601
CPLearn.com

NY ENGINEERING FIRM CERTIFICATE #0021419



OSSINING
UNION FREE SCHOOL DISTRICT

PROJECT INFORMATION

Project Number
R24.16761.00

Client Name

OSSINING UNION FREE SCHOOL DISTRICT

Project Name

2024 BOND: PHASE 1

OSSINING HIGH SCHOOL: LOCKER ROOM & CTE ADDITION

Project Address
29 S HIGHLAND AVE, OSSINING, NY 10562

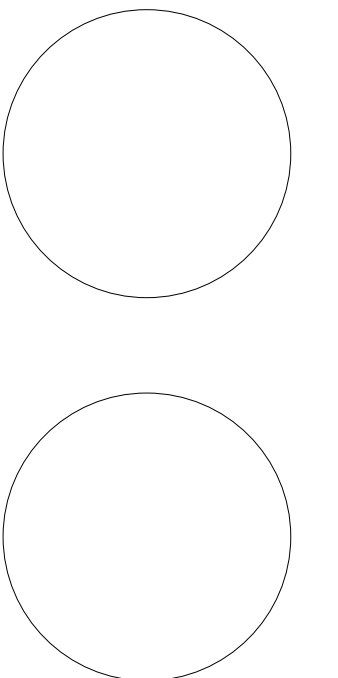
OSSINING UNION FREE SCHOOL DISTRICT

■ OSSINING HIGH SCHOOL, SED NO. 66-1401-03-0-03-047

PROJECT ISSUE & REVISION SCHEDULE

Issue Description
2 05/15/2026 BID ADDENDUM NO. 2

PROFESSIONAL STAMPS



NEW YORK STATE EDUCATION EXAMINER

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SHEET INFORMATION

Issued 04/27/2026 Scale 1/8" = 1'-0"

Project Status
BID DOCUMENTS

Drawn By AJE Checked By BKM

Drawing Title
GYMNASIUM TEMPORARY NEW WORK PLAN

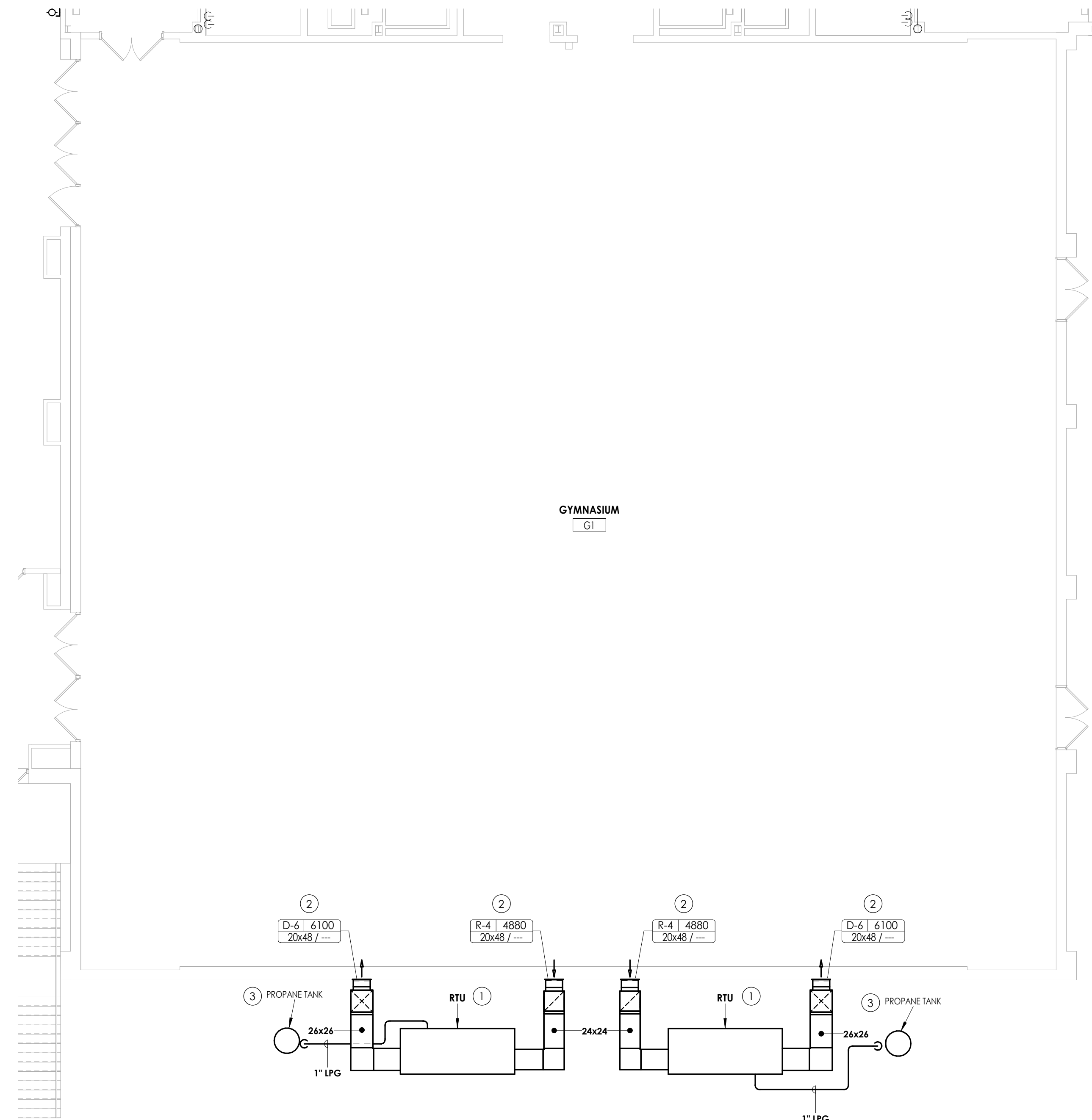
Drawing Number
OHS H702

REGISTER, GRILLE, AND DIFFUSER SCHEDULE						
TAG	MANUFACTURER	MODEL	APPLICATION	MATERIAL	FINISH	NOTES
D-6	PRICE	900	SUPPLY	STEEL	BLACK	3
R-4	PRICE	90	RETURN	STEEL	BLACK	3

NOTES:

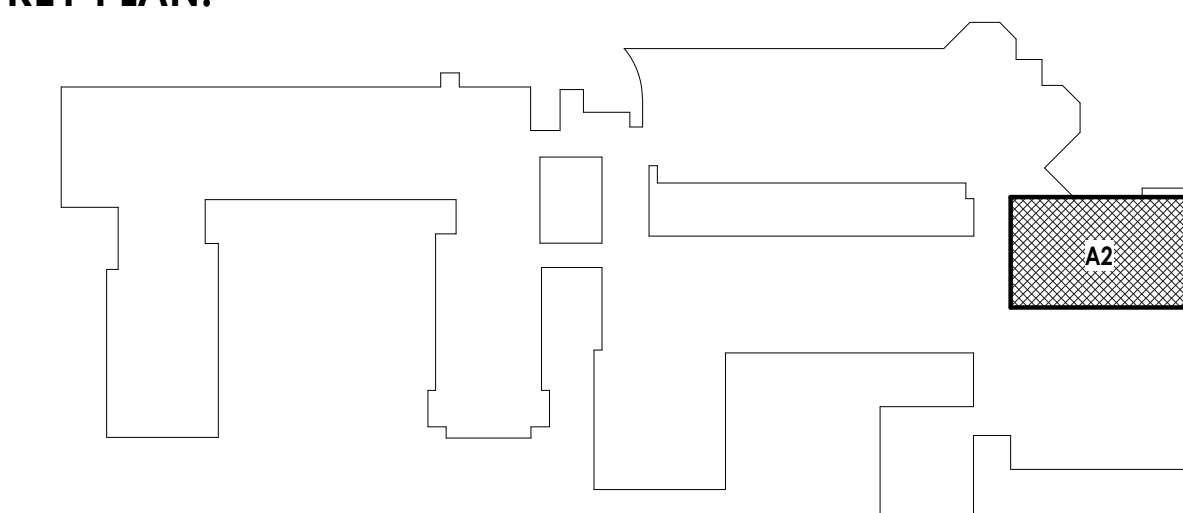
KEY NOTES

- REINSTALL EXISTING ROOFTOP UNIT AT GROUND LEVEL ON EXISTING CONCRETE PAD WITH VIBRATION ISOLATORS. PROVIDE ASSOCIATED DUCTWORK AND GRILLES. INSTALL NATURAL GAS TO PROPANE CONVERTER TO BE PROVIDED BY OWNER AND 1" LIQUID PROPANE GAS LINE. COORDINATE WITH SITE CONTRACTOR FOR CONNECTION TO PROPANE TANK. MAINTAIN EXISTING CONTROLS. COORDINATE ALL TEMPORARY WORK WITH OTHER TRADES.
- SUPPLY AND RETURN GRILLES TO BE MOUNTED THROUGH EXISTING PUNCHED OUT WINDOW UNITS. REMOVE A PORTION OF THE EXISTING GLAZING AS REQUIRED FOR DUCT PENETRATION.
- FURNISH AND INSTALL NEW 120 GALLON PROPANE TANK ON EXISTING CONCRETE PAD. PROPANE TANK TO BE MINIMUM 10 FEET FROM AIR HANDLING UNIT EIGNITION SOURCE AND 5' FROM THE BUILDING.



1 GYMNASIUM TEMPORARY NEW WORK PLAN
H702 1/8" = 1'-0"

KEY PLAN:



KEY NOTES

- ① REMOVE EXISTING ROOFTOP IN ITS ENTIRETY INCLUDING ALL ASSOCIATED DUCTWORK, GRILLES, SUPPORTS, AND CONTROL ACCESSORIES. REINSTALL EXISTING REMOVED GLAZING WHERE GRILLES WERE REMOVED.



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NY ENGINEERING FIRM CERTIFICATE #0021419



OSSINING
UNION FREE SCHOOL DISTRICT

PROJECT INFORMATION

Project Number
R24.16761.00

Client Name
OSSINING UNION FREE SCHOOL DISTRICT

Project Name
2024 BOND: PHASE 1

OSSINING HIGH SCHOOL: LOCKER ROOM & CTE ADDITION

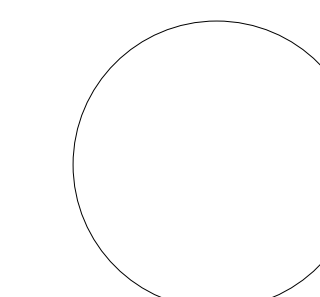
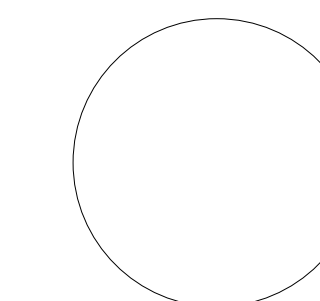
Project Address
27 S HIGHLAND AVE, OSSINING, NY 10562

OSSINING UNION FREE SCHOOL DISTRICT
■ OSSINING HIGH SCHOOL, SED NO. 66-1401-03-0-03-047

PROJECT ISSUE & REVISION SCHEDULE

#	Date	Description
2	05/15/2026	BID ADDENDUM NO. 2

PROFESSIONAL STAMPS



NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S REGULATIONS FOR ANY PERSON UNDER THE SUPERVISION OF A LICENSED ARCHITECT, ENGINEER OR LAND SURVEYOR TO ALTER IN ANY WAY, BY HIS OWN HAND OR BY ANY OTHER PERSON, UNDER HIS SUPERVISION, ANY ARCHITECTURAL, ENGINEERING OR SURVEYING DRAWING, SPECIFICATION, REPORT, PLAN, MAP, MAP OF THE STATE OF NEW YORK, AND THE RECORDS THEREOF, WITHOUT THE SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SHEET INFORMATION

Issued 04/27/2026 Scale 1/8" = 1'-0"

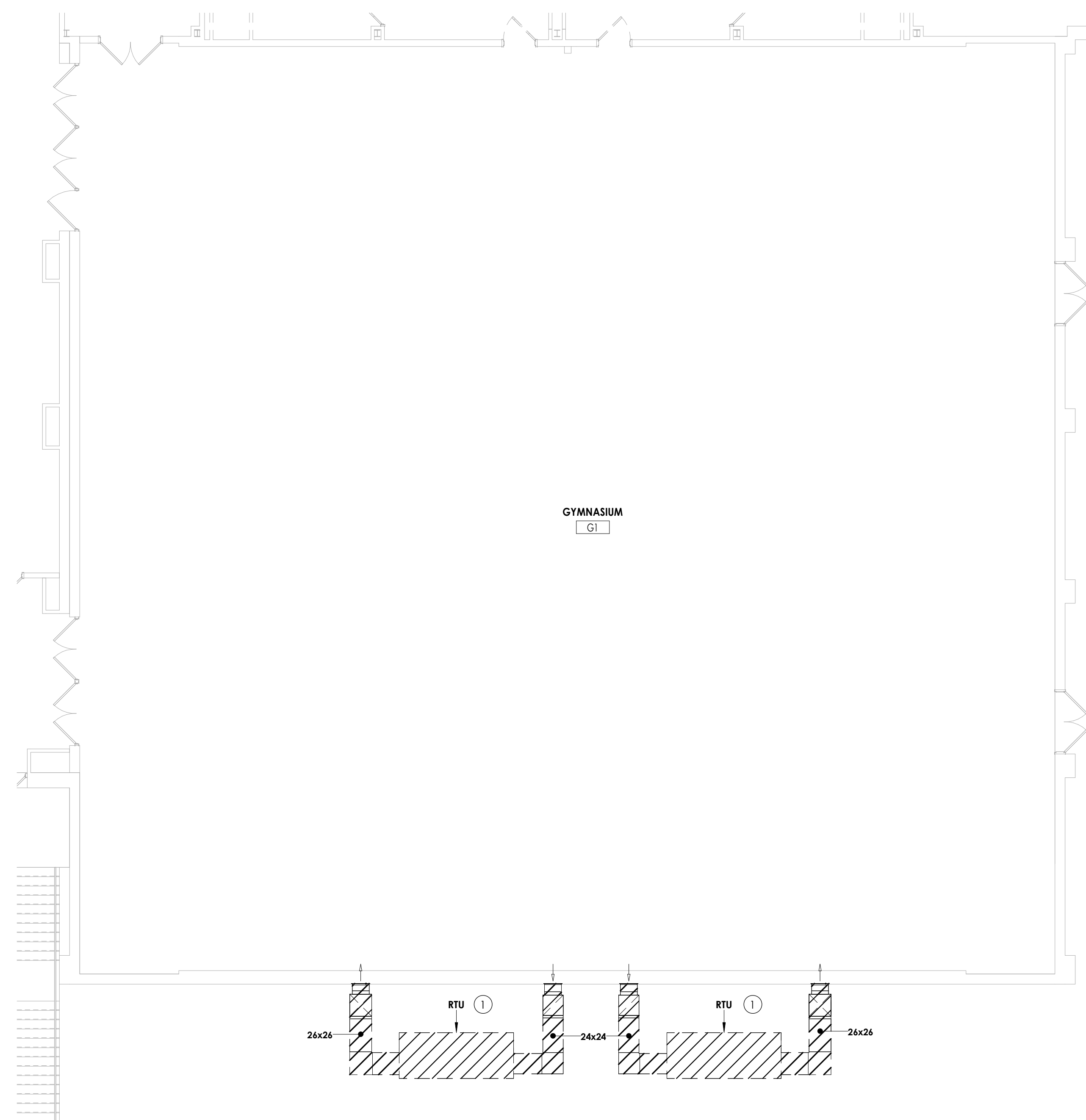
Project Status
BID DOCUMENTS

Drawn By AJE Checked By BKM

Drawing Title
GYMNASIUM TEMPORARY WORK DEMOLITION PLAN

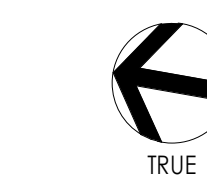
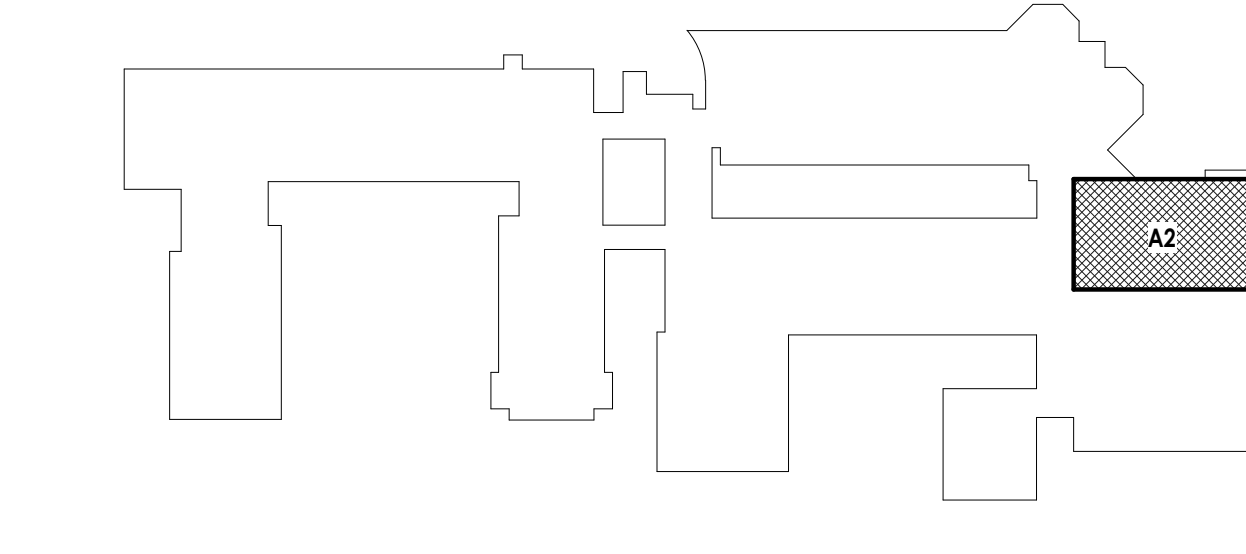
Drawing Number

**OHS
H703**



① **GYMNASIUM TEMPORARY WORK DEMOLITION PLAN**
H703 1/8" = 1'-0"

KEY PLAN:



PROJECT INFORMATION

Project Number
R24.16761.00

Client Name
OSSINING UNION FREE SCHOOL DISTRICT

Project Name
2024 BOND: PHASE 1

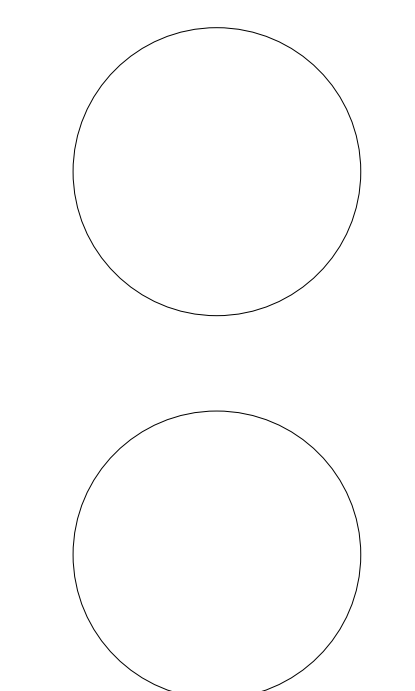
OSSINING HIGH SCHOOL: LOCKER ROOM & CTE ADDITION
Project Address
29 S HIGHLAND AVE, OSSINING, NY 10562

OSSINING UNION FREE SCHOOL DISTRICT
OSSINING HIGH SCHOOL, SED. NO. 66-1431-03-0-003-047

PROJECT ISSUE & REVISION SCHEDULE

Issue Description
2 05/15/2026 BID ADDENDUM NO. 2

PROFESSIONAL STAMPS



NEW YORK STATE EDUCATION STATEMENT

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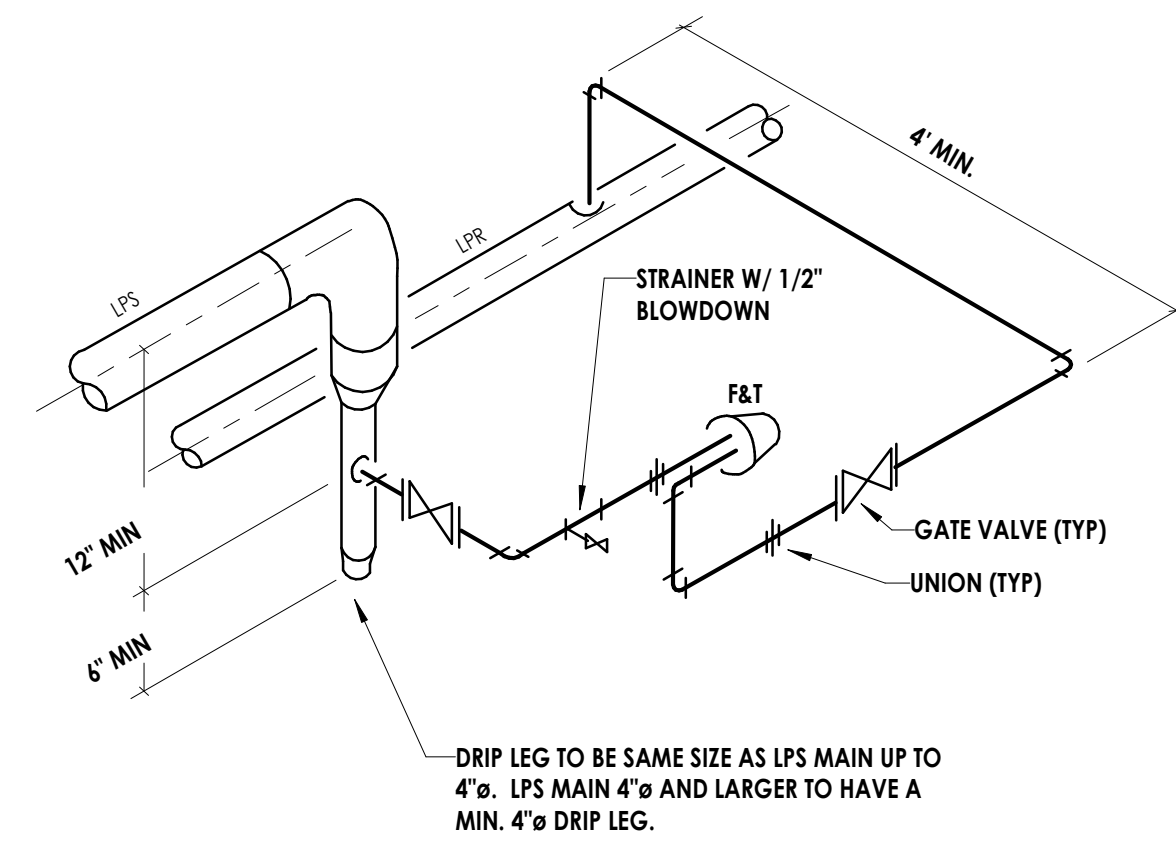
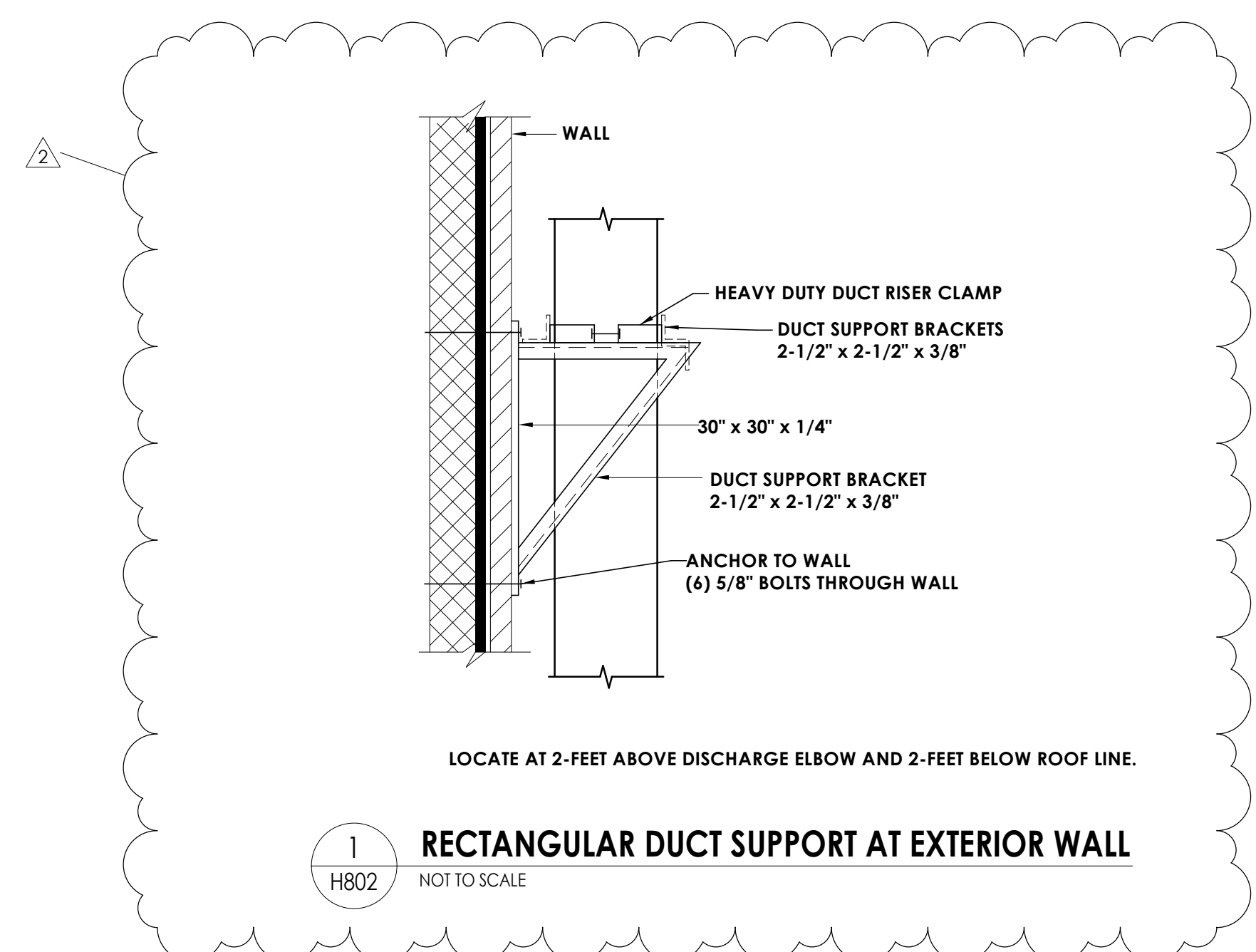
SHEET INFORMATION

Issued
04/27/2026 Scale
As indicated

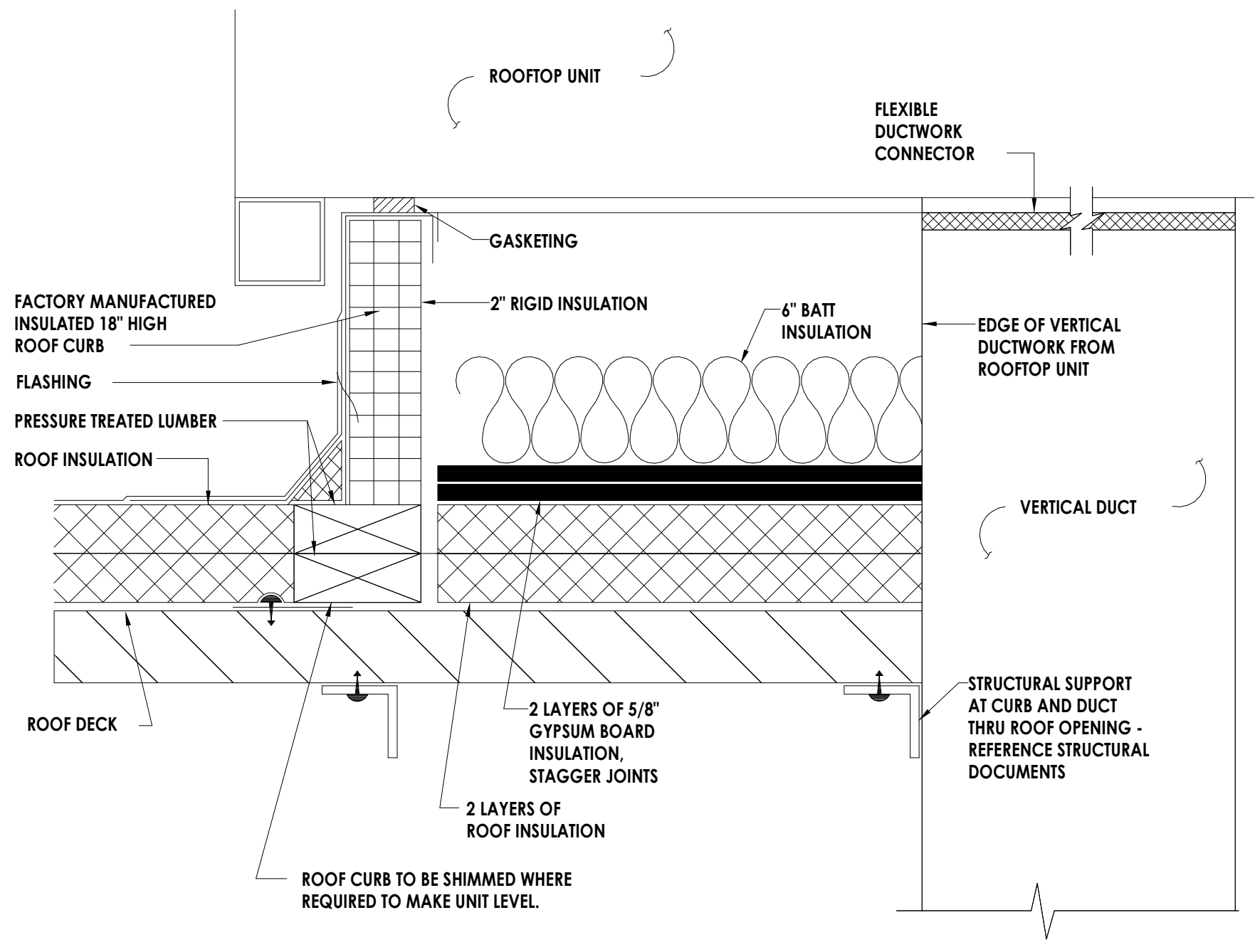
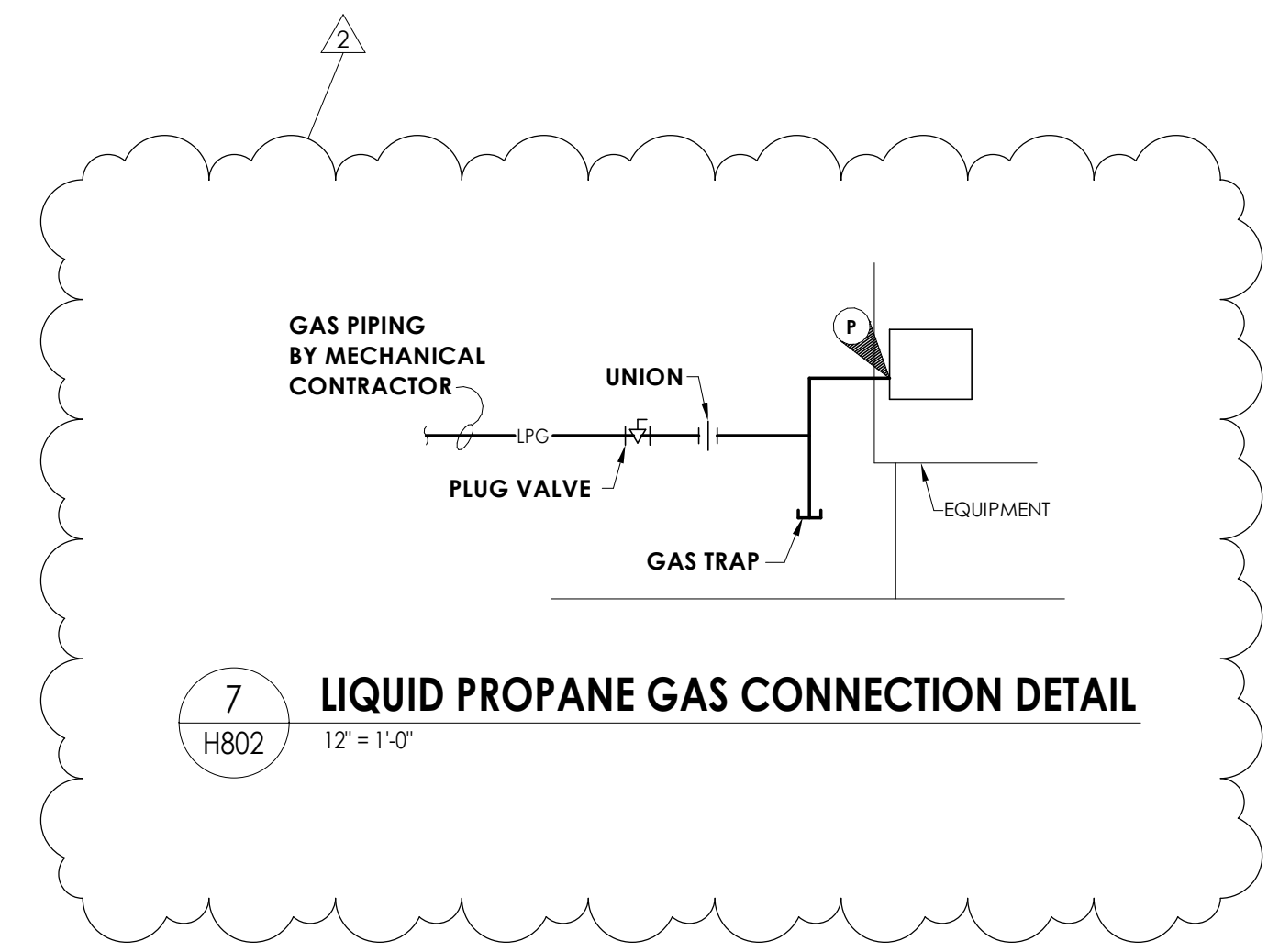
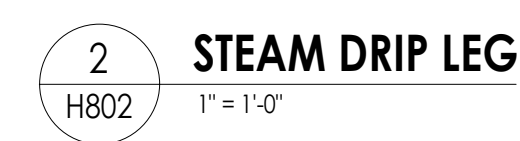
Project Status
BID DOCUMENTS
Drawn By
AJE Checked By
BKM

MECHANICAL DETAILS

Drawing Number
**OHS
H802**

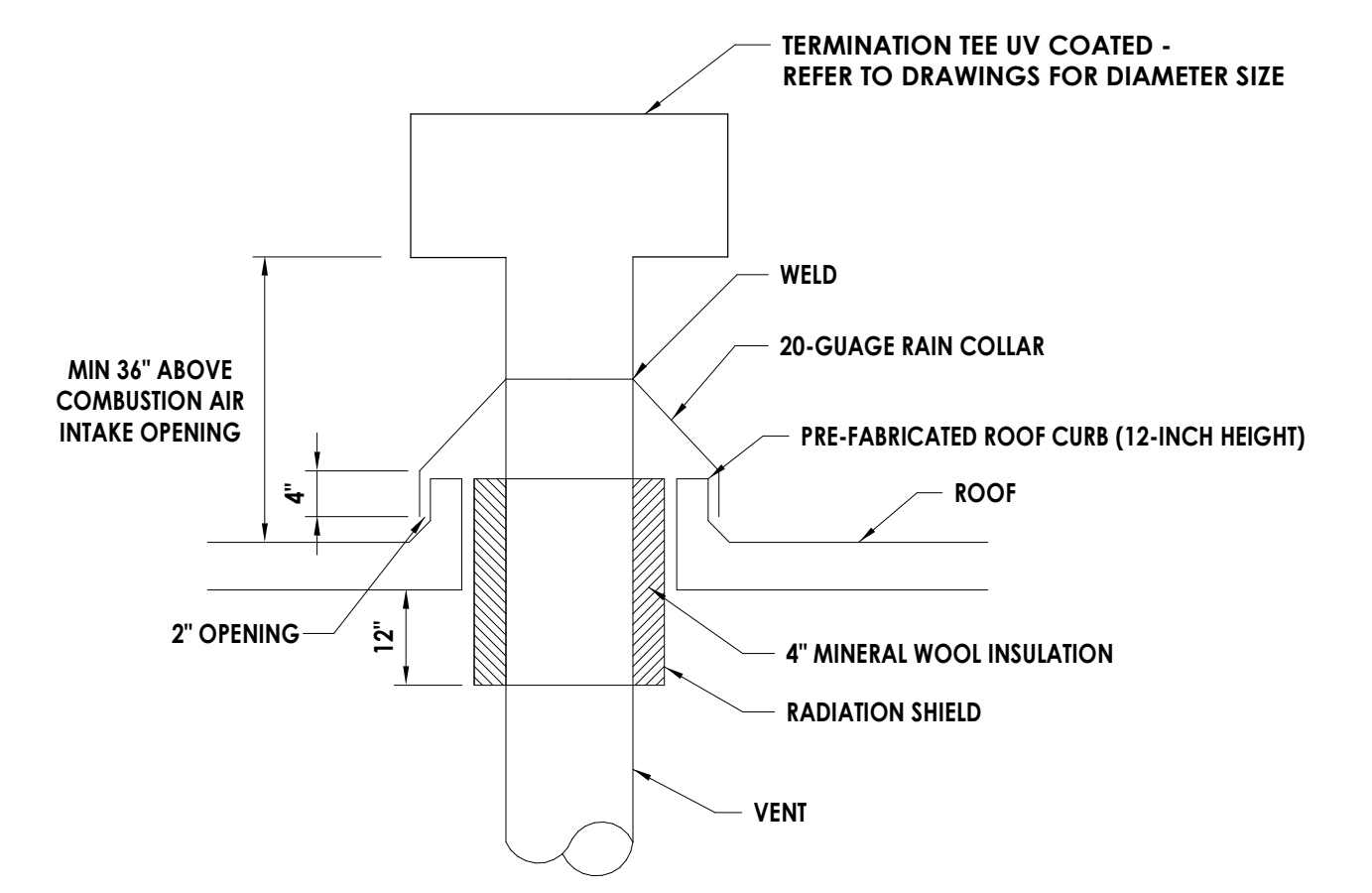


STEAM-END OF MAIN DRIP LEG DETAIL



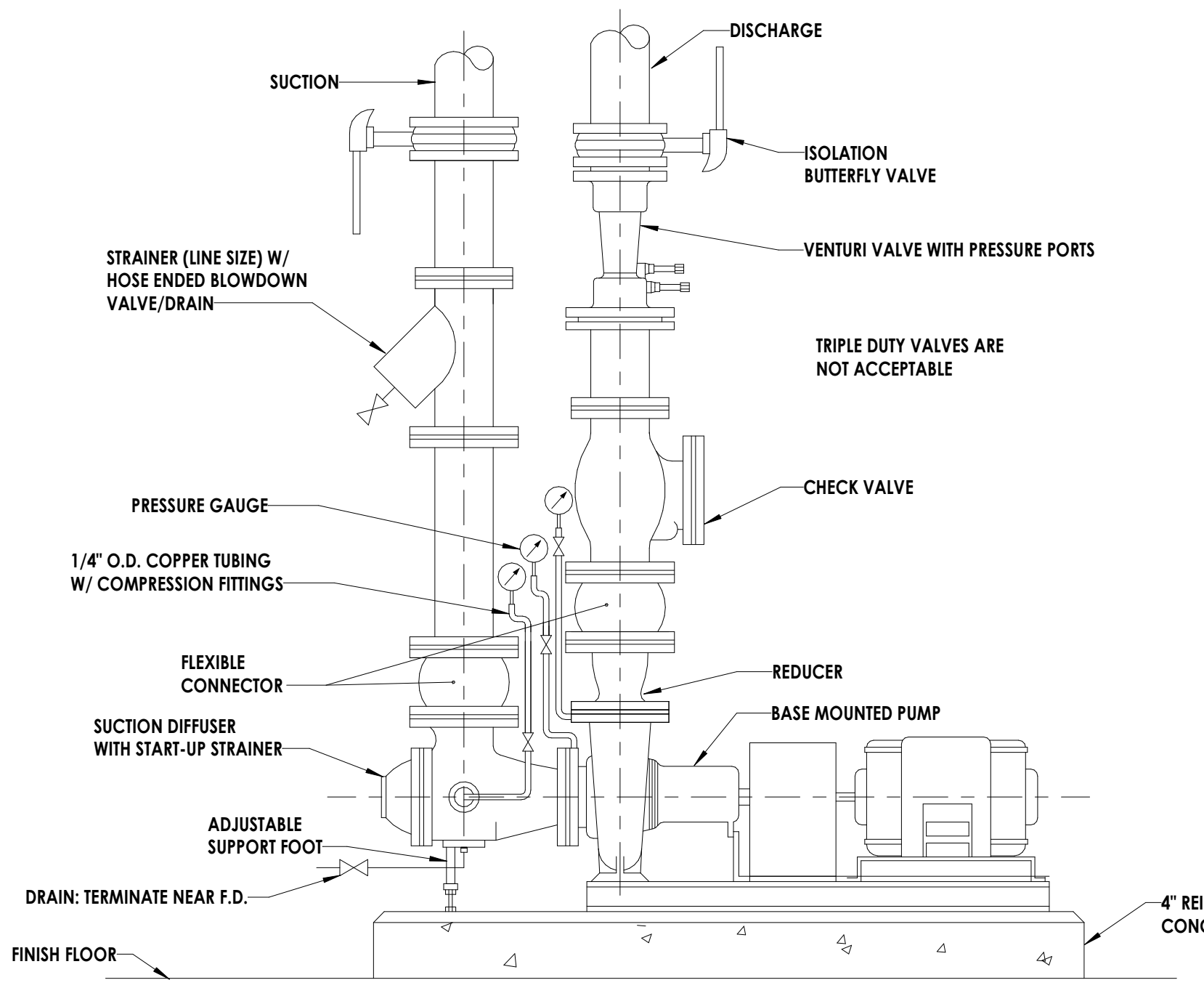
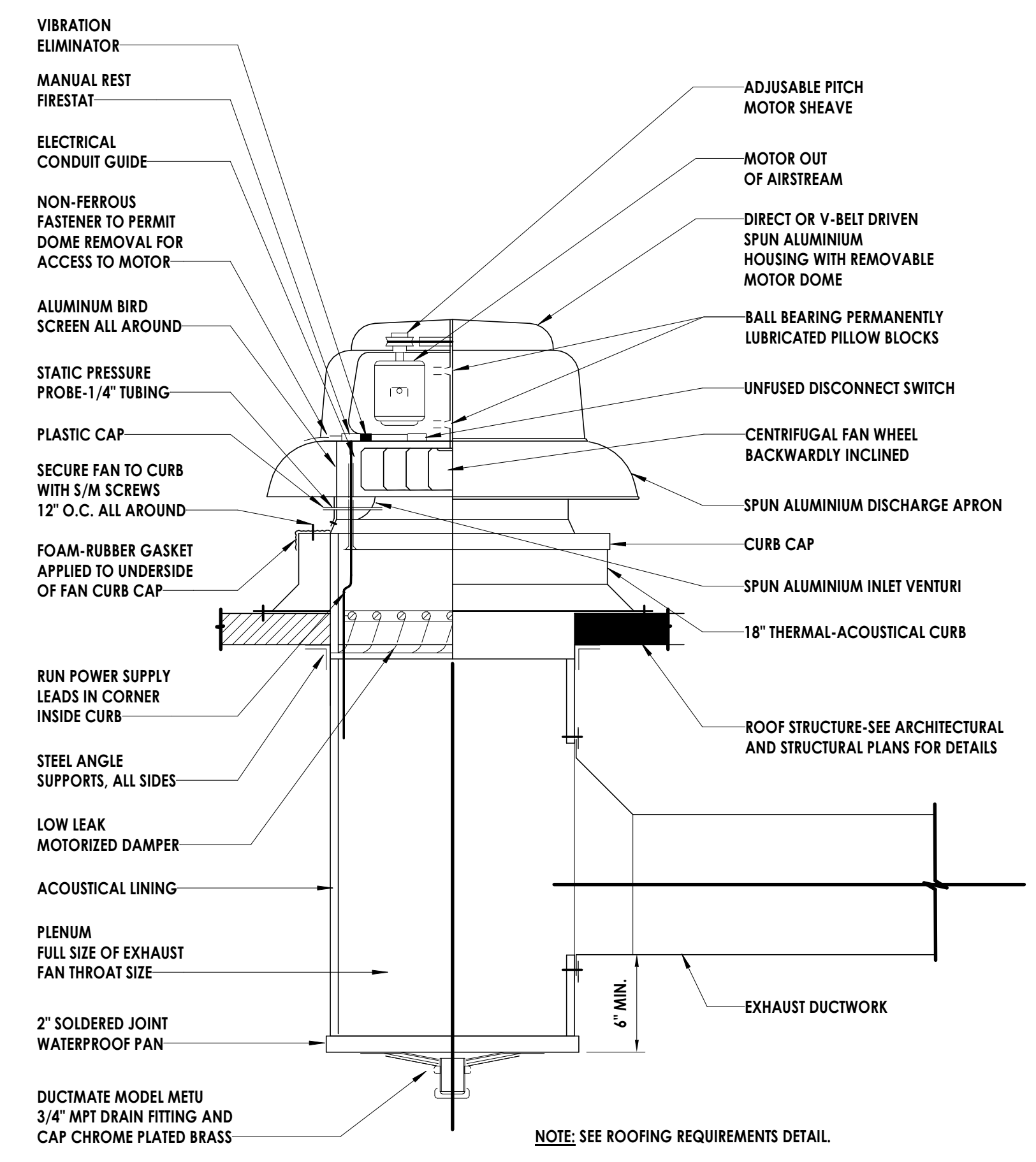
- EXISTING ROOF NOTES:**
- ALL ROOFTOP HVAC UNITS TO HAVE CURB AND CURB INTERIOR AS SHOWN.
 - MODIFY ROOFING PER NRCA RECOMMENDATIONS. COORDINATE WITH OWNER AND EXISTING ROOFING MANUFACTURER TO MAINTAIN WARRANTY.
 - REMOVE EXISTING ROOFING AND ROOF INSULATION DOWN TO EXISTING ROOF DECK AS NECESSARY FOR INSTALLATION OF HVAC EQUIPMENT CURB. CUT OPENING IN EXISTING ROOF DECK AS NECESSARY FOR INSTALLATION OF HVAC EQUIPMENT CURB, DUCT AND PIPING.
 - CRICKET ROOFING AWAY FROM CURB.
 - SECURE EQUIPMENT TO CURB WITH CADMIUM PLATED HARDWARE.
 - INSTALLATION OF ALL ROOF MOUNTED MECHANICAL COMPONENTS SHALL CONFORM TO THE STATE BUILDING CODE AND WIND RESTRAINT REQUIREMENTS OF THIS PROJECT.
 - PROVIDE STRUCTURAL SUPPORT FOR MECHANICAL EQUIPMENT AND OPENING EDGE.

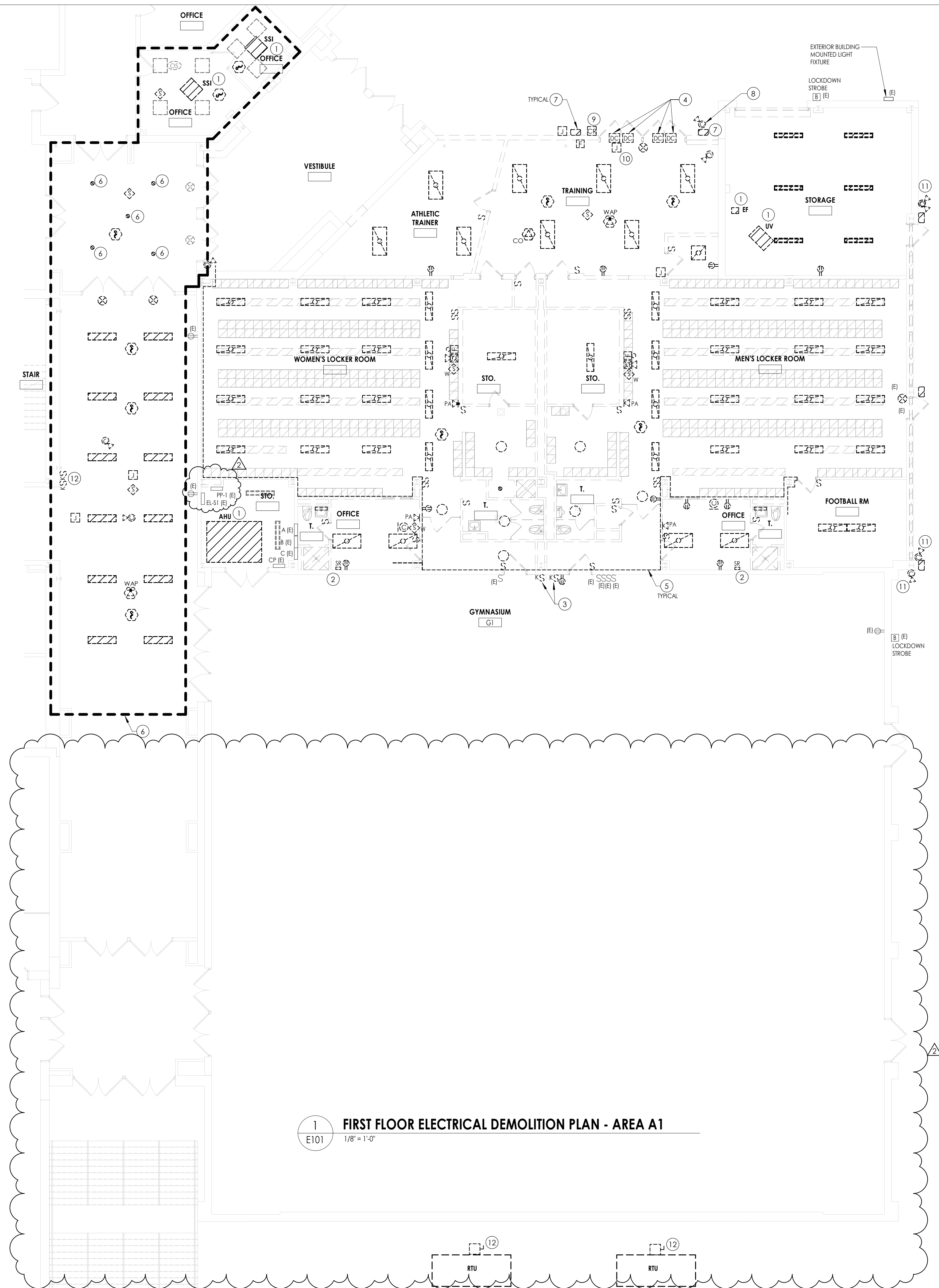
- NEW ROOF NOTES:**
- ALL ROOFTOP HVAC UNITS TO HAVE CURB AND CURB INTERIOR AS SHOWN.
 - INSTALL ROOFING PER NRCA RECOMMENDATIONS.
 - CRICKET AWAY FROM CURB FOR DRAINAGE.
 - SECURE EQUIPMENT TO CURB WITH CADMIUM PLATED HARDWARE.
 - INSTALLATION OF ALL ROOF MOUNTED MECHANICAL COMPONENTS SHALL CONFORM TO THE STATE BUILDING CODE AND THE WIND RESTRAINT REQUIREMENTS OF THIS PROJECT.
 - PROVIDE STRUCTURAL SUPPORT FOR MECHANICAL EQUIPMENT AND OPENING EDGE.



- EXISTING ROOF NOTES:**
- ALL BOILER VENT ROOF PENETRATIONS SHALL HAVE CURB AS SHOWN.
 - MODIFY THE EXISTING ROOFING AS NECESSARY PER NRCA RECOMMENDATIONS. COORDINATE WITH OWNER AND EXISTING ROOFING MANUFACTURER TO MAINTAIN WARRANTY.
 - REMOVE EXISTING ROOFING AND ROOF INSULATION DOWN TO EXISTING ROOF DECK AS NECESSARY FOR INSTALLATION OF HVAC CURB. CUT OPENING IN EXISTING ROOF DECK AS NECESSARY FOR INSTALLATION OF HVAC EQUIPMENT CURB AND VENT.
 - CRICKET ROOFING AWAY FROM CURB.
 - INSTALLATION OF ALL ROOF MOUNTED MECHANICAL COMPONENTS SHALL CONFORM TO THE STATE BUILDING CODE AND WIND RESTRAINT REQUIREMENTS OF THIS PROJECT.
 - PROVIDE STRUCTURAL FRAMING FOR OPENING EDGE.

- NEW ROOF NOTES:**
- ALL BOILER VENT ROOF PENETRATIONS SHALL HAVE CURB AS SHOWN.
 - INSTALL ROOFING PER NRCA RECOMMENDATIONS.
 - CRICKET AWAY FROM CURB FOR DRAINAGE.
 - INSTALLATION OF ALL ROOF MOUNTED MECHANICAL COMPONENTS SHALL CONFORM TO THE STATE BUILDING CODE AND THE WIND RESTRAINT REQUIREMENTS OF THIS PROJECT.
 - PROVIDE STRUCTURAL FRAMING FOR OPENING EDGE.





1 FIRST FLOOR ELECTRICAL DEMOLITION PLAN - AREA A1
E101 1/8" = 1'-0"

GENERAL NOTES

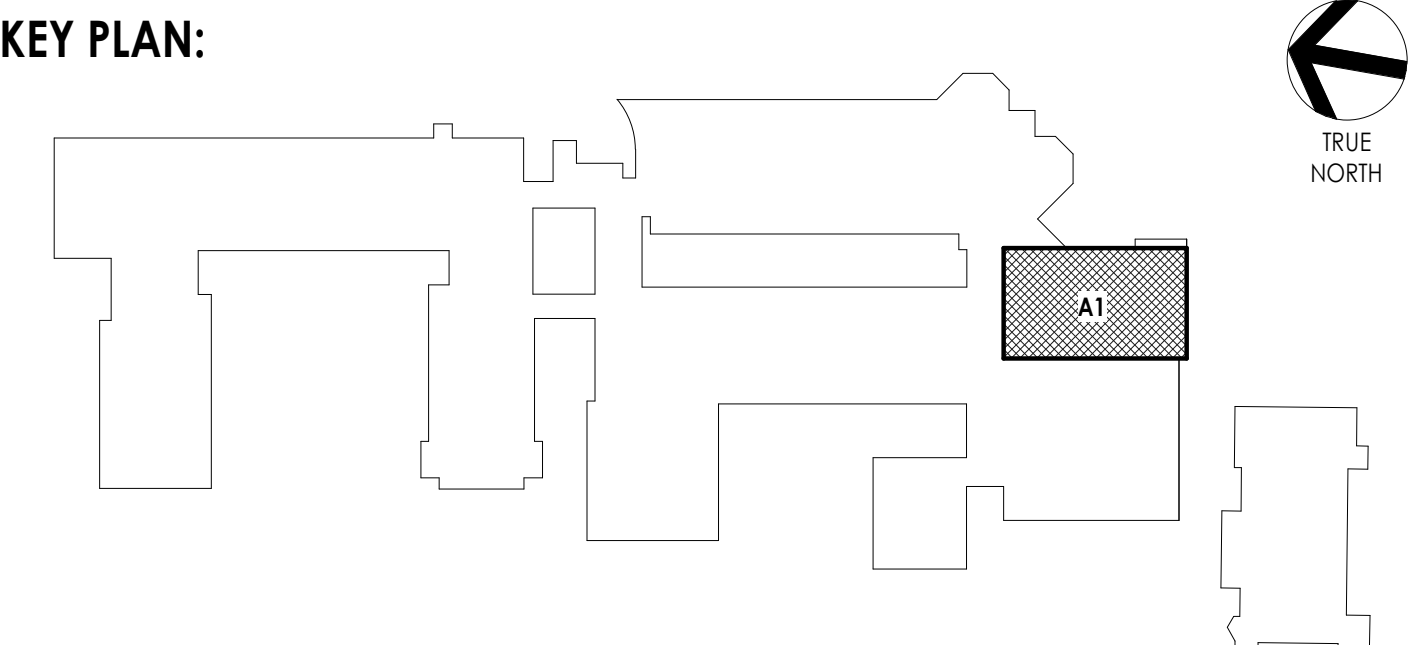
- A. [E] EXISTING TO REMAIN, ANY DEVICE, AS WELL AS ITS ASSOCIATED CIRCUITING AND CONDUIT, LABELED "[E]" SHALL REMAIN, UNLESS OTHERWISE NOTED.
- B. THE CONTRACTOR SHALL REMOVE THE EXISTING ELECTRIC IN AREAS OF NEW RENOVATIONS TO ACCOMMODATE NEW CONSTRUCTION. REROUTING OF EXISTING MAY BE REQUIRED AT NEW OPENINGS IN EXISTING CONSTRUCTION OR INTERFERENCE WITH OTHER NEW WORK AS NOTED IN THE FOLLOWING NOTES.
- C. DRAWINGS INDICATE SPECIFIC ITEMS TO BE REMOVED AND/OR RELOCATED IN ORDER TO INDICATE GENERAL SCOPE. ADDITIONAL ITEMS NOT INDICATED, BUT NECESSARY FOR PROJECT RENOVATIONS, SHALL BE REMOVED, RELOCATED AND/OR REROUTED. THE CONTRACTOR SHALL ASSUME WITHIN THE BASE BID A NOMINAL AMOUNT OF BRANCH CIRCUITS, FIXTURES, DEVICES, AND SYSTEMS WIRING WITHIN WALLS OR OPENINGS BEING REMOVED OR RELOCATED AS REQUIRED TO ACCOMMODATE THE NEW CONSTRUCTION.
- D. WHERE DEVICES, FIXTURES, ETC. ARE INDICATED TO BE REMOVED, THEY AND THEIR RELATED WIRING/CONDUIT SHALL BE REMOVED BACK TO THE SOURCE PANELBOARD UNLESS OTHERWISE NOTED. ON CIRCUITS WHERE OTHER DEVICES, FIXTURES, ETC. ARE FOUND THAT MUST REMAIN, MAINTAIN CIRCUIT CONTINUITY BY PROVIDING ADDITIONAL WIRING, TO FEED THROUGH TO THESE REMAINING ITEMS. RELOCATE ANY CIRCUITS THAT REMAIN, TO AVOID CONFLICT WITH NEW CONSTRUCTION AS REQUIRED, PROPERLY TERMINATE ALL WIRING.
- E. COORDINATE DEMOLITION OF EQUIPMENT, DEVICES, ETC. WITH OTHER DISCIPLINES AS APPLICABLE. REFER TO ARCHITECTURAL DEMOLITION DRAWINGS AND NOTES FOR COORDINATION.
- F. DRAWINGS ARE GRAPHICAL REPRESENTATIONS OF APPROXIMATE EQUIPMENT AND DEVICE LOCATIONS. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXACT EXTENT OF ELECTRICAL WORK REQUIRED TO COMPLETE THE PROJECT. EXISTING CONDITIONS ARE TAKEN FROM FIELD OBSERVATION AND EXISTING BUILDING DOCUMENTS. OTHER ELECTRICAL ITEMS MAY EXIST FOR WHICH THE CONTRACTOR IS RESPONSIBLE.
- G. CONTRACTOR SHALL PROPERLY DISPOSE OF ALL ITEMS, EQUIPMENT, PANELS, LIGHT FIXTURES, ETC. BEING REMOVED AS PART OF THIS PROJECT. THE OWNER SHALL HAVE THE RIGHT OF RETAINING ANY ITEMS BEING REMOVED.
- H. CONTRACTOR SHALL PROVIDE NEW COVERPLATES ON ALL BOXES OF UNUSED AND/OR REMOVED FLUSH MOUNT DEVICES UPON COMPLETION OF PROJECT.
- I. UNLESS OTHERWISE NOTED DISCONNECT AND REMOVE ALL BRANCH CIRCUIT AND SYSTEM WIRING BACK TO SOURCE FOR ALL REMOVED ELECTRICAL EQUIPMENT INDICATED.

KEY NOTES

- 1 DISCONNECT POWER AND REMOVE ALL ASSOCIATED BRANCH CIRCUITRY FROM HVAC EQUIPMENT BACK TO SOURCE IN THEIR ENTIRETY. REMOVE ALL ASSOCIATED MOTOR CONTROLLERS/DISCONNECTS IN THEIR ENTIRETY.
- 2 DISCONNECT AND REMOVE 2-CHANNEL SURFACE RACEWAY IN ITS ENTIRETY. REMOVE POWER BRANCH CIRCUIT CONDUCTORS AND DATA CABLE BACK TO THEIR SOURCES.
- 3 DISCONNECT AND REMOVE ABANDONED FOLDING PARTITION MOTORIZED DOOR CONTROL KEY SWITCHES AND ALL ASSOCIATED WIRING AND CONDUIT BACK TO SOURCE.
- 4 DISCONNECT, REMOVE EXISTING INTRUSION DETECTION SYSTEM DOOR CONTACTS FROM DOOR AND JAMB AND WIRING BACK TO SOURCE.
- 5 DISCONNECT AND REMOVE ALL EXPOSED SYSTEMS CABLES AND CONDUITS FROM WITHIN LOCKER ROOMS BACK TO SOURCES IN THEIR ENTIRETY.
- 6 DISCONNECT AND REMOVE EXISTING RECESSED DOWNLIGHT AND ASSOCIATED BRANCH CIRCUIT WIRING FROM DOWNLIGHT TO DOWNLIGHT. TAG AND MAINTAIN EXISTING CORRIDOR LIGHTING SOURCE FEED FOR REUSE.
- 7 DISCONNECT AND REMOVE EXISTING EXTERIOR WALL MOUNTED LIGHTING FIXTURE AND ASSOCIATED CONDUCTORS AND CONDUIT BACK TO SOURCE.
- 8 DISCONNECT, REMOVE AND STORE EXISTING CAMERA FOR REUSE IN NEW LOCATION.
- 9 DISCONNECT, REMOVE AND STORE EXISTING ACCESS CONTROL PROXIMITY CARD READER FOR REUSE IN NEW LOCATION.
- 10 DISCONNECT AND REMOVE EXISTING ACCESS CONTROL POWER SUPPLY BRANCH CIRCUIT WIRING/CONDUIT SERVING ELECTRONIC DOOR HARDWARE BACK TO SOURCE.
- 11 DISCONNECT, REMOVE AND TURN OVER TO OWNER EXISTING EXTERIOR MOUNTED CAMERAS AND ATTACHING HARDWARE. REMOVE WIRING BACK TO SOURCE IN ITS ENTIRETY.
- 12 DISCONNECT AND REMOVE (2) EXISTING LIGHTING KEY SWITCHES, BACK BOX AND COVERPLATE. MAINTAIN EXISTING KEY SWITCHES AND COVERPLATE. STORE FOR REUSE. PULL BACK EXISTING 120 VOLT CONDUCTORS TO ABOVE ACCESSIBLE CEILING AREA TO ALLOW RELOCATION OF SWITCHES, REFER TO DRAWING OHS E301.

ONCE NEW GYM INTERIOR (BC-*) UNITS ARE INSTALLED, DISCONNECT POWER AND REMOVE ALL ASSOCIATED CONDUCTORS IN CONDUIT ROUTED ON EXTERIOR OF BUILDING AND IN INTERIOR FROM HVAC EQUIPMENT BACK TO SOURCE PANEL IN THEIR ENTIRETY. REMOVE ALL ASSOCIATED MOTOR CONTROLLERS/DISCONNECTS IN THEIR ENTIRETY.

KEY PLAN:



PROJECT INFORMATION
Project Number: R24.16761.00
Client Name: OSSINING UNION FREE SCHOOL DISTRICT
Project Name: 2024 BOND: PHASE 1

OSSINING HIGH SCHOOL: LOCKER ROOM & CTE ADDITION
Project Address: 29 S HIGHLAND AVE, OSSINING, NY 10562

OSSINING UNION FREE SCHOOL DISTRICT
OSSINING HIGH SCHOOL, SED NO. 66-1401-03-03-047

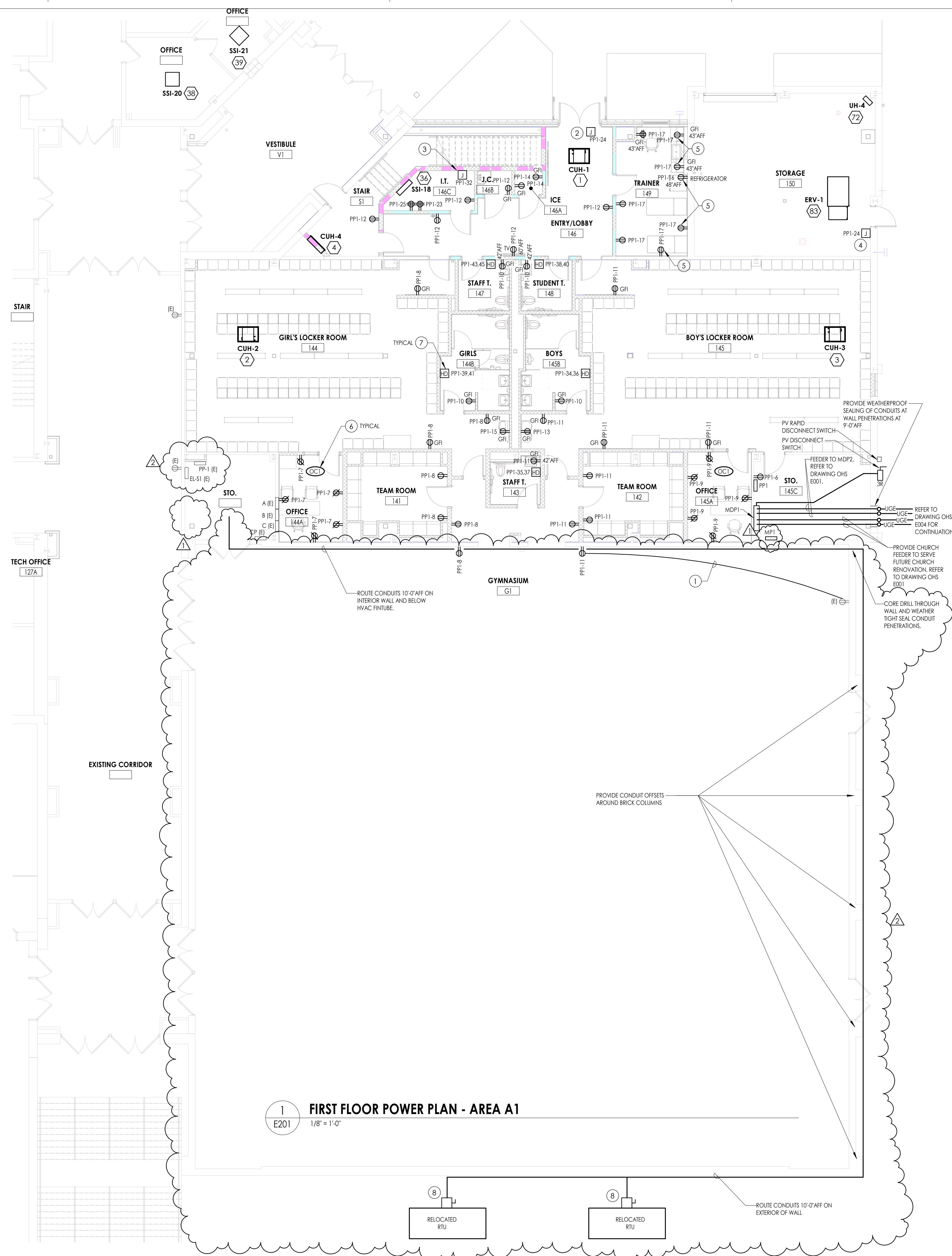
PROJECT ISSUE & REVISION SCHEDULE
1 Issue Description
2 05/15/2026 BID ADDENDUM NO. 2

PROFESSIONAL STAMPS

NEW YORK STATE EDUCATION STATUTE
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SHEET INFORMATION
Issued: 04/27/2026 Scale: AS NOTED
Project Status: BID DOCUMENTS
Drawn By: JAS Checked By: JBT
Drawing Title: FIRST FLOOR ELECTRICAL DEMOLITION PLAN - AREA A1

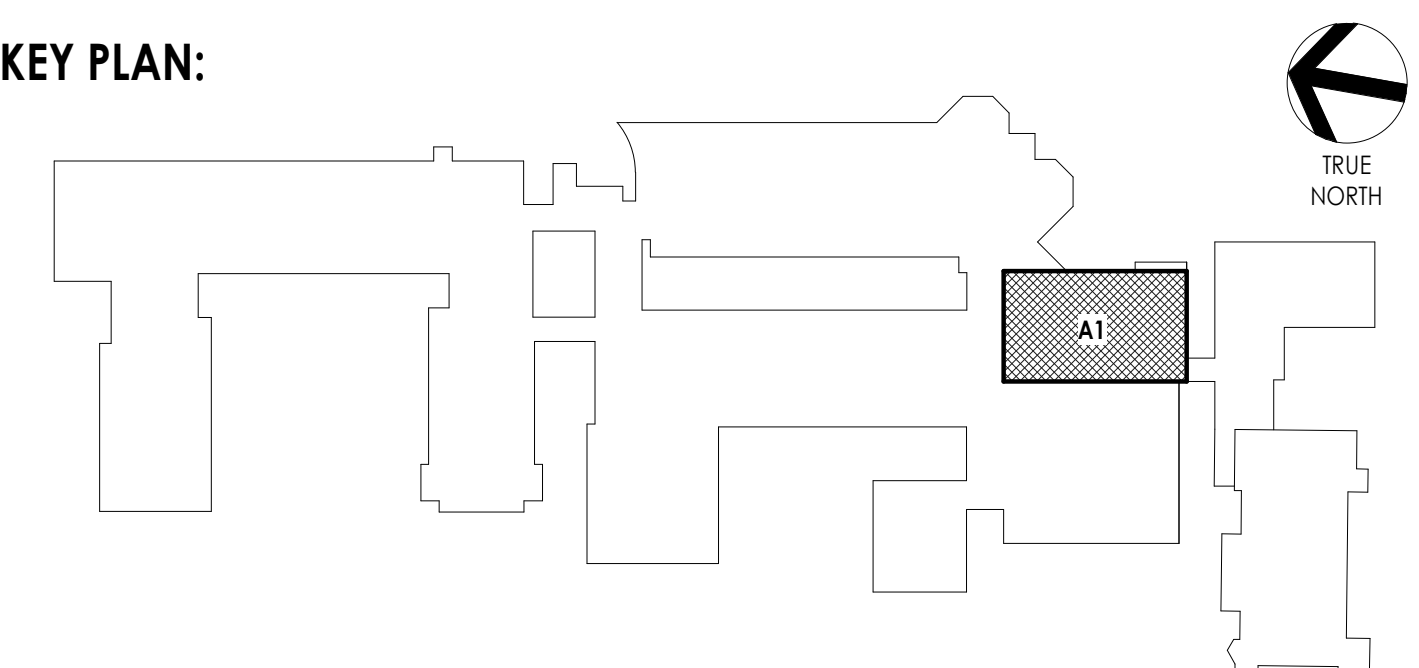
Drawing Number: OHS E101



1 FIRST FLOOR POWER PLAN - AREA A1
 E201 1/8" = 1'-0"

- GENERAL NOTES**
- FIXTURES, DEVICES, AND EQUIPMENT LABELED AS (E) ARE EXISTING AND ARE SHOWN FOR REFERENCE ONLY. THESE DEVICES SHALL REMAIN OPERATIONAL FOLLOWING CONSTRUCTION.
 - UNLESS OTHERWISE NOTED (UON), CONNECT NEW DEVICES TO PANEL AND CIRCUIT INDICATED ADJACENT TO DEVICE. WIRE WITH (2) #12, (1) #12 GND IN 3/4" CONDUIT.
 - WIRING OVER 100' SHALL BE #10 THHN, UON.
 - AT EACH SYMBOL, (XX) REFER TO DRAWING OHS E900 FOR ALL WIRING, CIRCUIT AND BREAKER INFORMATION.
 - PROVIDE 2-HOUR FIRE SEALING OF ALL FIRST TO SECOND FLOOR CONDUIT/WIRING PENETRATIONS THROUGH FLOOR.
 - REFER TO DRAWING E006 FOR PV SOLAR REQUIRED NFPA 70 EQUIPMENT LABELING.
 - ON EXISTING CMU/BLOCK/BRICK WALLS TO REMAIN, MOUNT NEW DEVICES USING SINGLE CHANNEL, 2-PIECE SURFACE RACEWAY TYPE SR WITH MANUFACTURER MATCHING DEVICE BOXES. INSTALLATION AT LOCATION OF NEW WALLS SHALL BE RECESSED WITHIN.
- KEY NOTES**
- PROVIDE 2#12, 1#12 EGC IN SURFACE METAL RACEWAY. ROUTE RACEWAY FROM RECEPTACLE UP TO ABOVE WALL PADS AND RUN HORIZONTAL OVER TO EXISTING RECEPTACLE. REMOVE AND REINSTALL WALL PADS FOR VERTICAL RUN DOWN TO EXISTING RECEPTACLE AS REQUIRED.
 - PROVIDE 120-VOLT (2#12, 1#12 EGC IN 3/4" CONDUIT TO PANEL INDICATED) POWER INSTALLED IN JUNCTION BOX ABOVE CEILING TO SERVE ELECTRONIC DOOR HARDWARE POWER SUPPLY. PROVIDE 2#12, 1#12 EGC IN 1/2" CONDUIT FROM JUNCTION BOX DOWN TO DOOR HARDWARE. ROUTE WITHIN DOOR FRAME ON HINGED SIDE OF DOOR. INSTALL DOOR HARDWARE POWER SUPPLY FURNISHED BY GC.
 - PROVIDE 2#12, #12 EGC IN 3/4" CONDUIT FROM ACCESS CONTROLLER TO PANEL PANEL PPI IN STOR. 145C.
 - PROVIDE 120-VOLT (2#12, 1#12 EGC IN 3/4" CONDUIT TO PANEL INDICATED) POWER INSTALLED IN JUNCTION BOX HIGH UP ON WALL TO SERVE ELECTRONIC DOOR HARDWARE POWER SUPPLY. PROVIDE 2#12, 1#12 EGC IN 1/2" CONDUIT FROM JUNCTION BOX DOWN TO DOOR HARDWARE. ROUTE WITHIN DOOR FRAME ON HINGED SIDE OF DOOR. INSTALL DOOR HARDWARE POWER SUPPLY FURNISHED BY GC.
 - DEVICE TO BE INSTALLED IN SINGLE CHANNEL, 2-PIECE SURFACE METAL RACEWAY TYPE SR TO ABOVE ACCESSIBLE CEILING. PROVIDE WITH COMPATIBLE RACEWAY DEVICE BOX. CONDUIT WILL NOT BE ACCEPTED.
 - PROVIDE OCCUPANCY SENSOR MOUNTED ON CEILING FOR AUTOMATICALLY CONTROLLED RECEPTACLES. REFER TO DETAIL 4 DRAWING OHS E800 FOR WIRING AND REQUIRED EQUIPMENT.
 - HARDWIRE CONNECTIONS TO HAND DRYERS. PROVIDE 2#12, 1#12 GND IN 3/4" CONCEALED CONDUIT FOR POWER TO HAND DRYER. COORDINATE CONNECTIONS REQUIRED TO EACH DEVICE WITH FIXTURE INSTALLER.
 - CIRCUIT TO EXISTING PANELBOARD IN STORAGE ROOM AND RECONNECT TO EXISTING CIRCUIT BREAKERS PREVIOUSLY FEEDING RTU UNITS. PROVIDE (3#8, 1#10 EGC IN 1" CONDUIT) ROUTED ALONG EXTERIOR OF BUILDING, THROUGH GYM AND OVER TO STORAGE ROOM WITH PANELS INDICATED. PROVIDE REQUIRED PULL BOXES SIZED PER NEC. AT UNITS USE LFNM CONDUIT WITH CONDUCTORS FROM WALL TO UNIT DISCONNECT SWITCHES.

KEY PLAN:



PROJECT ISSUE & REVISION SCHEDULE

Issue	Description
1	05/08/2026 BID ADDENDUM NO. 01
2	05/15/2026 BID ADDENDUM NO. 2

PROFESSIONAL STAMPS

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 IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S REGULATIONS FOR ANY PERSON, UNDER ANY TITLE, UNDER THE SUPERVISION OF A LICENSED ARCHITECT, ENGINEER OR LAND SURVEYOR, TO ALTER IN ANY MANNER OR IN ANY MANNER, BEING THE SIGNATURE OF THE ARCHITECT, ENGINEER OR LAND SURVEYOR, THE ARCHITECT, ENGINEER OR LAND SURVEYOR'S SIGNATURE AND THE DATE OF SUCH SIGNATURE, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SHEET INFORMATION

Issued	Scale
04/27/2026	AS NOTED
Project Status	Checked By
BID DOCUMENTS	JBT
Drawn By	JBT
Drawing Title	FIRST FLOOR POWER PLAN - AREA A1
Drawing Number	OHS E201